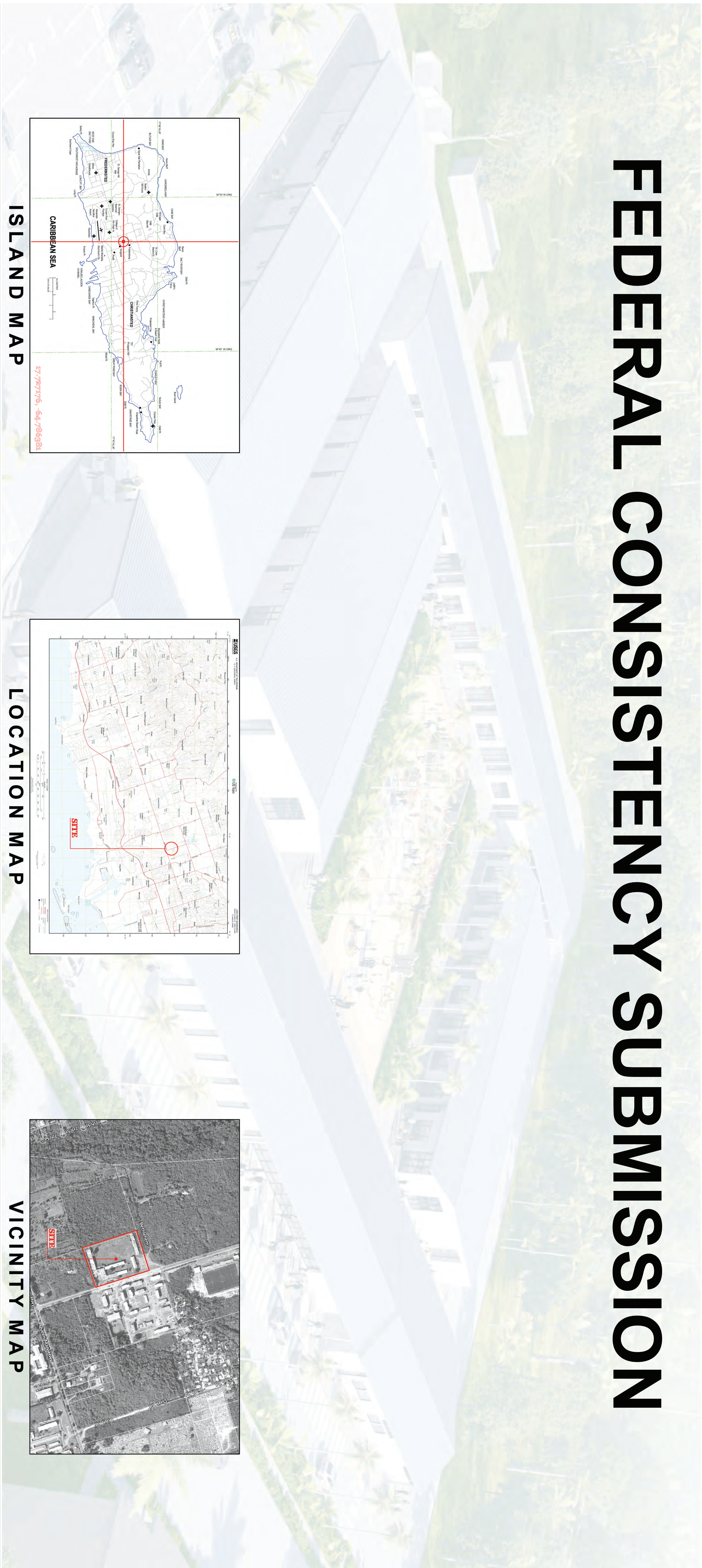




CHARLES H EMMANUEL HEADSTART
No. 3 Upper Bethlehem/VICORP Land
ST.CROIX, USVI

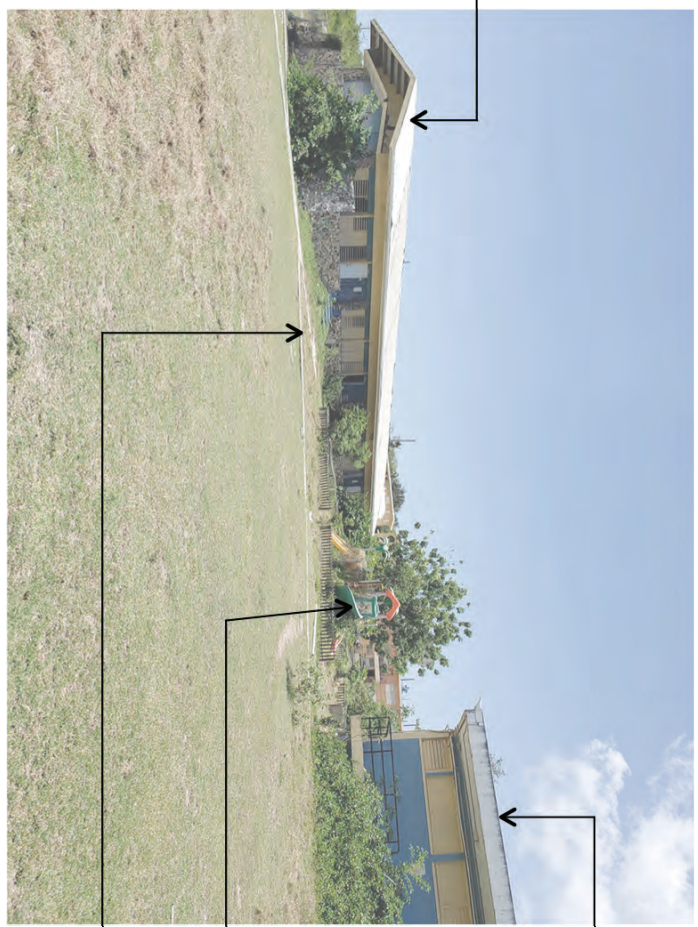


Team Members

Architect	Ilker Uzun	Civil	Carlos Sanchez	Structural	Jose Ortiz	Mechanical	Jose A. Sanchez	Fire Alarm	TBD-F Alarm Engineer
	Contact: Ilker Uzun	Contact: Carlos Sanchez	Contact: Jose Ortiz	Contact: Jose A. Sanchez	Contact: Jose A. Sanchez	Contact: TBD-F Alarm Contact	Contact: TBD-F Alarm Contact	Contact: TBD-F Alarm Contact	Contact: TBD-F Alarm Contact
	Email: iluzun@gbhcorp.com	Email: csanchez@gbhcorp.com	Email: jortiz@gbhcorp.com	Email: jortiz@gbhcorp.com	Email: chelo@jasconsultingps.com	Email: chelo@jasconsultingps.com	Email: TBD-F Alarm Email	Email: TBD-F Alarm Email	Email: TBD-F Alarm Email
	Address: 1992 SW 1st Street Miami, FL, 33135	Address: 960 Ponce De Leon Ave San Juan, PR, 00907	Address: 960 Ponce De Leon Ave San Juan, PR, 00907	Address: 960 Ponce De Leon Ave San Juan, PR, 00907	Address: Mechanical ADDRESS CITY, STATE, ZIPCODE	Address: Mechanical ADDRESS CITY, STATE, ZIPCODE	Address: Fire Alarm ADDRESS CITY STATE, ZIPCODE	Address: Fire Alarm ADDRESS CITY STATE, ZIPCODE	Address: Fire Alarm ADDRESS CITY STATE, ZIPCODE
Phone: 305-274-4605	Phone: 787-641-1992	Phone: 787-641-1992	Phone: 787-641-1992	Phone: 787-641-1992	Phone: 787-565-1588	Phone: 787-565-1588	Phone: TBD-F Alarm Phone	Phone: TBD-F Alarm Phone	Phone: TBD-F Alarm Phone
Landscape	TBD-Land Architect	Electrical	Juan R. Requena	Plumbing	Jose A. Sanchez	Specialty	TBD-Spec Engineer	Fire Protection	TBD-F Prot Engineer
	Contact: TBD-Land Contact	Contact: Juan R. Requena	Contact: Jose A. Sanchez	Contact: chelo@jasconsultingps.com	Contact: Jose A. Sanchez	Contact: TBD-Spec Contact	Contact: TBD-Spec Contact	Contact: TBD-F Prot Contact	Contact: TBD-F Prot Contact
	Email: TBD-Land Email	Email: jrequena@frenquenas.com	Email: chelo@jasconsultingps.com	Email: Plumbing ADDRESS CITY, STATE, ZIPCODE	Email: chelo@jasconsultingps.com	Email: TBD-Spec Email	Email: TBD-Spec Email	Email: Fire Protection Address	Email: TBD-F Prot Email
	Address: Landscape ADDRESS CITY, STATE, ZIPCODE	Address: San Juan, PR, 00919	Address: P.O. Box 1911567 San Juan, PR, 00919	Address: 787-365-1588	Address: Mechanical ADDRESS CITY, STATE, ZIPCODE	Address: Specialty ADDRESS CITY, STATE, ZIPCODE	Address: TBD-Spec ADDRESS CITY, STATE, ZIPCODE	Address: Fire Protection ADDRESS CITY, STATE, ZIPCODE	Address: TBD-F Prot ADDRESS CITY, STATE, ZIPCODE
Phone: TBD-Land Phone	Phone: 787-763-0655	Phone: 787-763-0655	Phone: 787-763-0655	Phone: 787-365-1588	Phone: TBD-Spec Phone	Phone: TBD-Spec Phone	Phone: TBD-F Prot Phone	Phone: TBD-F Prot Phone	Phone: TBD-F Prot Phone



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NOT FOR CONSTRUCTION		HEAD START & EARLY HEAD START CHARLES H. EMANUEL No. 3 Upper Bethlehem/VICORP Land ST. CROIX, U.S. VIRGIN ISLAND		500 W. Edison St. Suite 200 767-641-1992 (EX-7619)		Plans Prepared By CPI, Inc.		Designed by: C.G.N. Drawn by: G.G.O. Checked by: C.G.N. Approved by: C. S. G. Scale: Date: JUN/2022 Job No.: V5101.08 © 2022		No. Date Revision		By	
GO.OO		Sheet No.											



EXISTING BUILDING TO BE COMPLETELY DEMOLISHED

EXISTING PLAYGROUND EQUIPMENT AND SURFACES TO BE COMPLETELY DEMOLISHED

EXISTING SIDEWALK TO BE COMPLETELY DEMOLISHED

VIEW TOWARDS BUILDING - FRONT

6



EXISTING BUILDING TO BE COMPLETELY DEMOLISHED

VIEW TOWARDS BUILDING - ENTRY GATE

5



EXISTING ELECTRICAL SERVICE - DEMO CONTRACTOR TO WITHIN TWENTY FEET OF RISER. CONTRACTOR TO REMOVE ALL SERVICE EQUIPMENT NOT PRESENT AND NO VOLTAGE EXISTS - VERIFY WITH WAPA

DEMO EXISTING CITY WATER PIPING - DEMO CONTRACTOR TO REMOVE ALL WATER METERS & CAP AND INSURE THAT SERVICE HAS BEEN SHUT OFF

VIEW TOWARDS UTILITIES AREA

4



EXISTING BUILDING TO BE COMPLETELY DEMOLISHED

COMPLETELY DEMOLISH EXISTING SIDEWALK AND RECONSTRUCT STABILIZED CONSTRUCTION ENTRANCE

VIEW TOWARDS BUILDING COURTYARD

3

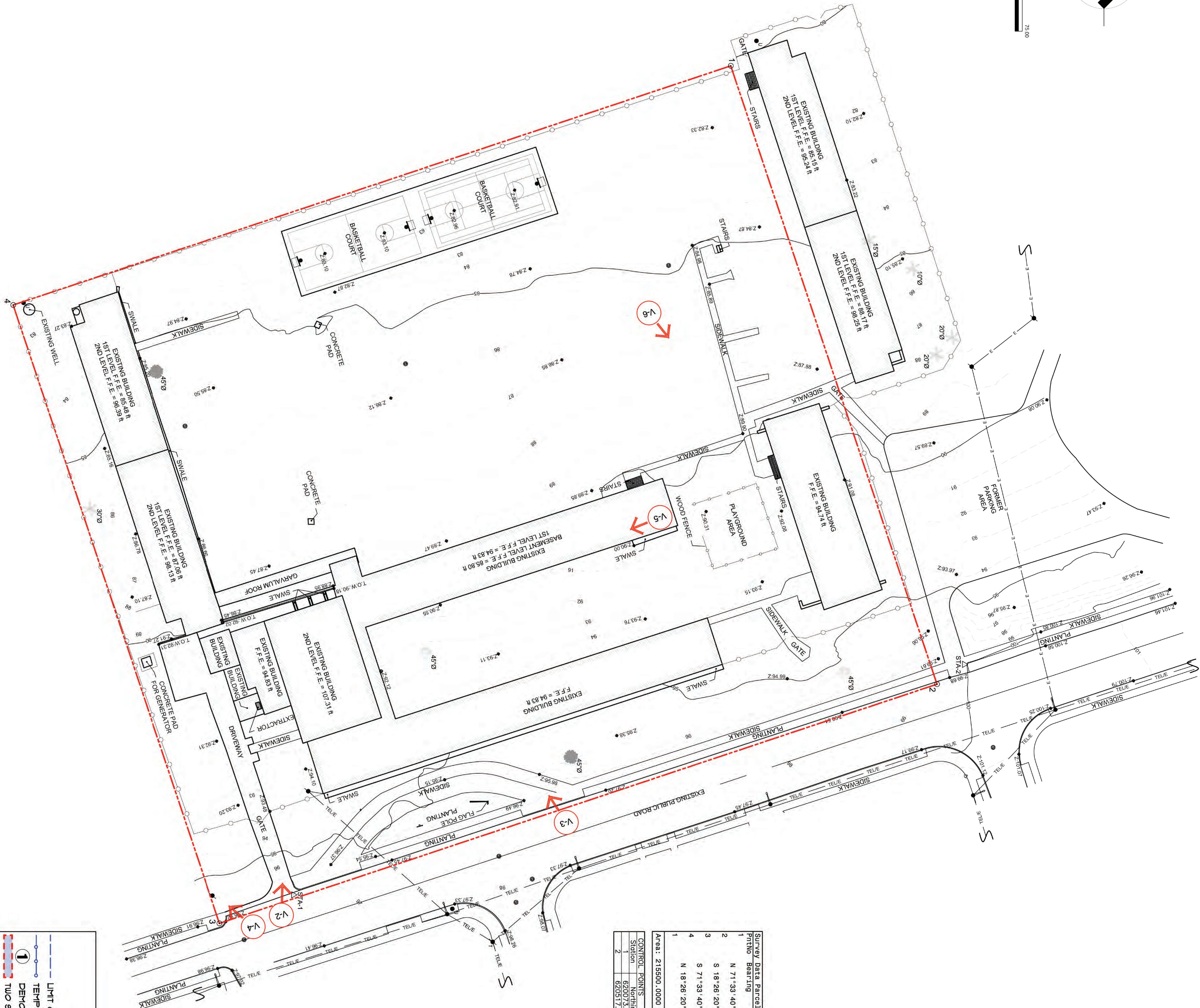
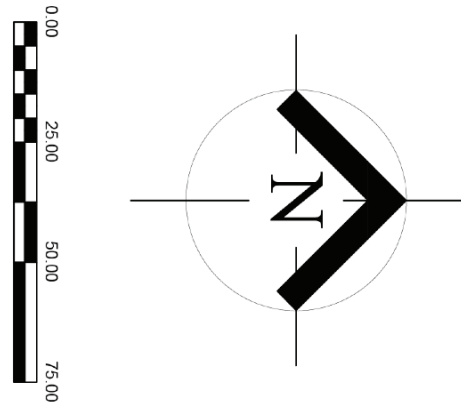


EXISTING BUILDING TO BE COMPLETELY DEMOLISHED

EXISTING SIDEWALKS TO BE COMPLETELY DEMOLISHED

VIEW TOWARDS BUILDING - PLAYGROUND

2



Survey Data Parcel #3			
Point	Bearing	Distance	Northing Easting
1	N 71°38'40" E	431.000	620362.8286 1228955.7785
2	S 18°28'20" E	500.000	620489.1528 1229384.6513
3	S 71°39'40" W	431.000	620204.4224 1229522.7989
4	N 18°28'20" W	500.000	619888.4992 1229113.9280
1			620362.8286 1228955.7785

Area: 219500.0000 Sq. Feet, 4.9471 Acres

Control Points			
Station	Northing	Easting	Description
1	620075.7718	1229503.9111	36769 Gun Nail
2	620517.1789	1229351.5051	100349 Gun Nail

LEGEND

- LIMIT OF DEMOLITION WORKS
- TEMPORARY CONSTRUCTION BARRIER
- ① DEMOLITION ORDER
- TWO STORY BUILDING TO BE DEMOLISHED
- ONE STORY BUILDING TO BE DEMOLISHED
- DEMOLITION RELATED EXCAVATION
- CONCRETE PAVING, SIDEWALK, DRIVEWAY TO BE DEMOLISHED
- ← CAMERA VIEWLINE
- ← PICTURED DIRECTION OF VIEW

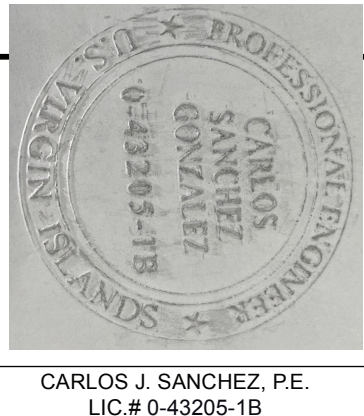


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ISSUE

Designed by: C.G.N.
Drawn by: G.G.O.
Checked by: C.G.N.
Approved by: C. S. G.
Scale:
Date: JUN/2022
Job No.: V5101.08
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Plans Prepared By

CPH, Inc.

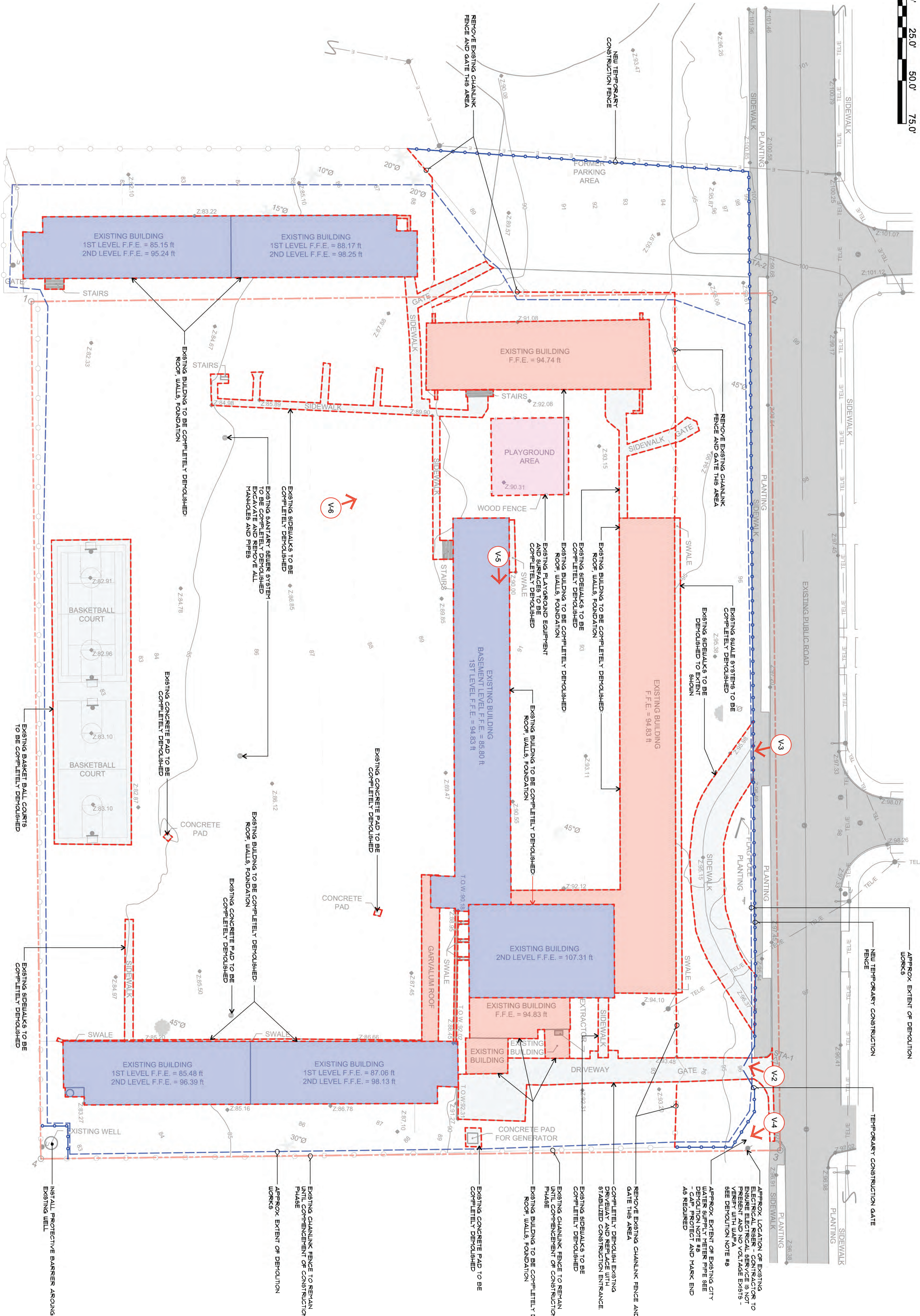
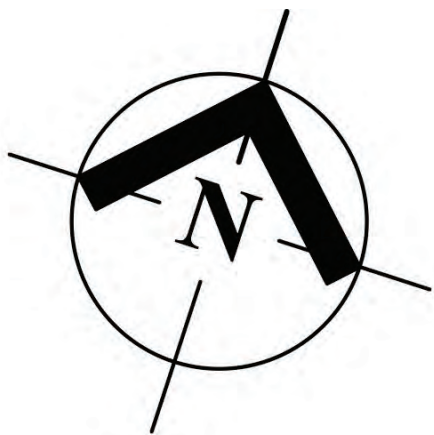
505 W. Fulton St.
St. Croix, U.S. Virgin Islands
787.641.1592 (Ext. 7019)

NOT FOR CONSTRUCTION

HEAD START &
EARLY HEAD START
CHARLES H. EMANUEL
No. 3 Upper Bethlehem/VICORP Land
ST. CROIX, U.S. VIRGIN ISLAND

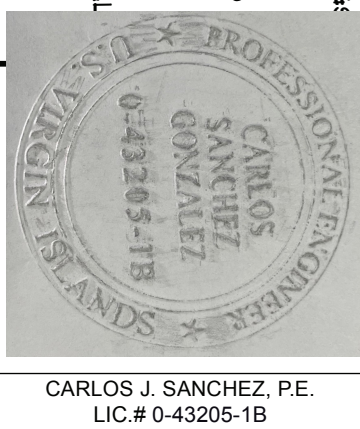
Sheet No.

D101



GENERAL DEMOLITION NOTES

1. THIS DEMOLITION PLAN SHOWS THE EXTENTS OF EXISTING BUILDINGS, EXTERIOR STAIRS, AND OTHER SITE ELEMENTS. THE CONTRACTOR SHALL EXAMINE THE BUILDING AND WORK AREAS TO BE DEMOLISHED TO DETERMINE THE LOCATION OF ALL UTILITIES AND WORK REQUIRED WHETHER SPECIFICALLY SHOWN OR NOT.
2. CONTRACTOR TO ENSURE THAT ALL DEMOLITION DEBRIS IS REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
3. MATERIAL HAVING SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE OWNER. ALL OTHER MATERIAL AND DEBRIS ACCUMULATED ON THE PROPERTY OF THE CONTRACTOR SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER.
4. CONTRACTOR TO FURNISH, INSTALL, AND MAINTAIN SAFE CONDITIONS AT ALL TIMES TO INSURE SAFETY FOR PERSONS AND TO PROTECT PROPERTY DURING DEMOLITION AND REMOVAL WORK.
5. CONTRACTOR TO REMOVE ALL EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS AND FURNISHING TO BE DEMOLISHED.
6. CONTRACTOR TO REMOVE ALL PUMPING FIXTURES, FITTINGS AND PIPING AS REQUIRED DEMOLISHED.
7. ALL ELECTRICAL, PUMPING AND MECHANICAL WORK (DEMOLITION AND NEW) SHALL BE PERFORMED BY LICENSED, COMPETENT CONTRACTORS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING THE SHUT OFF OF ANY EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION WORKS.
9. CONTRACTOR TO ENSURE THAT ALL WORK IS COMPLETED IN ACCORDANCE WITH EACH TRADE'S BEST INDUSTRY STANDARDS.



By		Revision	
No.	Date		
Designed by:	C.G.N.		
Drawn by:	G.G.O.		
Checked by:	C.G.N.		
Approved by:	C. S. G.		
Scale:			
Date:	JUN/2022		
Job No.:	V5101.08		
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Plans prepared by
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St. Croix, U.S. Virgin Islands
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HEAD START & EARLY HEAD START
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ST. CROIX, U.S. VIRGIN ISLAND

Sheet No.

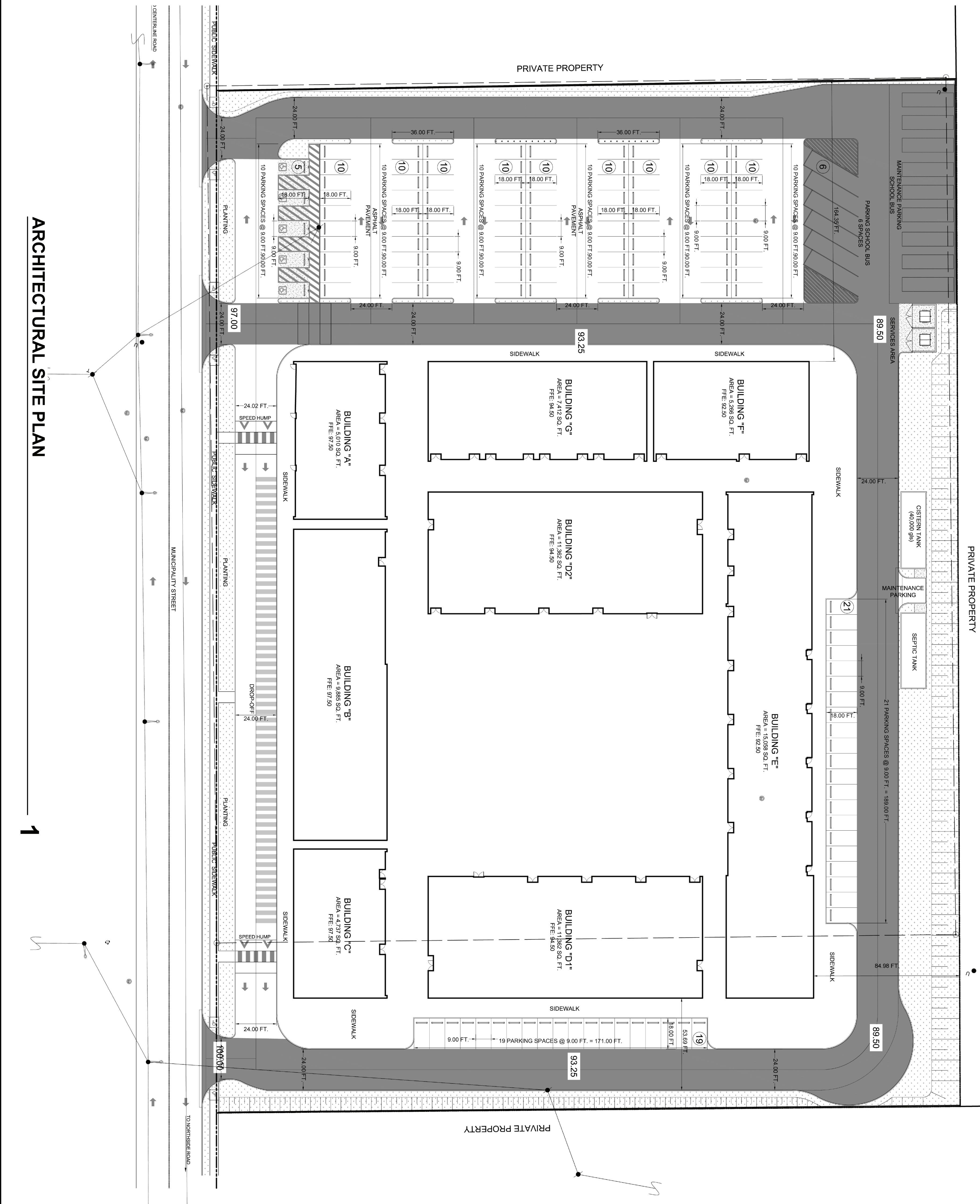
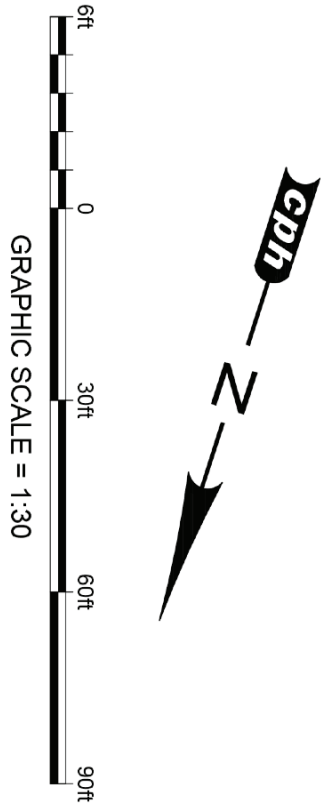
D102

DEMOLITION SITE PLAN

1

LEGEND

- TEMPORARY CONSTRUCTION BARRIER
- ① DEMOLITION ORDER
- TWO STORY BUILDING TO BE DEMOLISHED
- ONE STORY BUILDING TO BE DEMOLISHED
- CONCRETE PAVING, SIDEWALK, DRIVEWAY TO BE DEMOLISHED
- ← CAMERA VIEW/2
- ← PICTURED TO DIRECTION OF VIEW



ARCHITECTURAL SITE PLAN

1

SITE DIMENSION NOTES

- FOR LEGAL DESCRIPTION, BOUNDARY INFO., AND BENCHMARK INFO., SEE SITE SURVEY PREPARED BY: SURVEYOR JES LAND SURVEYORS AND CONSULTANTS, DATED: JANUARY 24, 2022.
- PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL CENTERLINE GEOMETRY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE SIDEWALK AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF THE PUERTO RICO HIGHWAY AND TRANSPORTATION AUTHORITY.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- SITENWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER SITEMWORK SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES PAVEMENT, STRIPING, CURB, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF KEY BUILDERS, SLOPE PAVING, SIDEWALKS, EXISTING TRUCK DOCKS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS NOTED (BOC) WHICH INDICATES BACK OF CURB.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER AND TELEPHONE COMPANIES FOR THE LOCATION AND HEIGHT OF THE Pylon SIGN BEFORE CONDUIT AND WIRING IS INSTALLED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED SHALL BE APPROVED BY S.O.C. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY: ESS LARSEN SURVEYING AND CONSULTANTS, DATED: JANUARY 24, 2022.
- CONTRACTOR SHALL PROVIDE ELECTRICAL CONNECTION FOR Pylon SIGN SUPPLIED BY OWNER & FIELD VERIFY EXACT LOCATION w/ OWNER.
- FOR SITE POWER & LIGHTING REFER TO ELECTRICAL SITE PLANS.
- SIGNAGE AND TRAFFIC MARKINGS SHALL BE IN ACCORDANCE WITH D.T.O.P. AND LOCAL AUTHORITY REQUIREMENTS.
- PROPOSED ACCESSIBLE PARKING SIGNS TO BE INSTALLED AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SIGNS NEEDED. ALL ACCESSIBLE SIGNS SHALL BE BUILT INSIDE PIPE BOLLARD PER DETAIL LOCATED ON DETAIL SHEET.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PLACING PEDESTRIAN CROSSING SIGNS AS INDICATED ON PLANS. CONTRACTOR TO VERIFY EXACT NUMBER OF SIGNS REQUIRED.
- PLEASE NOTE SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THE SITE DIMENSION PLAN FOR CLARITY. SEE SURVEY FOR ITEMS DELETED.
- ALL AREAS IDENTIFIED AS SOO, INCLUDING LANDSCAPE ISLAND SHALL RECEIVE FOUR INCHES OF LOAMY TOPSOIL PRIOR TO SOODING.
- CONTRACTOR SHALL FOLLOW ALL LOCAL AND FEDERAL REGULATIONS IN DISPOSING OF ALL MATERIALS REMOVED FROM THIS SITE.
- CONTRACTOR IS TO INSTALL SMOOTH TRANSITIONS BETWEEN CHANGES IN CURB TYPES.
- ALL SIGNS SHALL HAVE 2.13m MIN. CLEARANCE FROM FINISH GRADE TO BOTTOM OF LOWEST SIGN MOUNTED ON POST.
- DUE TO VARIATIONS IN PROPOSED CURB LINE CONFIGURATIONS & PROPERTY LINE (IRREGULARITY), THE ENGINEER SHALL PROVIDE THE CONTRACTOR WITH A DIGITAL COPY OF GEOMETRY PLAN (ACD 2800 FORMAT) FOR HIS USE IN ESTABLISHING A CONSTRUCTION GEOMETRY PLAN.
- ALL UNITS ARE IN FEET.

SITE DATA

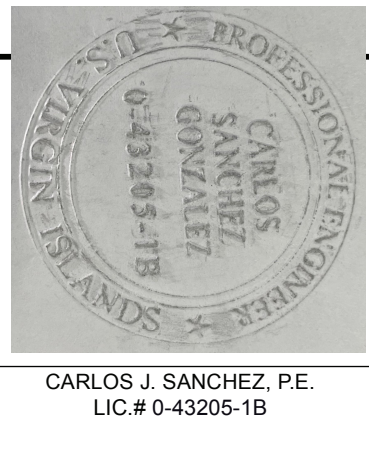
SITE AREA	20,020.60 mt. sq. = 215,500 s.f.
BUILDING AREA	70,093 s.f.
TOTAL PARKING	10 PARKING SPACE
TOTAL PARKING	6 SCHOOL BUS PARKING

LEGEND

- PROPERTY LINE
- WHEEL STOP
- CURB
- HANDICAP RAIRS
- PROPOSED SIGNS
- CONCRETE PAVEMENT
- 3" ASPHALT PAVEMENT
- 2" ASPHALT PAVEMENT
- GREEN AREA (SOO)
- STREET CENTER LINE
- TRAFFIC FLOW ARROW DIRECTION
- COORDINATES ID
- PARKING COUNT
- DOUBLE LIGHTING POLE
- SINGLE LIGHTING POLE



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Connecticut
Maryland



By	
Revision	

FEDERAL
CONSISTENCY
ISSUE

Designed by:	C.G.N.
Drawn by:	G.G.O.
Checked by:	C.G.N.
Approved by:	C.S.G.
Scale:	
Date:	JUN/2022
Job No.:	V5101.08
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CPH, Inc.

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St. Croix, U.S. Virgin Islands
787.641.1592 (EXT. 7019)

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HEAD START &
EARLY HEAD START
CHARLES H. EMANUEL
No. 3 Upper Bethlehem/VICORP Land
ST. CROIX, U.S. VIRGIN ISLAND

Sheet No.

A100