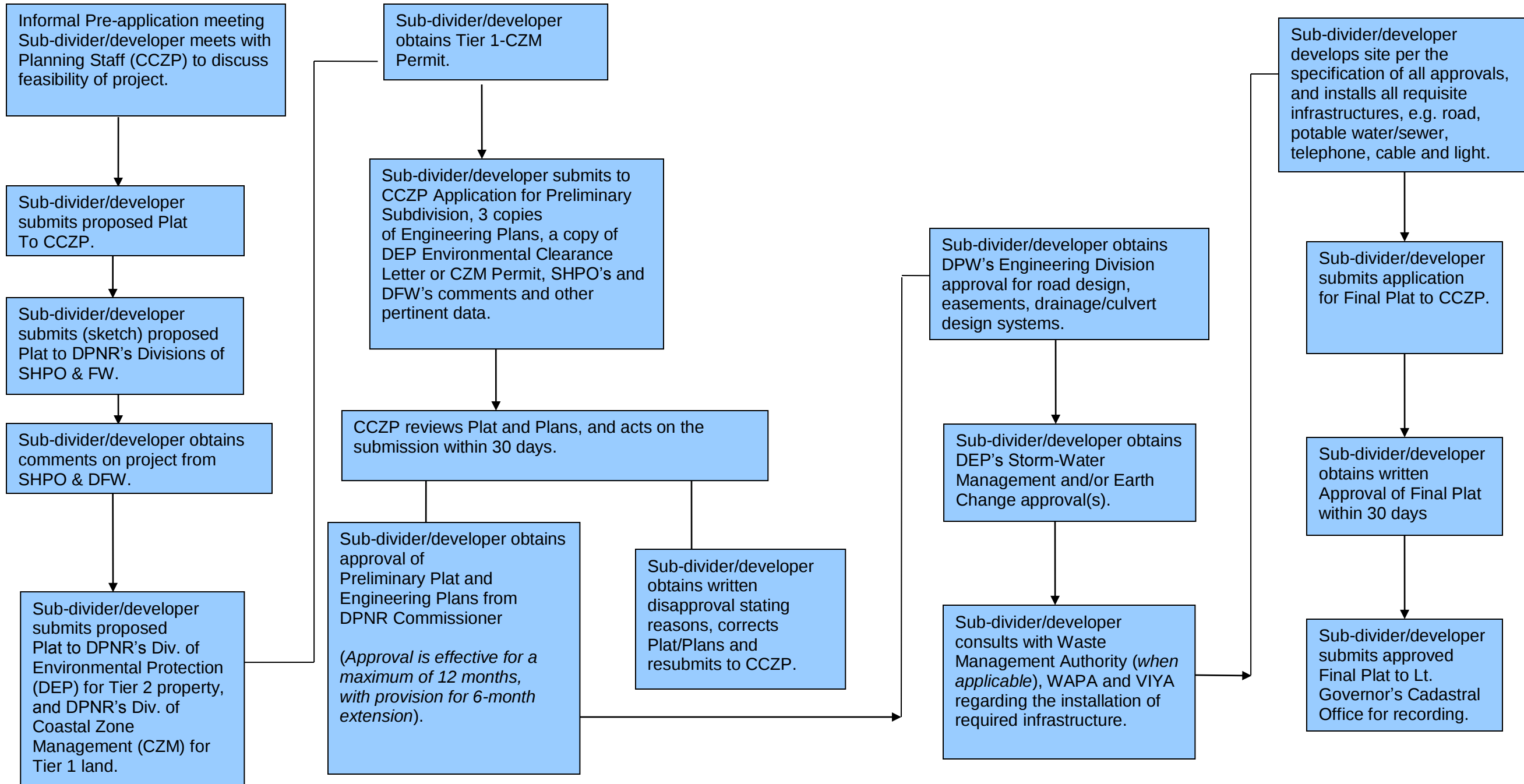
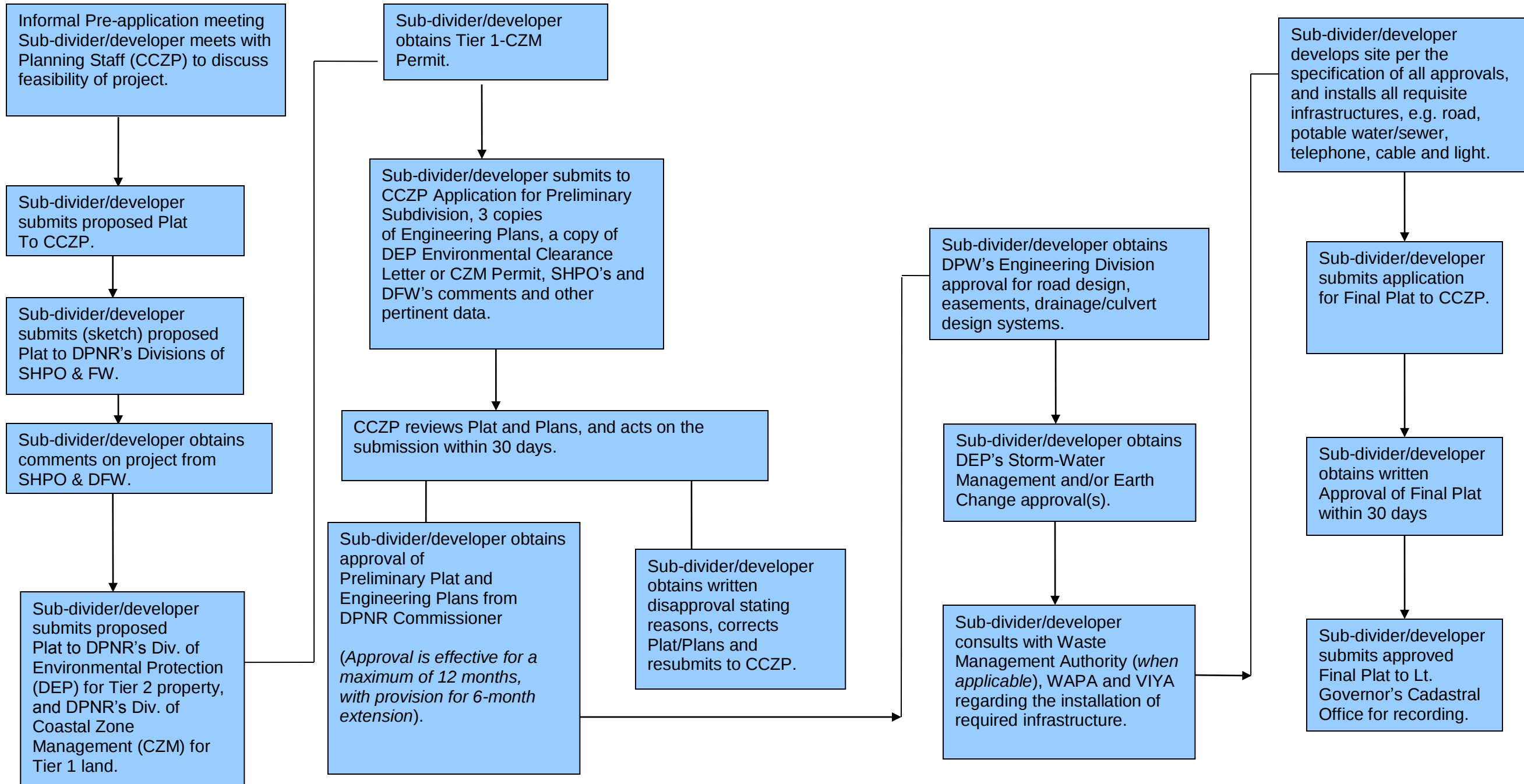


PROCEDURE FOR ALL SUBDIVISION DEVELOPMENT PROPOSALS



PROCEDURE FOR ALL SUBDIVISION DEVELOPMENT PROPOSALS



Office Use Only

Date Application Received: _____

Reviewed by: _____

Date Application Deemed Complete: _____

Date of Pre-Application Meeting: _____

Date Application Fee Paid: _____

Tracking No. _____



GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES

DEPARTMENT OF PLANNING AND NATURAL RESOURCES

Division of Comprehensive & Coastal Zone Planning

St. Croix
340-773-1082

St. Thomas/St. John
340-774-3320

Application for Approval of Preliminary Subdivision Plat

To the Department of Planning and Natural Resources:

An application is hereby submitted for the approval of the Preliminary Plan for a subdivision hereinafter more particularly described and detailed on the accompanying maps and documents.

1. Applicant _____

Mailing Address _____

City _____ State _____ Zip _____

Telephone _____ E-mail _____

Note: Official correspondence will be mailed to the address above

2. Contact Person/Representative _____

Telephone _____ E-mail _____

3. Property Address _____

4. Tax Assessor's Parcel I.D. Number _____

5. Zoning District _____

6. Site Acreage _____

7. Property Owner(s) _____

Address _____

City _____ State _____ Zip _____

Telephone _____ Email _____

8. Number of proposed lots: _____

9. Average lot size: _____ Range from _____ to _____

Area Allotment

Type of area	Area (Acres)	% of Total Area
Residential Lots	_____	_____
Road Right of Way	_____	_____
Recreation areas	_____	_____
Remainder of tract	_____	_____
Other (Specify)	_____	_____
Total	_____	_____

10. Roads

a. Right of Way Width(s): _____

b. Road Way Width(s): _____

c. Walk Way Width(s): _____

d. Road Surface types: _____

e. Maximum and Minimum Road Gradient(s) Max: _____ Min: _____

11. Predominant ground slope(s): _____ Range from _____ to _____

12. Development Plans

a. Sell lots only? Yes: _____ No: _____

- b. Construction of houses for sale? Yes: ____ No: ____
Number of houses: _____
- c. Other (*Specify in detail*) _____

13. Deed restrictions that may apply or are planned (*Use attached sheet to explain in detail*) _____

14. Name and profession of person designing preliminary plan.

Name _____ Profession _____

Address _____

Telephone _____ Email _____

15. List proposed improvement and utilities and time of intended installation.

Improvements

Time of Installation

- | | |
|----------|-------|
| 1. _____ | _____ |
| 2. _____ | _____ |
| 3. _____ | _____ |
| 4. _____ | _____ |
| 5. _____ | _____ |

16. List of maps and other material accompanying application and number of each.

Item

Number

- | | |
|----------|-------|
| 1. _____ | _____ |
| 2. _____ | _____ |
| 3. _____ | _____ |
| 4. _____ | _____ |
| 5. _____ | _____ |

I hereby certify that the information contained in this application is true and correct, and that all work will be done in compliance with all applicable Virgin Islands law regulating subdivision and zoning.

Print

Print

Sign

Sign

Date

Date

Preliminary Plat Submittal Requirements

The applicant shall submit a completed Application for Approval of the Preliminary Plat signed by the Applicant/Developer. Engineering Plans must be certified by a Registered Professional Engineer. The application shall be submitted with:

Three (3) copies of:

Preliminary Plat which is to include: Boundary Survey, Topography and Grading Plan, Schematic Street Layout, Schematic Utility Plan, Typical Cross-Sections of Streets, Plan and Profile Drawings and Special Details.

One (1) copy of:

1. Water Resources Map.
2. Sediment Reduction Program Map.
3. Official Recorded and Numbered PWD/OLG Map (*Obtained from and **certified** by the Office of the Lieutenant Governor, Cadastral Division, St. Croix 773-6449; St. Thomas 774-9906*)
4. Real Property Tax Clearance Letter (*Obtained from the Department of Finance, St. Croix 773-1105; St. Thomas/ St. John 774-4750*)
5. A copy of the property's deed and of any protective covenants or deed restrictions that apply to the land being subdivided.
6. Power of Attorney (*Notarized Power of Attorney required if applicant/representative is not the property owner(s) of record or if property is owned by more than one person.*)
7. A separate map showing only the property boundaries of the tract and proposed subdivided lots with their dimensions.
8. An approved Minor Coastal Zone Management (CZM) Permit by the DPNR's Division of Coastal Zone Management for Tier 1 properties.
9. A location map showing which island the development is on as well as where on the island the construction will occur.
10. Certification from the Department of Planning and Natural Resources' Division of State Historic Preservation Office of the property's cultural, historical and archaeological status.

11. If a zoning change was involved, a copy of the Legislative approval stating that the change has been granted.

Note: Approval of Preliminary Plats will not be granted until all required documents are submitted to the Division of Comprehensive and Coastal Zone Planning. Additionally, no activity, e. g. earth change, placement of monuments for individual lots, road cutting, or construction of any kind, shall take place on the property until the Commissioner of the Department of Planning and Natural Resources has granted written approval of the Preliminary Plat.

Office Use Only

Date Application Received: _____

Reviewed by: _____

Date Application Deemed Complete: _____

Date of Pre-Application Meeting: _____

Date Application Fee Paid: _____

Tracking No. _____



GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES

DEPARTMENT OF PLANNING AND NATURAL RESOURCES

Division of Comprehensive & Coastal Zone Planning

St. Croix
340-773-1082

St. Thomas/St. John
340-774-3320

Application for Final Approval of Final Subdivision Plat

To the Department of Planning and Natural Resources:

An application is hereby submitted for the final approval of the Final Plat for a subdivision hereinafter more particularly described and detailed on the accompanying maps and documents.

1. Applicant _____

Mailing Address _____

City _____ State _____ Zip _____

Telephone _____ E-mail _____

Note: Official correspondence will be mailed to the address above

2. Contact Person/Representative _____

Telephone _____ E-mail _____

3. Property Address _____

4. Tax Assessor's Parcel I.D. Number _____

5. Current Zone _____

6. Site Acreage _____

7. Property Owner(s) _____

Address _____

City _____ State _____ Zip _____

Telephone _____ Email _____

8. Date of Approval of Preliminary Plan: _____

9. Application Number of approved Preliminary Plan: _____

10. Does the Final Plat follow exactly the Preliminary Plan in regards to details and area covered? If not, indicate material changes: _____

11. Number of proposed lots for Final Approval: _____

12. Explain the function, ownership, and owner maintenance of common open space and other areas including private estate roads not otherwise reserved or dedicated for public use: _____

13. List of maps and other material accompanying application and number of each.

Item

Number

1. _____

2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____

14. Certification from the Department of Planning and Natural Resources' Division of Environmental Protection that the developer's plans for storm water management, and waste water (sewage) disposal have been approved.
15. Certification from the Virgin Islands Water and Power Authority that the developer's plans, easements and/or right of way for utilities are properly located and adequate in size for installation and maintenance of facilities.
16. Certification from the Department of Public Works that the developer's plans for streets (*roads*), walks, culverts, and any special engineering features have been approved.
17. Developer must produce documents prior to requesting final approval that he/she has paid for the installation and connection of water and electricity lines, if the property is in the area of WAPA connections. All developers must produce documents before final approval that cable and telephone connections were paid for the subdivision.

I hereby certify that the information contained in this application is true and correct, and that all work will be done in compliance with all applicable Virgin Islands law regulating subdivision and zoning.

Print

Print

Sign

Sign

Date

Date



**GOVERNMENT OF
THE VIRGIN ISLANDS OF THE UNITED STATES**

PUBLIC WORKS DEPARTMENT

6002 Estate Anna's Hope
Christiansted, St. Croix, V.I. 00820-4428

Tel: (340) 773-1290

Fax: (340) 773-0670

**STANDARD SPECIFICATION
FOR ROAD PAVING FOR SUBDIVISION**

SPECIFICATION FOR ROAD PAVING SHALL BE PER FP-03 (STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES ON FEDERAL HIGHWAY PROJECTS)

1. SUBDIVISION WITH FIFTEEN (15) LOTS OR LESS

ROAD WIDTH SHALL BE 18 FEET

FLEXIBLE PAVEMENT (BITUMINOUS CONCRETE)

- A. PAVING SHALL CONSIST OF 2" BASE COARSE OF BITUMINOUS CONCRETE AND TWO INCH (2") OF SERVICE COARSE BITUMINOUS CONCRETE
- B. FOR ROADS THAT ARE CONSTRUCTED WITH SOIL CEMENT A MINIMUM OF FOUR INCHES (4") OF SOIL CEMENT SHALL BE USED FOR THE BASE COARSE AND TWO INCHES (2") OF BITUMINOUS CONCRETE SHALL BE APPLIED AS THE SERVICE COARSE

RIGID PAVEMENT (PORTLAND CEMENT CONCRETE ROADS)

- A. FOR RIGID PAVEMENT, AFTER THE SUBBASE OR SUBGRADE IS PREPARED, A SLAB THICKNESS OF SIX INCHES (6") OF CONCRETE SHALL BE POURED FOR THE ROADWAY
- B. 3/8 REBARS 8" ON CENTER SHALL BE USED AS REINFORCEMENT

2. SUBDIVISION WITH MORE THAN FIFTEEN LOTS

ROAD WIDTH SHALL BE TWENTY (20) FEET

FLEXIBLE PAVEMENT (BITUMINOUS CONCRETE)

- A. PAVING SHALL CONSIST OF TWO (2) INCHES OF BASE COARSE BITUMINOUS CONCRETE AND TWO INCHES 2" OF SERVICE COARSE BITUMINOUS CONCRETE

- B. FOR ROADS CONSTRUCTED WITH SOIL CEMENT A MINIMUM OF FOUR INCHES OF SOIL CEMENT SHALL BE USED FOR THE BASE COARSE AND TWO INCHES 2" OF SERVICE COARSE OF BITUMINOUS CONCRETE SHALL BE APPLIED TO THE ROAD

RIGID PAVEMENT(PORTLAND CEMENT CONCRETE ROADS)

- A. FOR RIGID PAVEMENT, AFTER THE SUBBASE OR SUBGRADE IS PREPARED, A SLAB THICKNESS OF EIGHT INCHES (8") OF CONCRETE SHALL BE POURED FOR THE ROADWAY
- B. 3/8 REBARS 8" ON CENTER SHALL BE USED AS REINFORCEMENT

NOTE: 1. ALL ROADS SHALL BE CONSTRUCTED WITH THREE FEET (3') CONCRETE SWALES ON EITHER SIDE TO PROVIDE PROPER DRAINAGE WHEN THE ROAD IS CROWNED (2% SLOPE) AND FOUR FEET (4') SWALE ON ONE SIDE IF THE ROAD IS SUPERELEVATED.

2. CLAY SOIL IS UNACCEPTABLE AND SHALL NOT BE USED AS BACKFILL MATERIAL. SELECTED BORROW AS DESCRIBED BELOW SHALL BE USED INSTEAD.

PREPARATION OF THE SUBBASE FOR ROADS

- a) GRANULAR MATERIAL FREE OF EXCESS MOISTURE, MUCK, FROZEN LUMPS, ROOTS, SOD OR OTHER DELETERIOUS MATERIAL SHALL BE USED AS SELECTED BORROW FOR THE SUBBASE
- b) THE CONTRACTOR SHALL NOT PLACE THE MATERIAL IN LAYERS EXCEEDING 6 INCHES IN COMPACTED THICKNESS
- c) THE LAYERS SHALL BE COMPACTED FULL WIDTH. ROLL FROM THE SIDES TO THE CENTER, PARALLEL TO THE CENTERLINE OF THE ROAD. ALONG CURBS HEADERS, WALLS AND PLACES NOT ACCESSIBLE TO THE ROLLER
- d) EACH LAYER SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY

**GOVERNMENT OF
THE UNITED STATES OF THE VIRGIN ISLANDS**



**DEPARTMENT OF PUBLIC WORKS
6002 ESTATE ANNA'S HOPE
CHRISTIANSTED, ST. CROIX, U.S.V.I. 00820-4428**

OFFICE OF HIGHWAY ENGINEERING

**TELEPHONE: (340) 773-1280
FAX: (340) 773-7153**

**EXCAVATION PERMIT
SPECIAL CONDITIONS OF UTILITY PERMIT
(ROAD SURFACE CONDITION DEFINED AS GOOD*)**

UNDERGROUND UTILITIES

PROJECT NO:

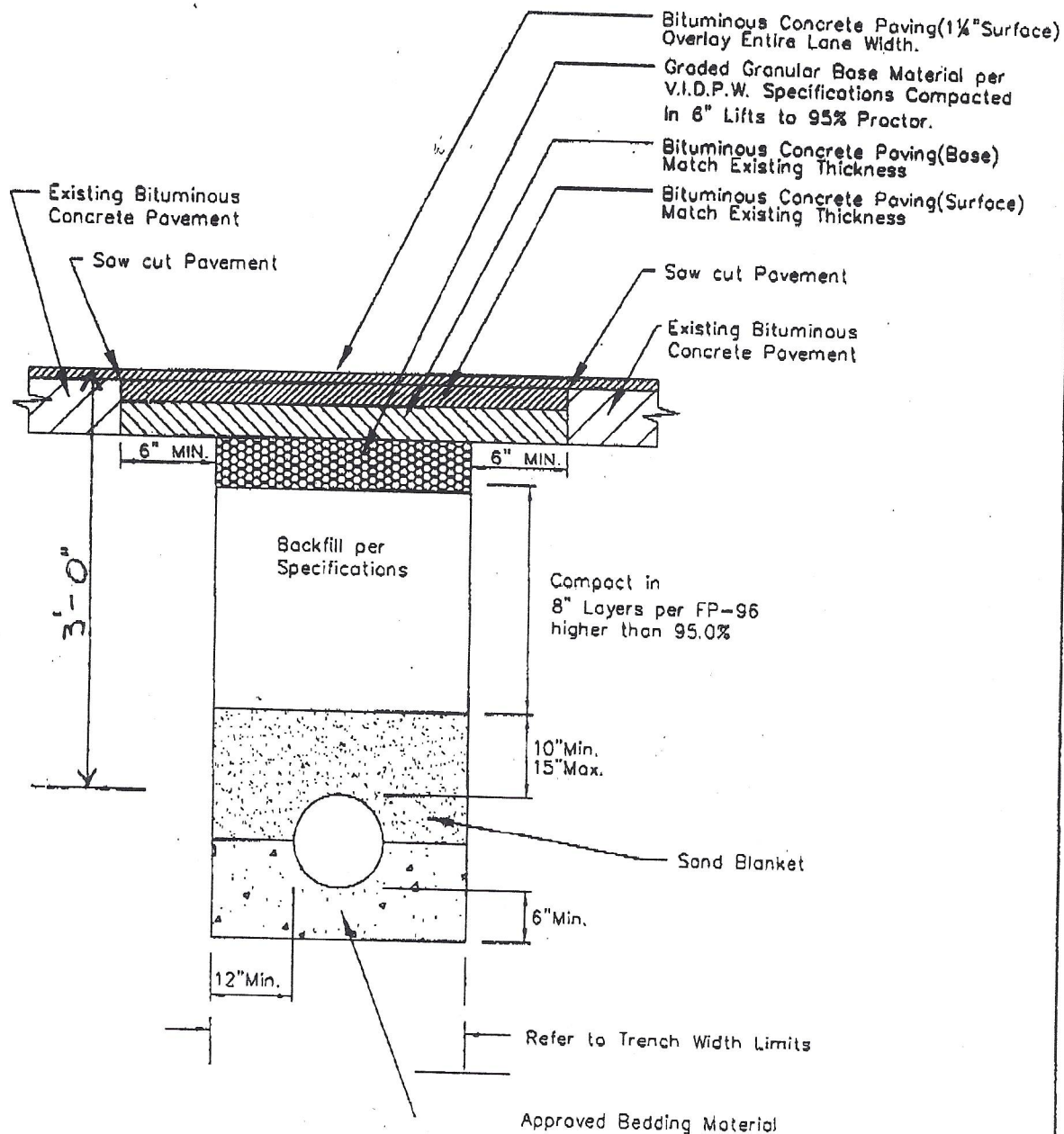
1. A Traffic Control Plan must be submitted to DPW and approved at least one week prior to the start of construction. The traffic control plan shall be developed in compliance with the Manual on Uniform Traffic Control Devices and shall contain diagrams of work zones for two way traffic, work zones at intersections and work zones on divided highways.
2. Prior to the start of construction all utilities including the DPW Utilities Division and Signal Division shall be contacted and requested to mark all their underground installations. Please be informed that any damage to signal loop detectors shall require the removal and replacement of the entire loop and the subsequent resurfacing of the entire loop detector area.
3. A Professional Construction Inspector must be assigned to each project and his name and qualifications submitted to DPW for approval prior to the start of construction.
4. A Professional Testing and Quality Control Company must be retained to perform required tests and compile a complete record of testing to be submitted to DPW on a weekly basis.
5. The Utility Company must submit specifications on concrete manholes and backfill material for DPW's approval.
6. The Construction Inspectors on each project shall submit a written report of daily activities to the DPW no later than noon on the following day.
7. Trenching should be done in the middle of the travel lane to the greatest extent possible. The trench must be placed within 6 inches of the saw cut edges of the asphalt pavement.
8. Due caution shall be exercised to ensure proper compaction around manholes and other structures within the travelled way.
9. Trench patching shall be done by an approved paving contractor and be paved in sections comprising approximately one weeks production. No paving shall be done until approved density tests have been performed in respective layers along the trench. No trench sections shall be left unpaved for more than two weeks, and in very sensitive areas patching may be required immediately following backfill and approved density tests.
10. Patching of trenches shall be to the full depth of the pavement and shall be full width in accordance with the attached details.
11. At the conclusion of the project all trenches running parallel with the roadway will be overlaid with a 1" surface course for a full lane width. Prior to paving the surface course, all trench patches shall be shimmed to grade.
12. All pavement markings which are defaced shall be restored in kind with an approved thermoplastic product.
13. A representative from DPW will be assigned as coordinator of the project. The construction Inspectors retained by the Utility Company are expected to communicate and coordinate the work with DPW's representative on a daily basis.

*Good Condition is defined as less than 10 percent of the total road surface of the road or segment is affected with a particular or a number of distresses. Distresses may be present, but in low severity and not causing a problem.

NOTE: ROADS THAT ARE IN GOOD CONDITION SHALL BE RESURFACED WITH 1 1/4" OF ASPHALT OVER THE ENTIRE LANE WIDTH.

JOB NAME:	TRENCH DETAIL	
	DATE:	
LOCATION:	JOB NUMBER	SHEET

**TYPICAL TRENCH DETAIL FOR ROADWAY
IN GOOD CONDITION
ENTIRE LANE WIDTH OVERLAY**



JOB NAME:

TRENCH DETAIL

DATE:

LOCATION:

JOB NUMBER

SHEET