

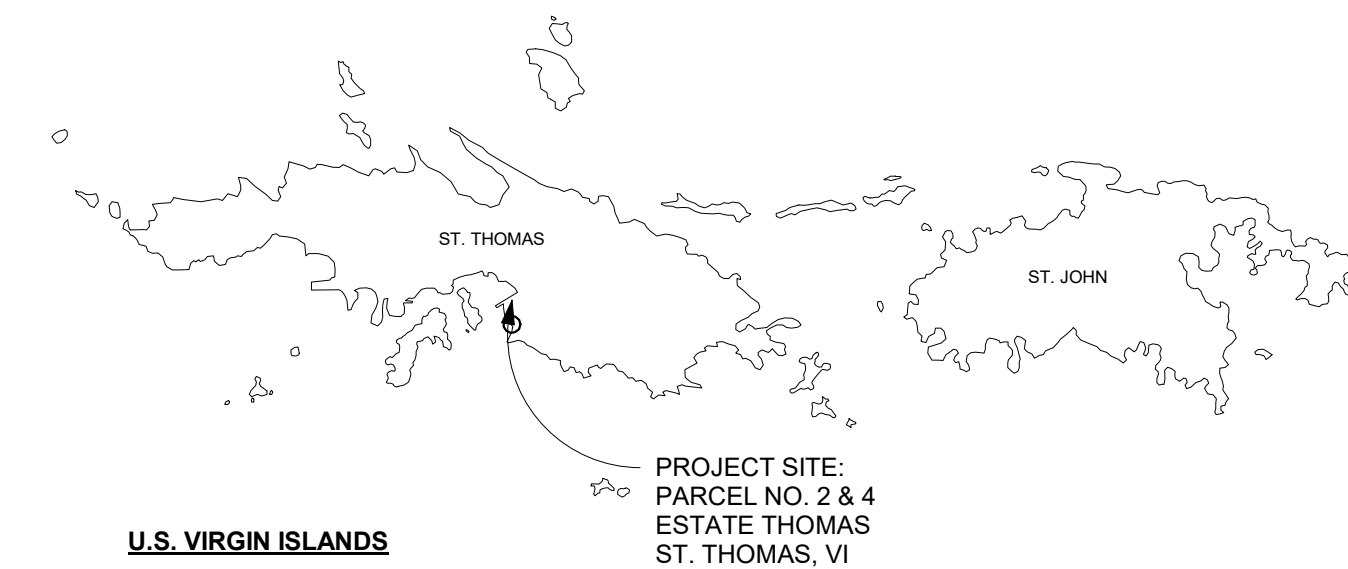
# CZM PERMIT SET

## HAMPTON INN & SUITES HOTEL HAVEN DEVELOPMENT, LLC

PARCEL NO. 2 & 4 ESTATE THOMAS  
6F AND 6B NEW QUARTER  
ST. THOMAS, U.S. VIRGIN ISLANDS



PERSPECTIVE VIEW



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.

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PROGRESS SET		
No.	Description	Date
1	CZM PERMIT SET	09/09/2022

REVISIONS		
No.	Description	Date

Project number  
Date 09/06/2022  
Drawn by JTB  
Checked by JTB

COVER SHEET

G-000

Scale: AS SHOWN

Plotted By: Vesp, Austin, Sheet Set: Haven Dev USVI, Layout: C-100 COVER SHEET, September 07, 2022, 05:38:23pm, K:\vmb-civil\43113002 haven dev usv\CIVIL\CADD\plansheets\C-100 COVER SHEET.dwg  
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# CZM CIVIL SET FOR HAMPTON INN & SUITES

ST. THOMAS, US-VI  
SEPTEMBER 2022

**PROJECT TEAM:**

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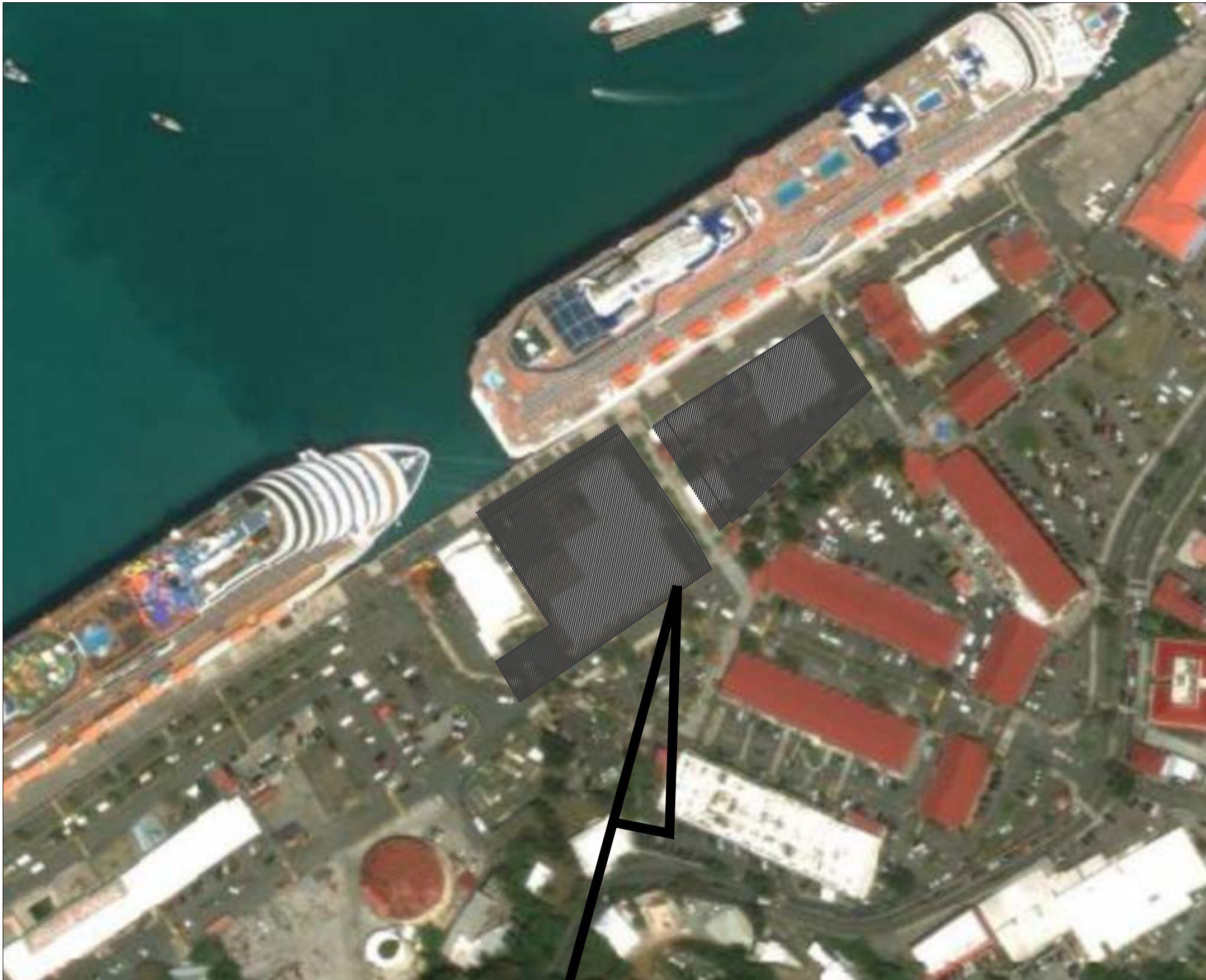
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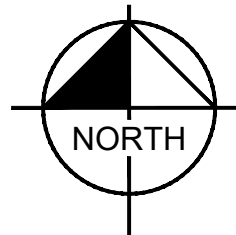
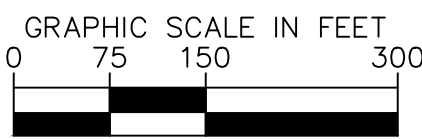
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## PROJECT LOCATION

Sheet List Table	
Sheet Number	Sheet Title
C-100	COVER SHEET
C-101	GENERAL NOTES
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C-501	PAVING GRADING AND DRAINAGE DETAILS
C-600	WATER AND SEWER PLAN

VICINITY MAP



CIVIL ENGINEER:

**Kimley»Horn**

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No.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL GEORGE BALABAN US VIRGIN ISLAND LICENSE NUMBER 0-5167-1B	DATE: _____
KHA PROJECT 143113002	DATE: 9/07/2022
SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	DATE: _____

**COVER SHEET**

HAMPTON INN & SUITES  
 PREPARED FOR  
 HAVEN DEVELOPMENT,  
 LLC.  
 ST. THOMAS    US-VI

SHEET NUMBER  
**C-100**

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### GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
2. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATION THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITION THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE BOTH THE SURFACE AND SUBSURFACE CONDITIONS AND BASE HIS PRICING ACCORDINGLY. GEOTECHNICAL AND ENVIRONMENTAL REPORTS ARE AVAILABLE FOR REVIEW.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE US VIRGIN ISLANDS DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLOUGED BY LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
12. ANY WELL TO REMAIN SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE MAINTENANCE OF TRAFFIC FOR THE ADJACENT PROPERTY DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
15. PRIOR TO GRAND OPENING THE CONTRACTOR SHALL:
  - SWEEP THE ENTIRE SITE
  - ELIMINATE ALL DEBRIS IN THE LANDSCAPING AREAS
  - PRESSURE CLEAN THE SITE ASPHALT AND CONCRETE
  - PRESSURE CLEAN THE CURBS AND SIDEWALKS.

### RECORD DRAWINGS

1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 10 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, US WELL AS BOTH IN AUTOCAD 2007 OR LATER, BOTH PREPARED BY A US VIRGIN ISLANDS REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

### PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
7. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
10. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
11. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
12. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
13. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
15. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
17. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS.
18. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
19. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST.
20. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
21. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

### DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES OR DRAINAGE STRUCTURES TO REMAIN.

### WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION AS RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A US VIRGIN ISLANDS PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
10. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-VELL PLASTIC PIPE ASSOCIATIONS "GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM"
11. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION.
12. ALL WATER MAIN PIPES SHALL BE COLOR CODED USING BLUE AS A PREDOMINANT COLOR.
13. ALL WATER MAINS SHALL BE LAID WITH A MINIMUM 36" COVER FOR PVC AND 30" FOR DIP.
14. NO CONNECTIONS TO EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS & BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE US VIRGIN ISLANDS WATER AND POWER AUTHORITY.
15. LOCATOR TAPE AND WIRE SHALL BE INSTALLED ON ALL NEW WATER MAINS. TAPE WILL BE 3" WIDE AND COLOR CODED AND INSTALLED 12" ABOVE WATER MAIN. WIRE WILL BE 14 STRAND AND COLOR CODED.
16. R.P.M.'S TO BE INSTALLED PRIOR TO C/O AT CENTER OF NEAREST DRIVE AISLE ADJACENT TO ALL HYDRANTS (BLUE). FOR HYDRANTS AT CORNERS, TWO (2) R.P.M.'S SHALL BE INSTALLED, ONE AT EACH ROADWAY.
17. WATER DISTRIBUTION SYSTEM MATERIAL:
  - A. POLYVINYL CHLORIDE (PVC) WATER MAIN SHALL HAVE PUSH-ON RUBBER GASKET JOINTS.
  - B. PVC PIPE SHALL BE 1120 PRESSURE PIPE WITH IRON O.D., CLASS 150 (SDR 18), CONFORMING TO ANSI/AWWA C900-LATEST REVISION.
  - C. WHERE DUCTILE IRON PIPE (DIP) IS REQUIRED IT SHALL BE 60-42-10, CLASS 50 WALL THICKNESS WITH INTERIOR CEMENT LINING AND EXTERIOR COAL TAR COATING CONFORMING TO ANSI/AWWA C151/A21.51-LATEST REVISION.
  - D. PIPE JOINTS SHALL BE MECHANICAL, CONFORMING TO AWWA C-111-00.
  - E. ALL GASKETS SHALL BE NEOPRENE. WHERE REQUIRED POLYETHYLENE WRAP SHALL BE INSTALLED.
18. GRAVITY SEWAGE COLLECTION SYSTEM MATERIAL:
  - A. ALL SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SRD 35, WITH PUSH-ON RUBBER GASKET JOINTS.
  - B. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR EQUAL.
  - C. WHERE DIP IS REQUIRED, IT SHALL BE 60-42-10 CLASS 50 WALL THICKNESS WITH INTERIOR POLY LINING AND EXTERIOR COAT FOR COATING CONFORMING TO ANSI/AWWA C151/A21.51-91.
- MANHOLES
  - A. MANHOLES SHALL BE PRECAST PER ASTM C 478 WITH 4000 PSI CONCRETE AND GRADE 40 STEEL.
  - B. ALL SANITARY SEWER MANHOLES SHALL HAVE RAIN INSERT COVERS.
19. TESTING:
  - A. PRIOR TO ANY PHYSICAL CONNECTIONS TO EXISTING WATER MAIN SYSTEM, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION. PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DURING THE TEST, OTHERWISE, TEST SHALL BE CONSIDERED UNSATISFACTORY.
  - B. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE US VIRGIN ISLANDS WATER AND POWER AUTHORITY AND THE ENGINEER OF RECORD.
  - C. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSI/AWWA C651-05 OR LATEST REVISION.

- D. ALL NEW WATER MAINS SHALL BE PIGGED PRIOR TO DISINFECTION.
- E. METER CONNECTIONS SHALL BE MADE TO NEW LINES ONLY AFTER TWO CONSECUTIVE DAYS OF BACTERIOLOGICAL SAMPLES HAVE PASSED, AND COPIES OF RESULTS HAVE BEEN PROVIDED TO THE ENGINEER OF RECORD AND THE US VIRGIN ISLANDS WATER AND POWER AUTHORITY.
- F. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF A MAXIMUM OF 1200' UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- G. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:  

$$L = \frac{SD \cdot W \cdot P}{148,000}$$
 IN WHICH L EQUALS THE MAXIMUM ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S EQUALS LENGTH OF PIPE (FT), D EQUALS NOMINAL DIAMETER OF PIPE (IN.) AND P EQUALS THE MINIMUM TEST PRESSURE (LBS/SQUARE IN.).

### PAVEMENT MARKINGS NOTES:

1. CONTRACTOR TO APPLY TWO COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDLIUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED APPLICATION RATE WITHOUT THE ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7.5 MILS DRY FILM THICKNESS PER COAT WITH MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. SECOND COAT OF PAINT SHALL NOT BE APPLIED EARLIER THAN 7 DAYS PRIOR TO GRAND OPENING. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF A LINE FOR A TOTAL DRY FILM THICKNESS OF 15 MILS.
2. ALL PAVEMENT SYMBOLS AND MARKINGS SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STRIPING.

### EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION PLAN AND BECOME FAMILIAR WITH ITS CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISEPDED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
17. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
19. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
20. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

### MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:


1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

### TYPICAL ENGINEER OBSERVATIONS

- CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:
- PRE-CONSTRUCTION MEETING
  - SUBGRADE PREPARATION
  - BASE INSTALLATION
  - ASPHALT/CONCRETE INSTALLATION
  - UNDERGROUND PIPING AND UTILITIES INSTALLATION
  - INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC.
  - SIDEWALK INSTALLATION
  - CONNECTIONS TO WATER AND SEWER MAINS
  - TESTS OF UTILITIES
  - ANY OTHER INSPECTION FOR WHICH A PERMITTING AGENCY REQUIRES THE ENGINEER TO BE PRESENT

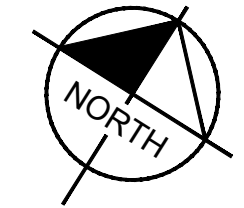
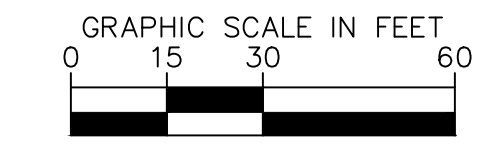
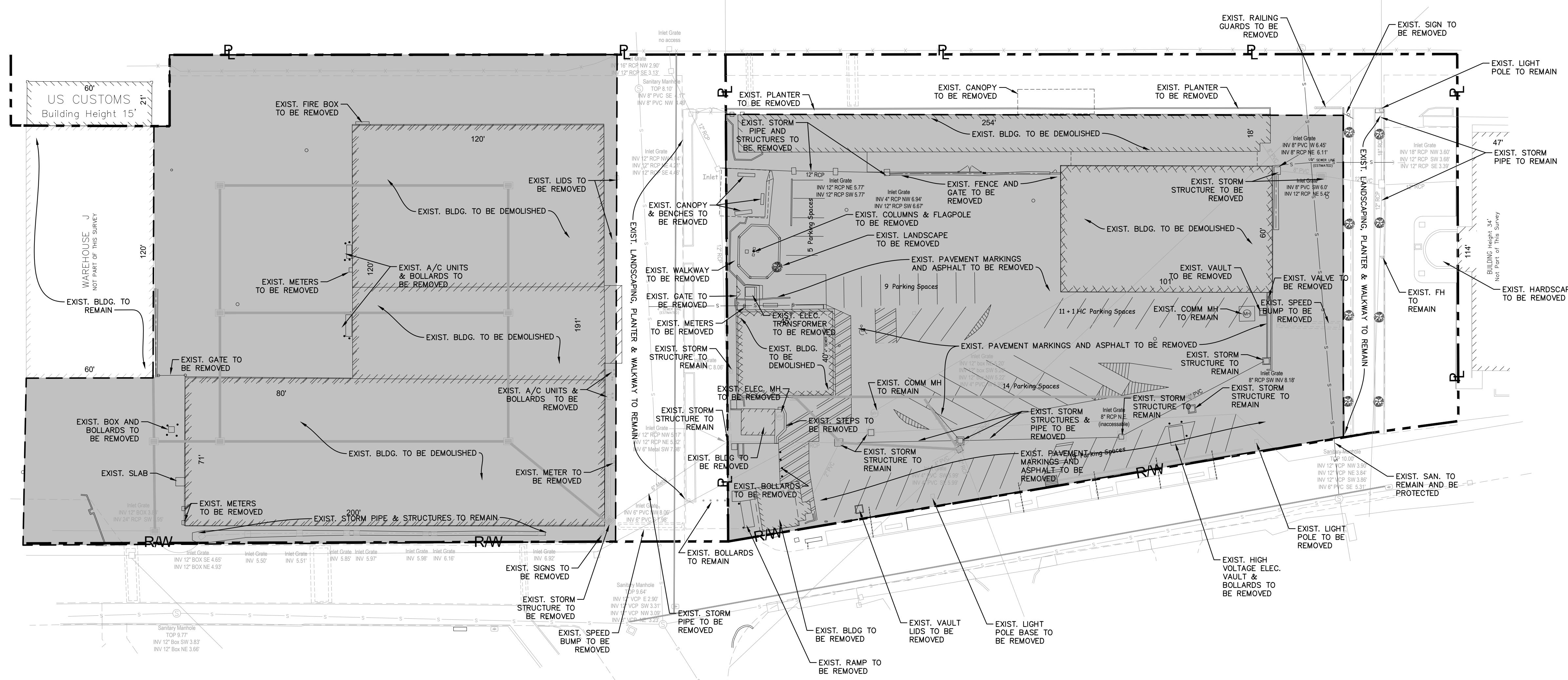
### 3RD PARTY TEST REPORTS REQ'D

- TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:
- DENSITY TEST REPORTS
  - BACTERIOLOGICAL TESTS OF WATER SYSTEM
  - PRESSURE TEST OF WATER/SEWER
  - LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
  - ANY OTHER TESTING REQUIRED BY THE AGENCY

KHA PROJECT 14-3113002		DATE SEPTEMBER 2022		SCALE AS SHOWN		DESIGNED BY		DRAWN BY		CHECKED BY		DATE	
LICENSED PROFESSIONAL GEORGE BALABAN		US VIRGIN ISLAND LICENSE NUMBER 0-5187-1B		WWW.KIMLEY-HORN.COM		REGISTRY 35106		NO.		REVISIONS		DATE	
													
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<b>GENERAL NOTES</b>													
<b>HAMPTON INN &amp; SUITES PREPARED FOR HAVEN DEVELOPMENT, LLC.</b>													
SHEET NUMBER <b>C-101</b>													
ST. THOMAS US-VI													



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**LEGEND:**

- PROPERTY LINE / RIGHT-OF-WAY LINE
- LIMITS OF DEMOLITION

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GEORGE BALABAN	SEPTEMBER 2022
US VIRGIN ISLAND LICENSE NUMBER	SCALE AS SHOWN
0-5167-1B	DESIGNED BY
	DRAWN BY
	CHECKED BY
	DATE

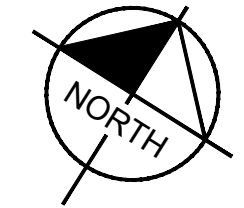
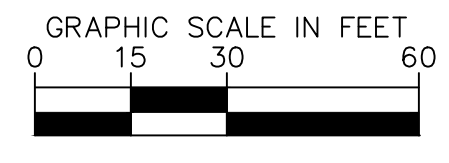
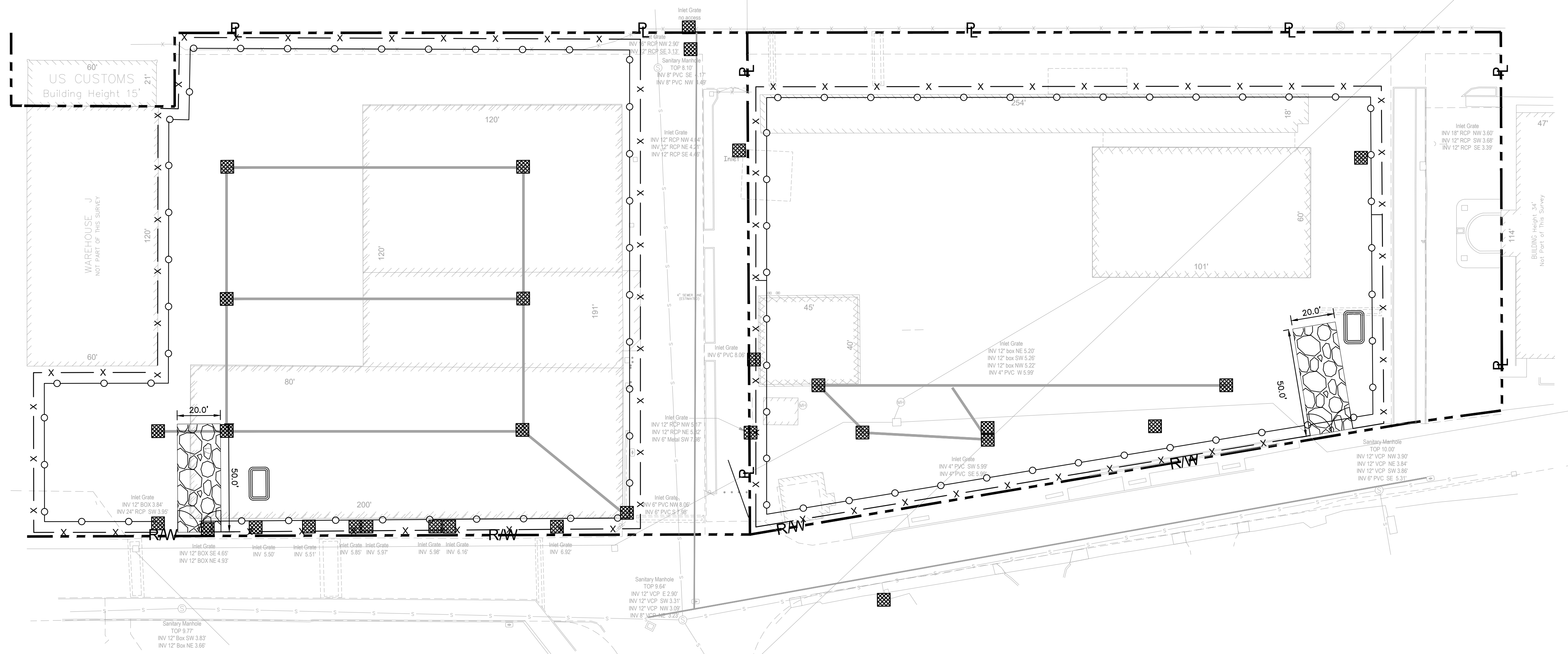
**DEMOLITION PLAN**

**HAMPTON INN & SUITES**  
 PREPARED FOR  
**HAVEN DEVELOPMENT, LLC.**

ST. THOMAS US-VI



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**LEGEND:**

- PROPERTY LINE / RIGHT-OF-WAY LINE
- CENTER LINE OF ROADWAY
- PROP. SILT FENCE OR FILTEREXX SEDIMENT CONTROL
- PROP. CHAIN LINK CONSTRUCTION FENCE
- PROP. PROTECTIVE FILTER FABRIC
- PROP. STABILIZED CONSTRUCTION ENTRANCE

NO.	REVISIONS	DATE	BY

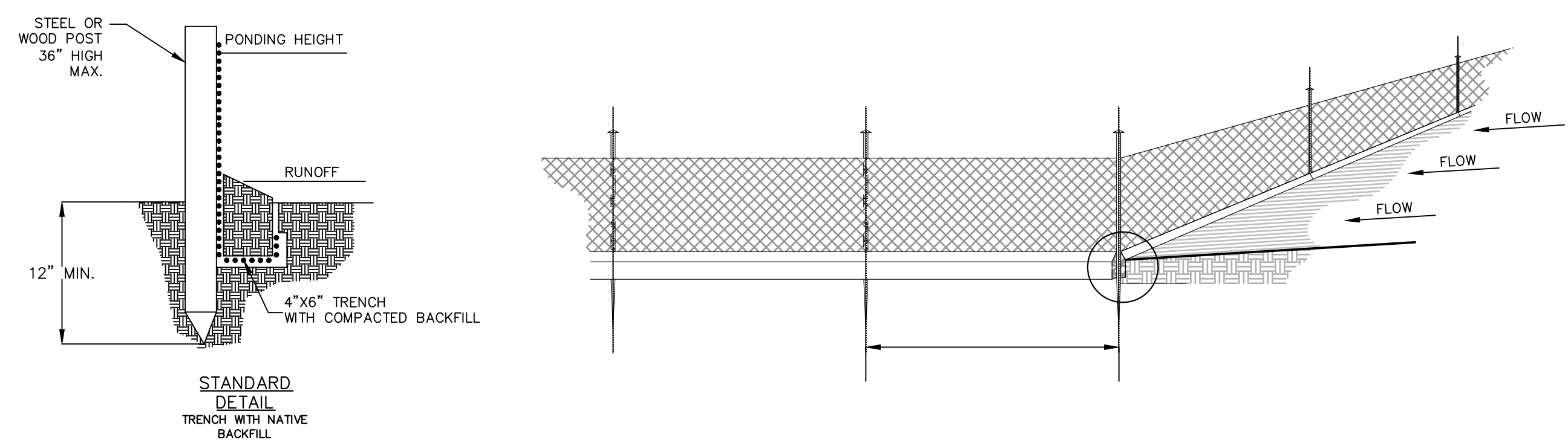
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 US VIRGIN ISLAND  
 LICENSE NUMBER  
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 DATE: \_\_\_\_\_

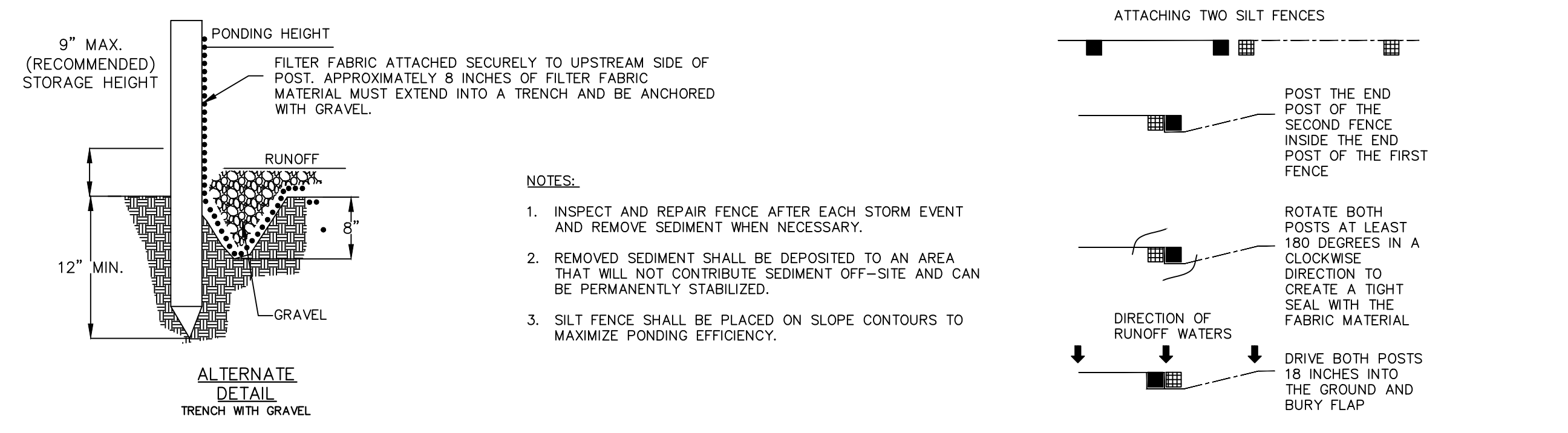
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 DESIGNED BY  
 DRAWN BY  
 CHECKED BY

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 PREPARED FOR  
 HAVEN DEVELOPMENT,  
 LLC.  
 ST. THOMAS US-VI

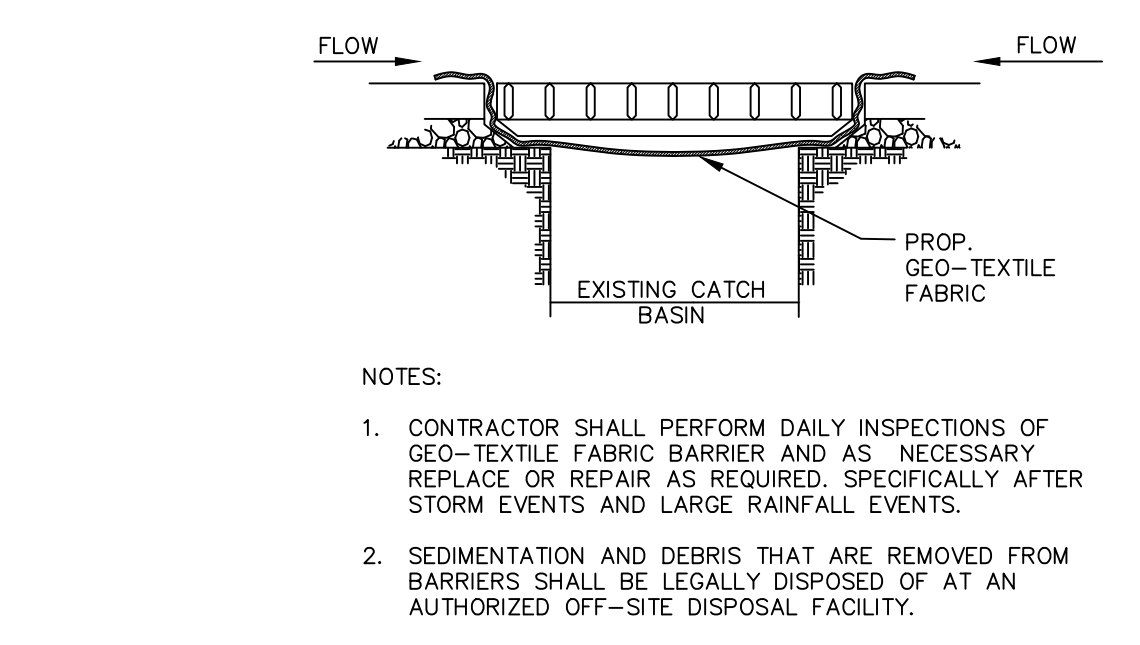
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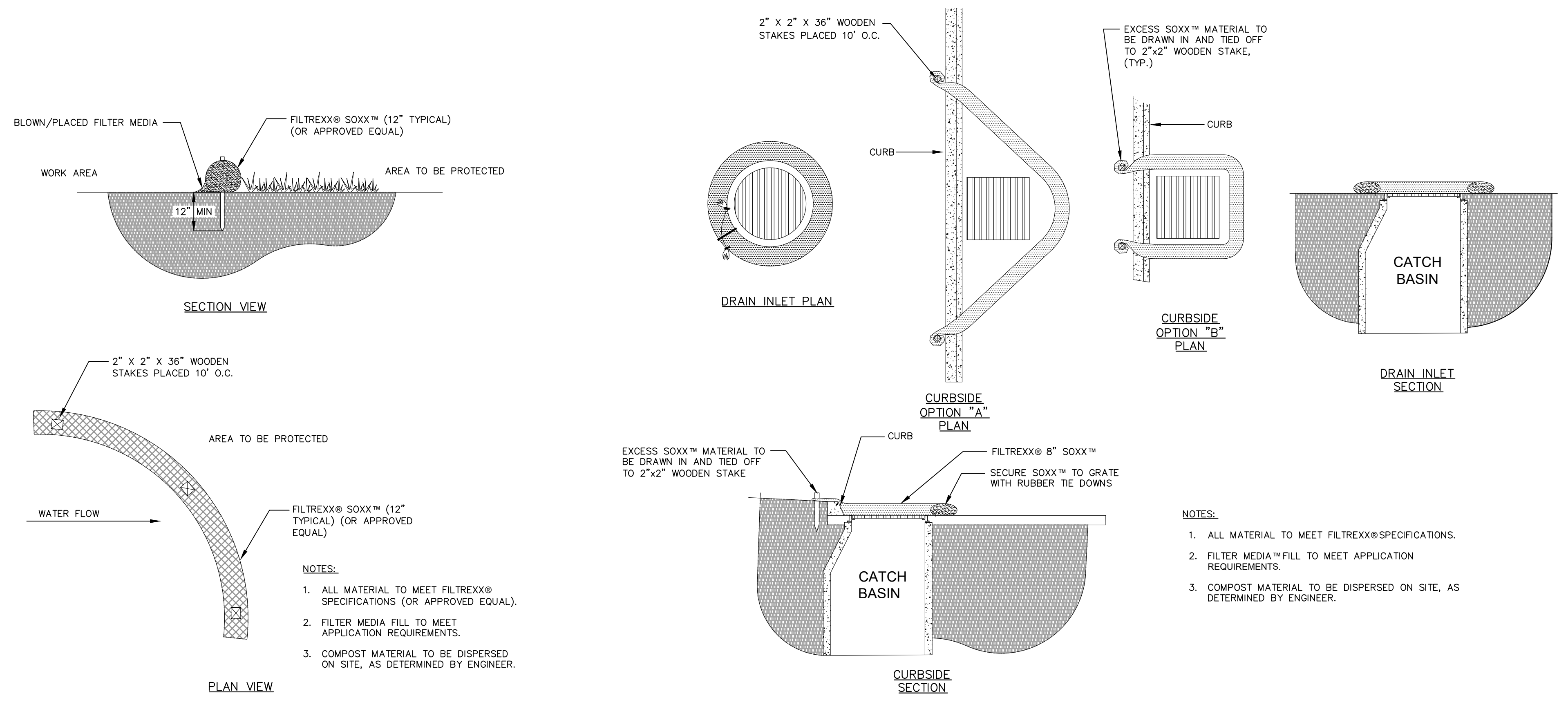
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C104 NOT TO SCALE



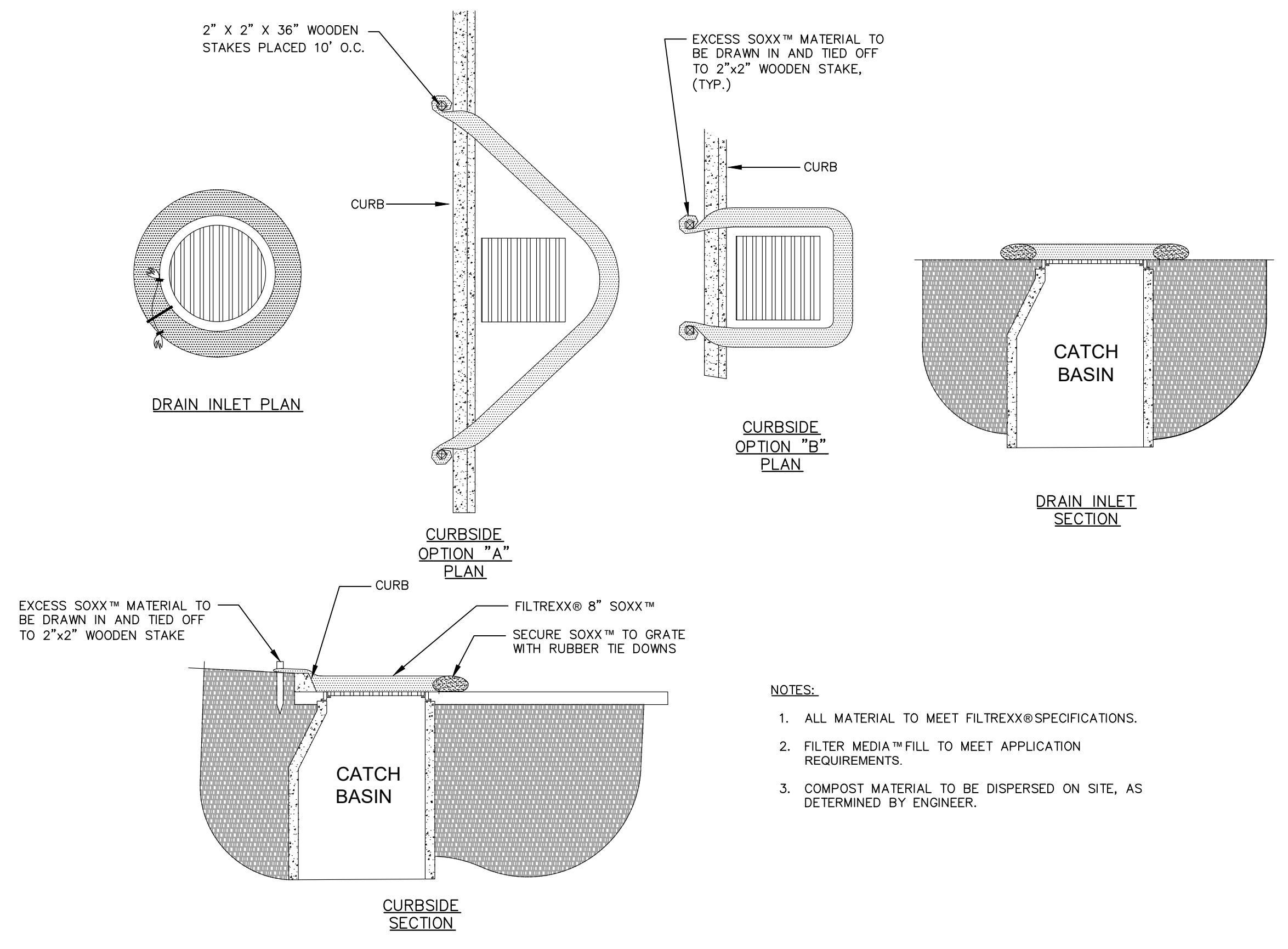
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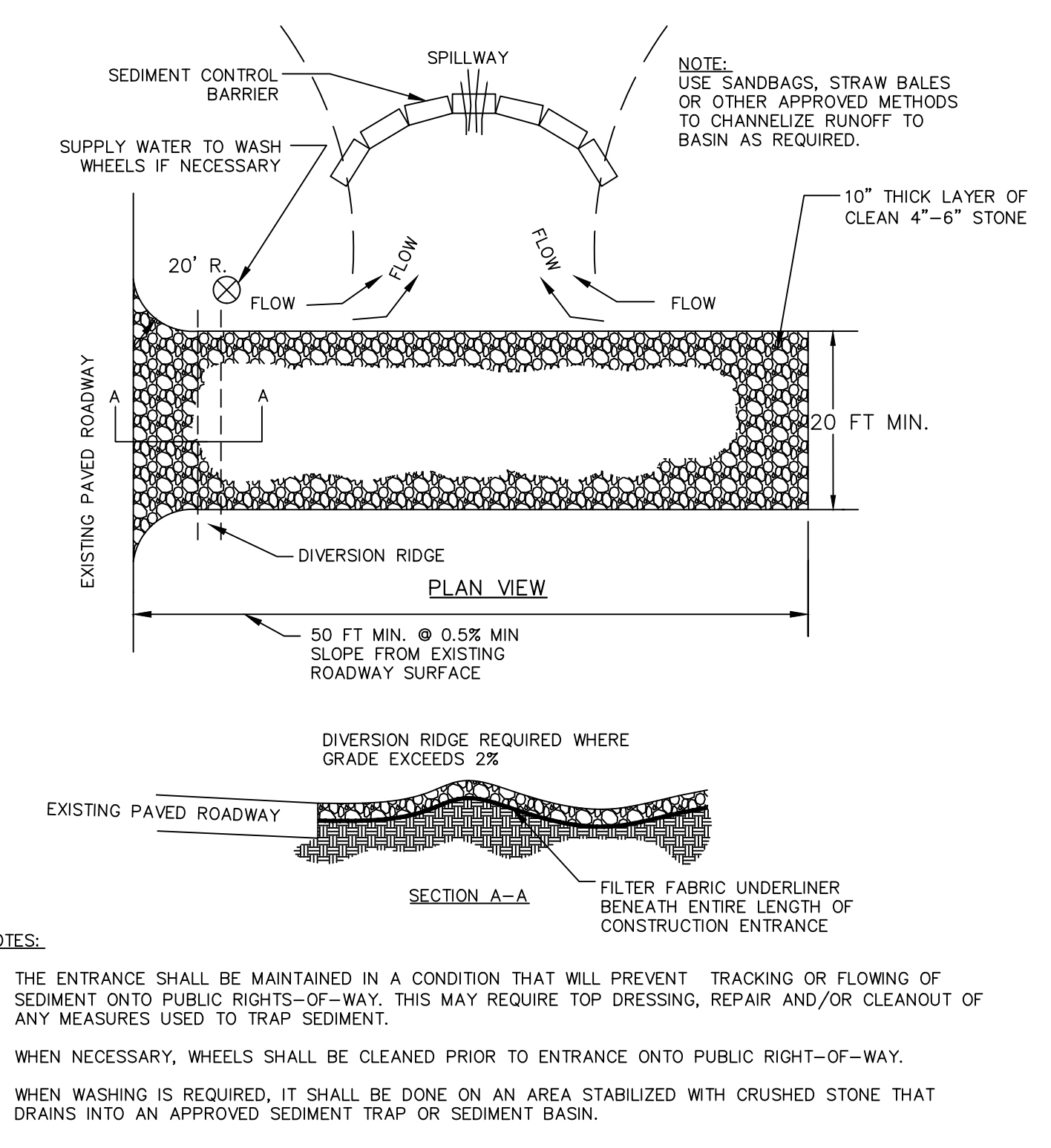
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**4 FILTREXX SEDIMENT CONTROL (O.A.E.)**  
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**5 FILTREXX INLET PROTECTION (O.A.E.)**  
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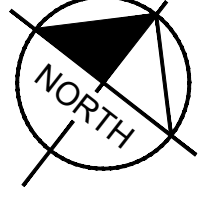
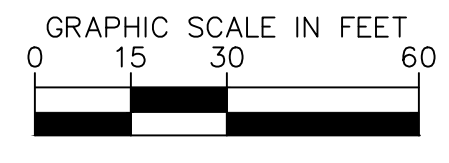
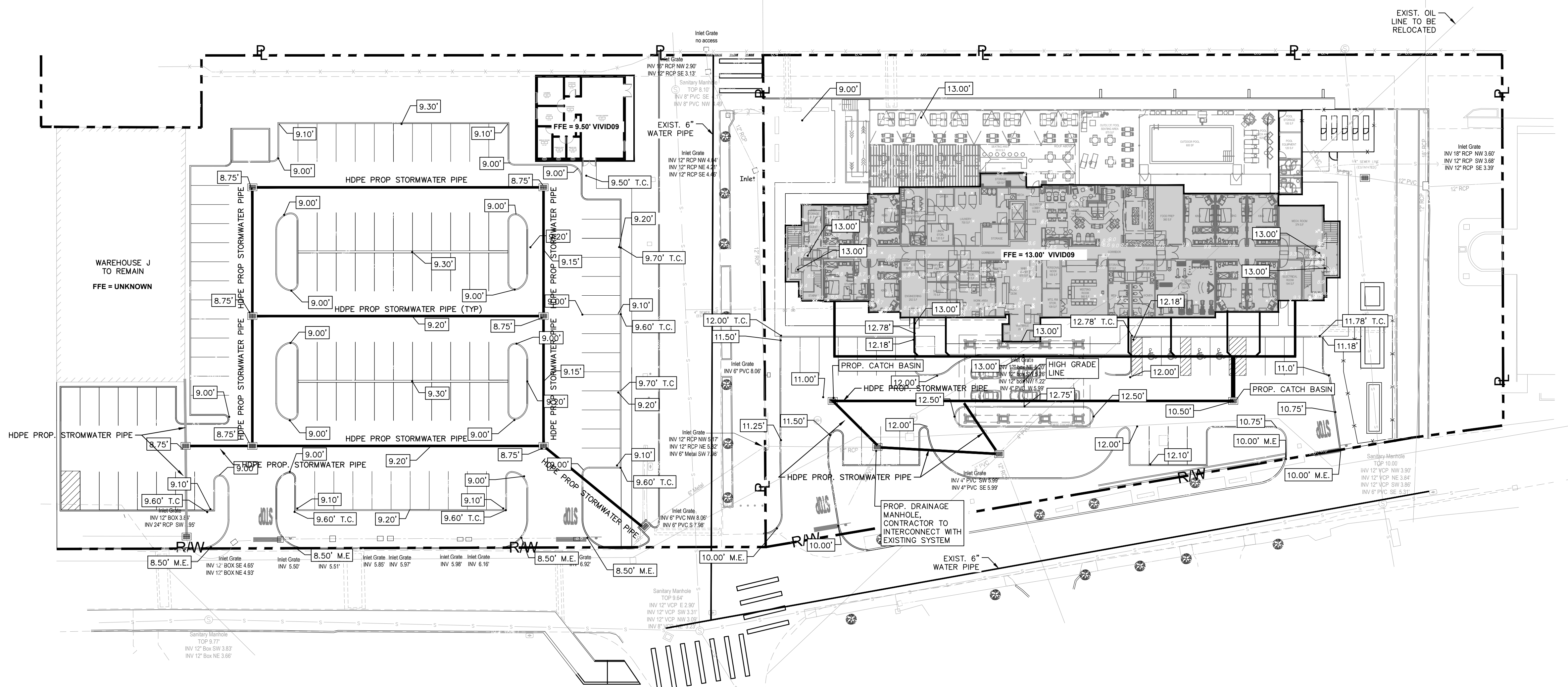


**6 STABILIZED CONSTRUCTION ENTRANCE**  
C104 NOT TO SCALE

<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">         © 2022 KIMLEY-HORN AND ASSOCIATES, INC.          2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33134          PHONE: 305-673-2025          WWW.KIMLEY-HORN.COM       </p>	No. _____ REVISIONS _____ DATE _____
LICENSED PROFESSIONAL GEORGE BALABAN US VIRGIN ISLAND LICENSE NUMBER 0-5187-1B	DATE: _____ CHECKED BY: _____ DRAWN BY: _____ DESIGNED BY: _____ SCALE: AS SHOWN DATE: SEPTEMBER 2022 PROJECT: KHA PROJECT 143113002
<h2 style="margin: 0;">EROSION CONTROL DETAILS</h2>	
<p style="margin: 0;"> <b>HAMPTON INN &amp; SUITES</b>          PREPARED FOR  <b>HAVEN DEVELOPMENT, LLC.</b> </p>	
SHEET NUMBER <h3 style="margin: 0;">C-302</h3>	



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**LEGEND:**

- PROPERTY LINE / RIGHT-OF-WAY LINE
- CENTER LINE OF ROADWAY

No.	REVISIONS	DATE	BY

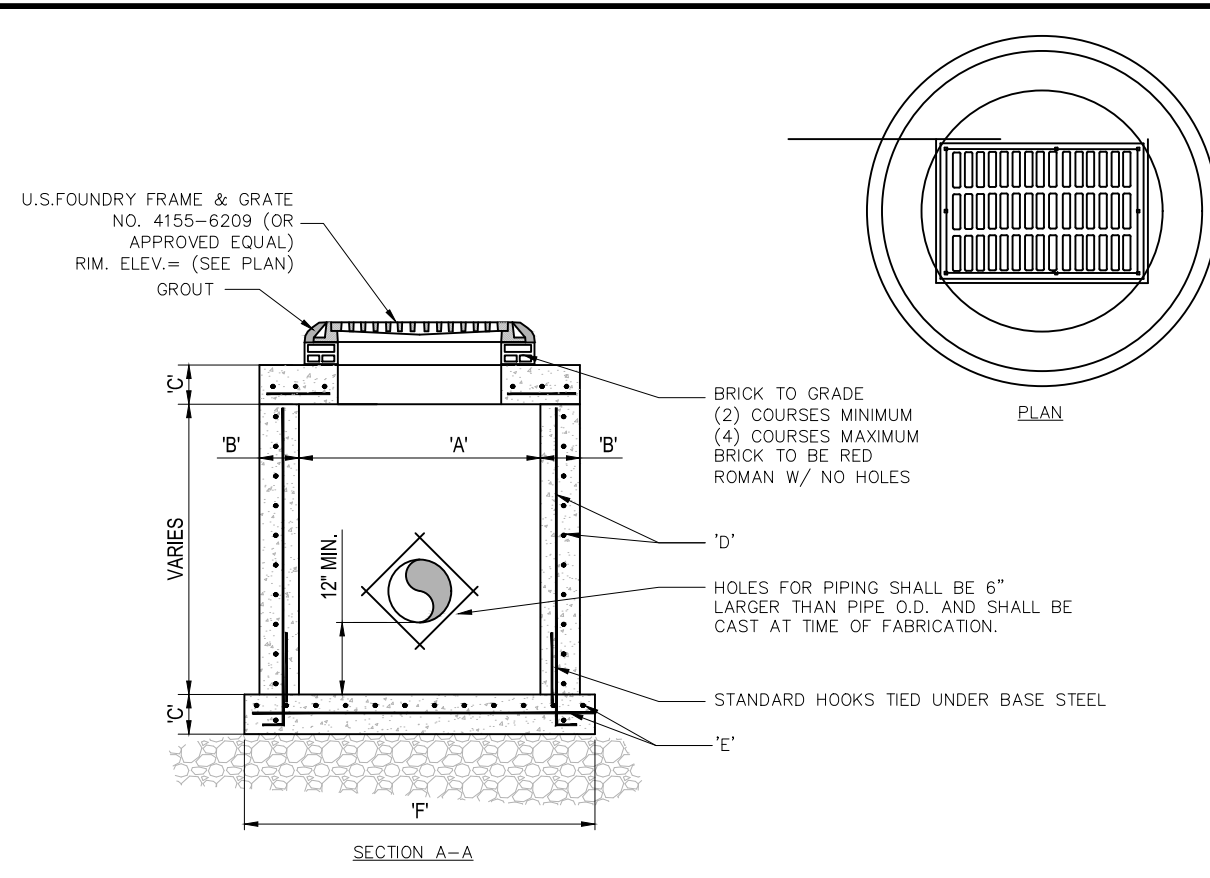
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US VIRGIN ISLAND LICENSE NUMBER	SCALE AS SHOWN
0-5167-1B	DESIGNED BY
	DRAWN BY
	CHECKED BY
	DATE

**PAVING GRADING AND DRAINAGE PLAN**

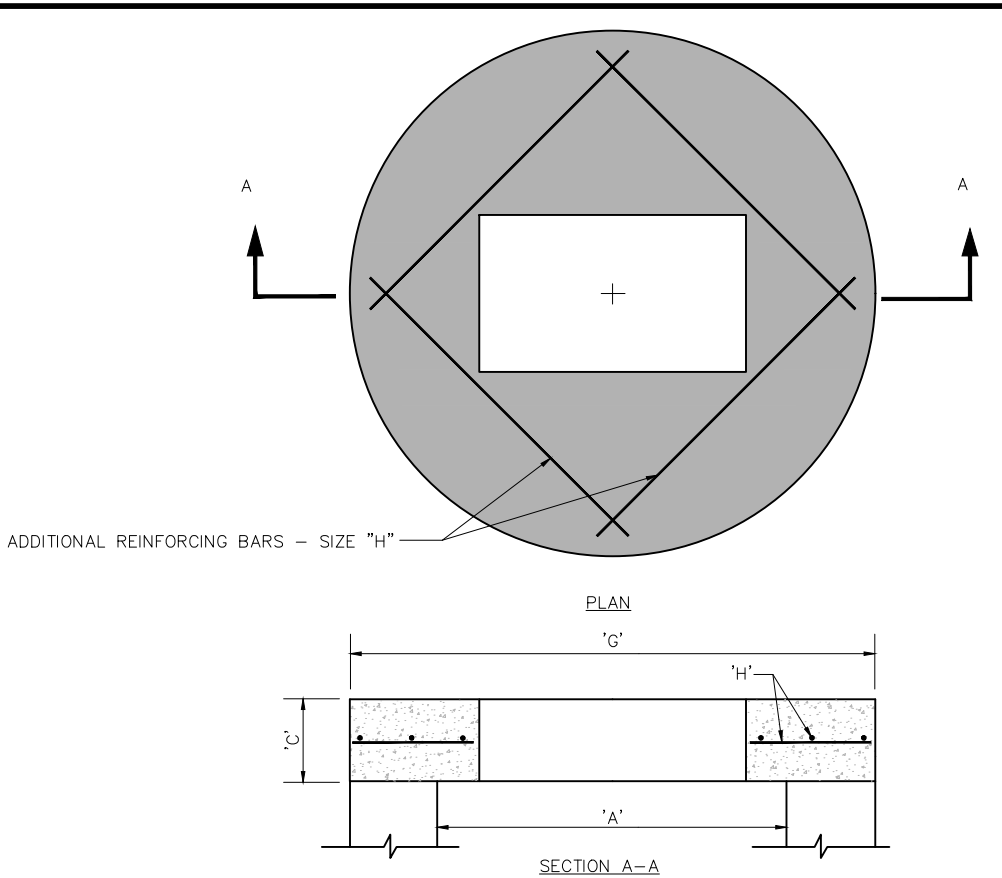
**HAMPTON INN & SUITES**  
 PREPARED FOR  
**HAVEN DEVELOPMENT, LLC.**  
 ST. THOMAS US-VI

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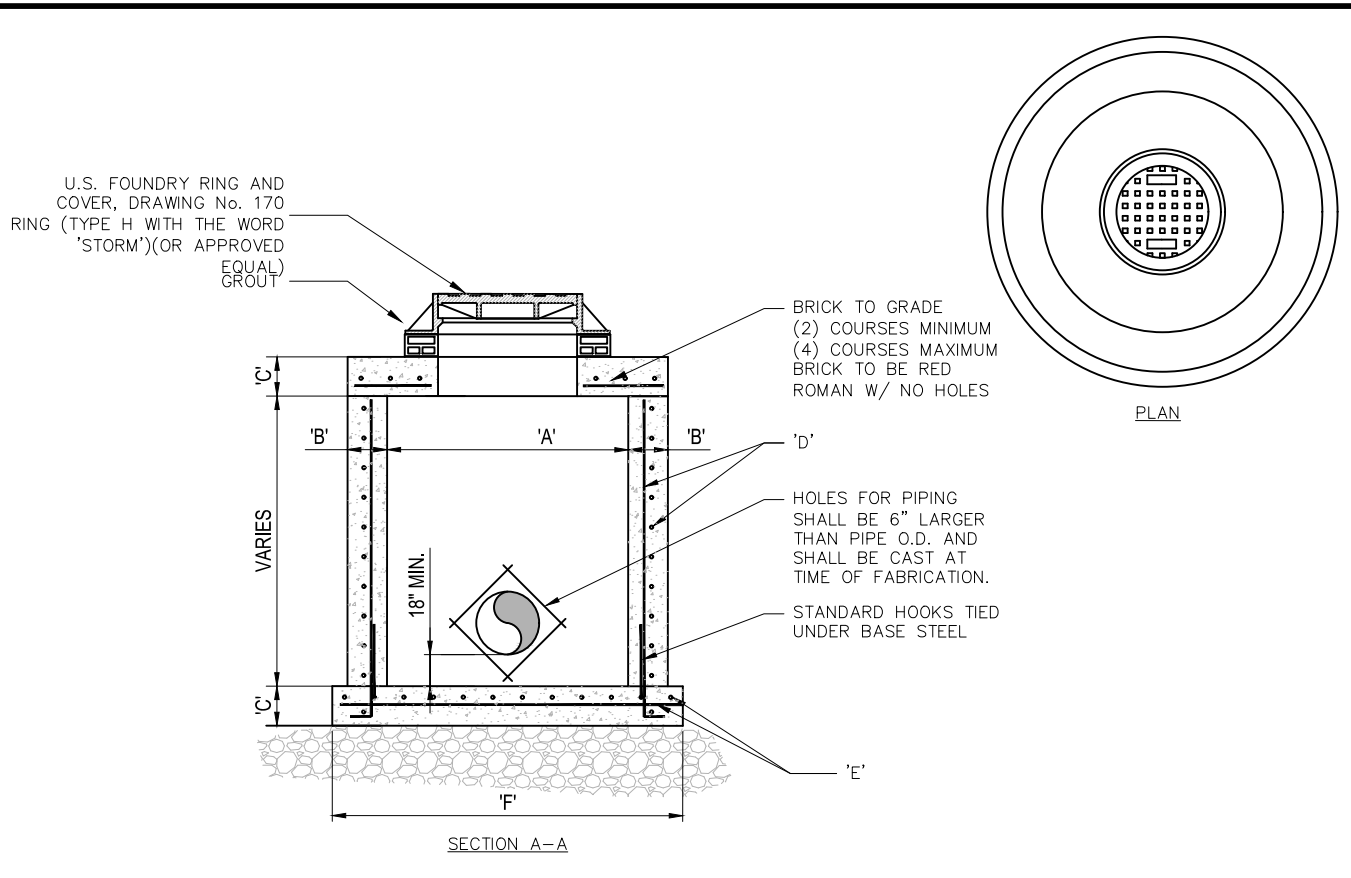
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C-7	7'-0" ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	9'-4" ø
C-8	8'-0" ø	10"	10"	2- W.W.M. w/ # 4 @ 12" C.C. VERT	# 5 @ 6" C.C.E.W.	10'-8" ø

1 PRECAST CATCH BASIN  
C210 NOT TO SCALE



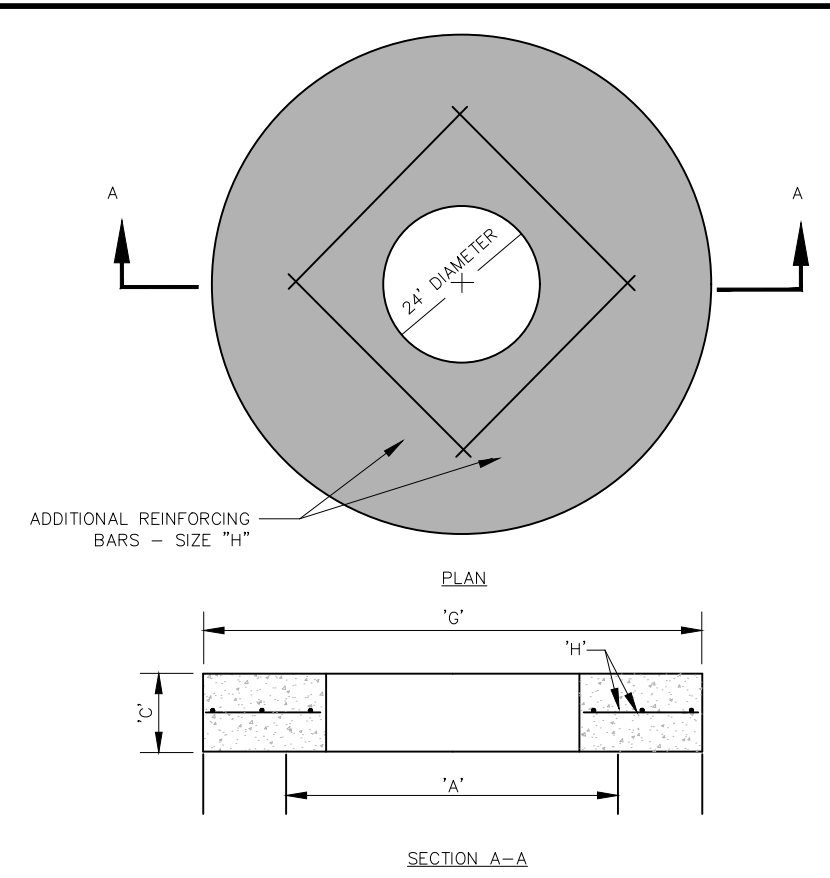
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C-6	6'-0" ø	8"	7'-4" ø	# 5 @ 6" C.C.E.W.
C-7	7'-0" ø	8"	8'-4" ø	# 5 @ 6" C.C.E.W.
C-8	8'-0" ø	10"	9'-8" ø	# 5 @ 6" C.C.E.W.

2 PRECAST CONCRETE TOP SLAB  
C210 NOT TO SCALE



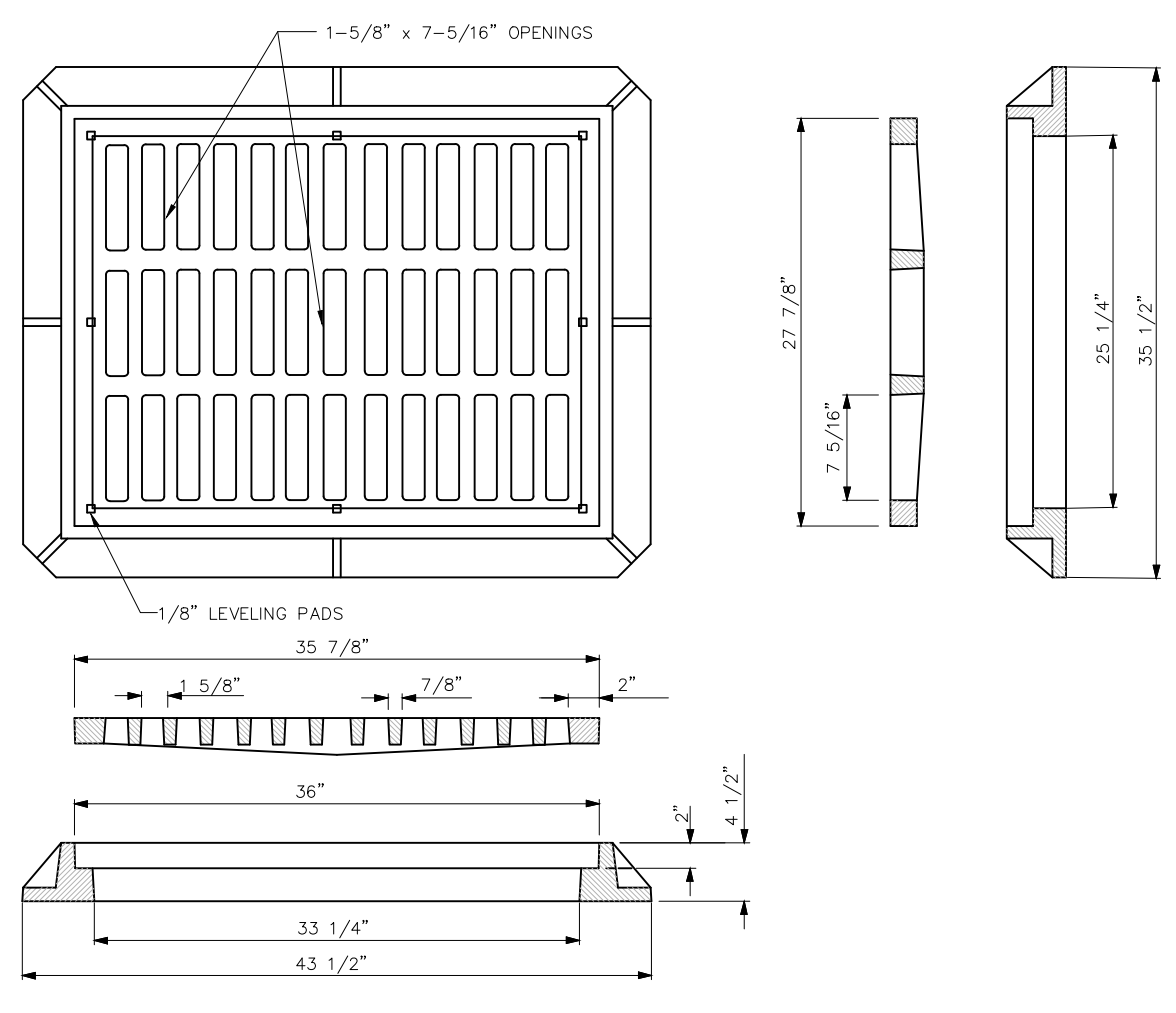
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M-5	5'-0" ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 12" C.C.E.W.	7'-4" ø
M-6	6'-0" ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	8'-4" ø
M-7	7'-0" ø	8"	8"	# 5 @ 12" C.C.E.W.	# 5 @ 6" C.C.E.W.	9'-4" ø
M-8	8'-0" ø	10"	10"	2- W.W.M. w/ # 4 @ 12" C.C. VERT	# 5 @ 6" C.C.E.W.	10'-8" ø

3 PRECAST STORM DRAINAGE MANHOLE  
C210 NOT TO SCALE



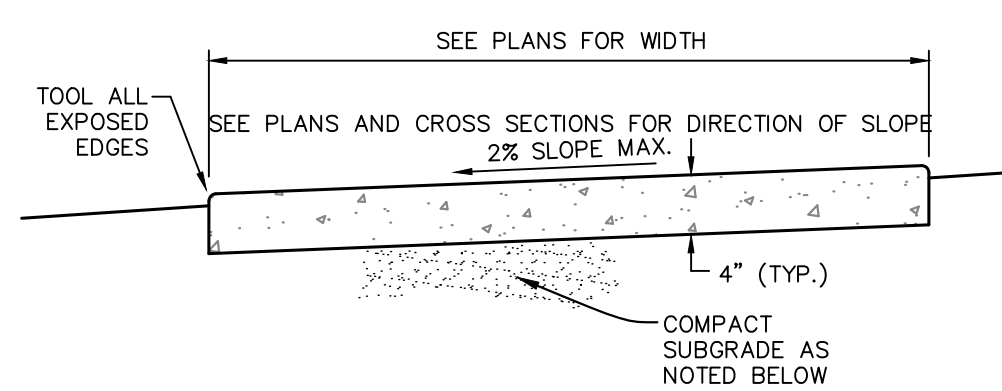
TYPE	"A"	"C"	"D"	"H"
M-4	4'-0" ø	8"	5'-4" ø	# 4 @ 6" C.C.E.W.
M-5	5'-0" ø	8"	6'-4" ø	# 5 @ 8" C.C.E.W.
M-6	6'-0" ø	8"	7'-4" ø	# 5 @ 6" C.C.E.W.
M-7	7'-0" ø	8"	8'-4" ø	# 5 @ 6" C.C.E.W.
M-8	8'-0" ø	10"	9'-8" ø	# 5 @ 6" C.C.E.W.

4 PRECAST CONCRETE STORM DRAINAGE TOP SLAB  
C210 NOT TO SCALE



1. GRATE TO BE TYPE U.S.F. No. 4155-4209

5 FRAME AND GRATE DETAIL  
C210 NOT TO SCALE



- NOTES:**
- PROVIDE EXPANSION JOINTS BETWEEN SIDEWALK AND CURB OR AT ANY OTHER RIGID STRUCTURE.
  - EXPANSION JOINTS SHALL BE PROVIDED AT 120 FT. MAXIMUM SPACING.
  - ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS FOR SIDEWALKS.
  - MINIMUM THICKNESS OF SIDEWALK SHALL BE 4\"/>

6 CONCRETE SIDEWALK DETAIL  
C210 NOT TO SCALE

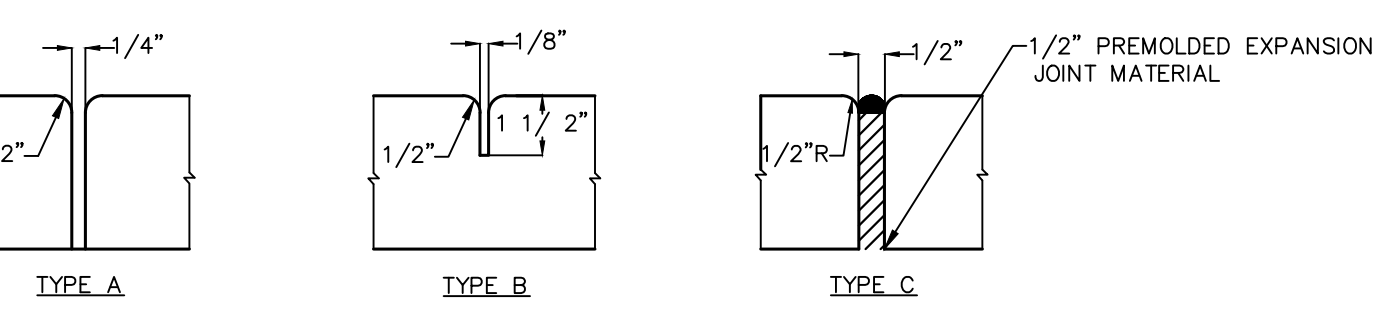
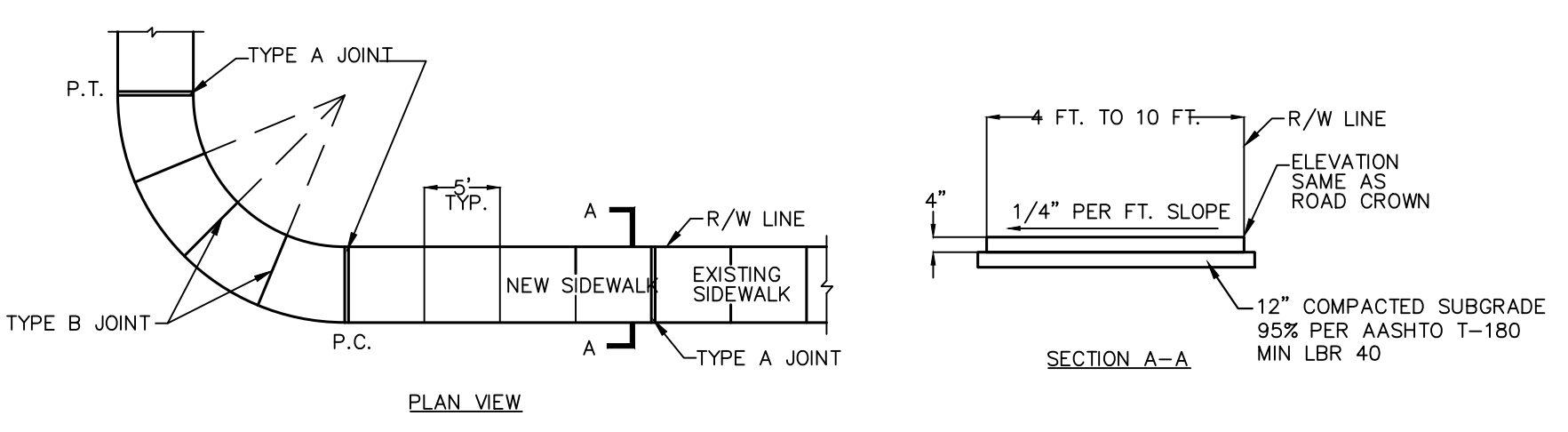


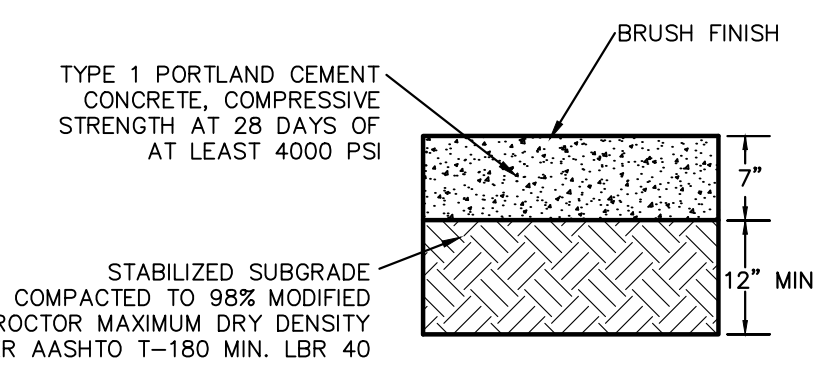
TABLE OF SIDEWALK THICKNESS - T	
LOCATION	T
STANDARD SIDEWALK	5"
AT DRIVEWAYS AND OTHER AREAS	5"

TABLE OF SIDEWALK JOINTS	
LOCATION	
A	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALK.
B	5'-0" CENTER TO CENTER ON SIDEWALK.
C	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES

- NOTES:**
- PLACE #10/10 6x6 WIRE MESH IN THE PORTION OF THE SIDEWALK THAT CROSSES THE DRIVEWAY ONLY.
  - STANDARD SIDEWALK TO BE 3000 PSI @ 28 DAYS
  - CONCRETE FOR SIDEWALK AT DRIVEWAYS AND LOADING ZONES SHALL BE 4000 PSI @ 28 DAYS (HEAVY DUTY).

7 CONCRETE SIDEWALK DETAIL  
C210 NOT TO SCALE



8 HEAVY DUTY CONCRETE PAVEMENT SECTION  
C210 NOT TO SCALE

NO.	REVISIONS	DATE	BY

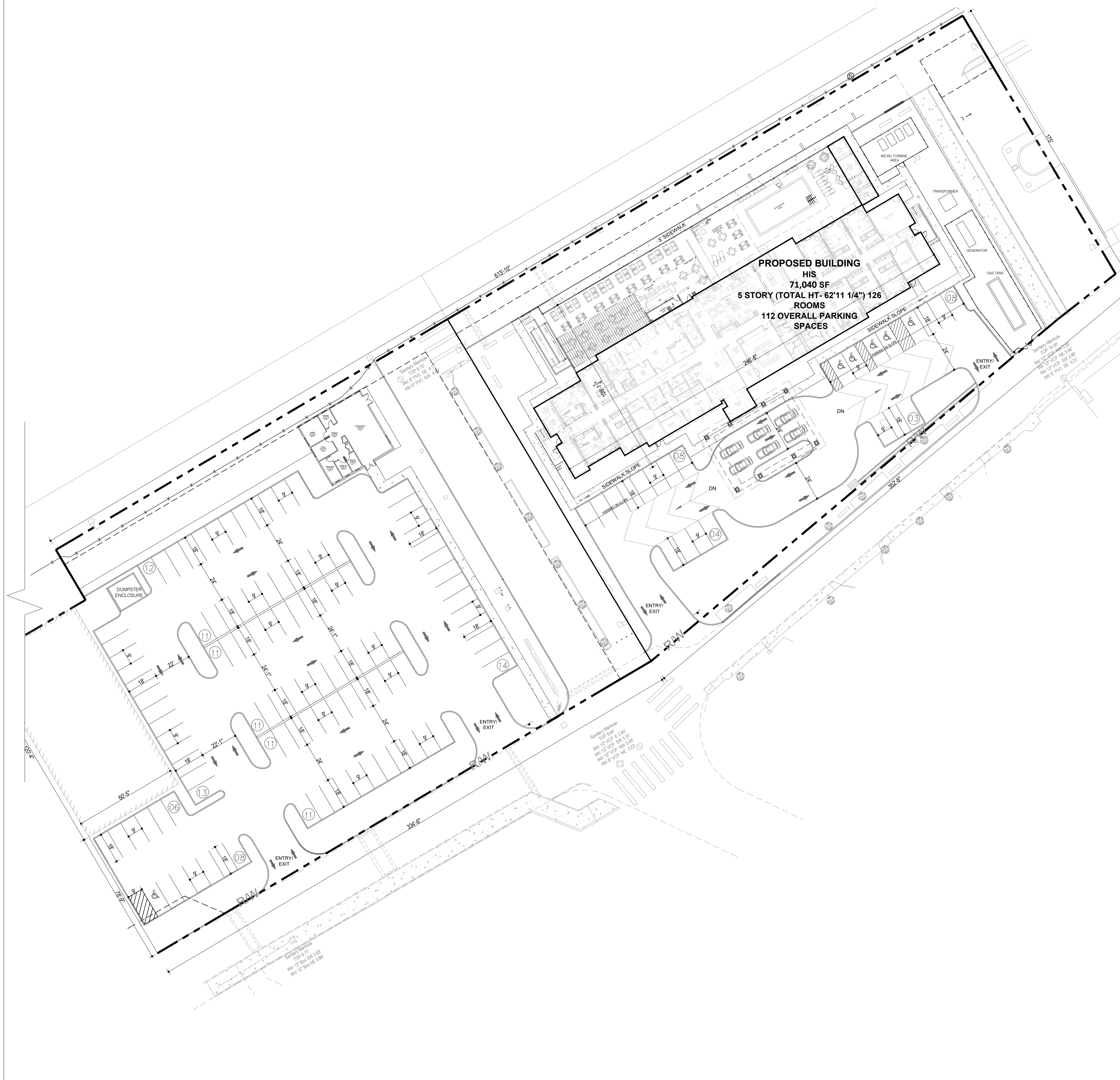
**Kimley»Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33134  
 PHONE: 305-673-2025  
 WWW.KIMLEY-HORN.COM  
 REGISTRY: 35106

LICENSED PROFESSIONAL	GEORGE BALABAN
KHA PROJECT	143113002
DATE	SEPTEMBER 2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE:	

**PAVING GRADING AND DRAINAGE DETAILS**

**HAMPTON INN & SUITES**  
 PREPARED FOR  
**HAVEN DEVELOPMENT, LLC.**  
 ST. THOMAS, US-VI





VICINITY MAP  
N.T.S.

PROJECT MATRIX								
ROOM MATRIX								
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS
KING	7	9	9	9	9	43	34%	43
KING ACCESSIBLE	0	1	1	1	1	4	3%	4
KING STUDIO	2	3	3	3	3	14	11%	14
KING STUDIO ACCESSIBLE	0	0	0	0	0	0	0%	0
DOUBLE QUEEN	0	13	13	13	13	52	41%	104
DOUBLE QUEEN EXTENDED	0	0	3	3	3	9	7%	18
DOUBLE QUEEN ACCESSIBLE	0	1	1	1	1	4	3%	8
<b>GRAND TOTAL</b>	<b>9</b>	<b>27</b>	<b>30</b>	<b>30</b>	<b>30</b>	<b>126</b>	<b>100%</b>	<b>191</b>

FLOOR AREA (SF)		
1ST LEVEL FLOOR PLAN		14,755
2ND LEVEL FLOOR PLAN		14,071
3RD LEVEL FLOOR PLAN		14,071
4TH LEVEL FLOOR PLAN		14,071
5TH LEVEL FLOOR PLAN		14,071
<b>TOTAL</b>		<b>71,040</b>

PARKING MATRIX		
PARKING TYPE	REQUIRED	PROVIDED
ACCES. PARKING SPACE	4	3
VAN PARKING SPACE	1	1
STAND. PARKING SPACE	121	108
EMPLOYEE PARKING SPACE	5	0
<b>TOTAL PARKING SPACES</b>	<b>131</b>	<b>112</b>

NOTE: NUMBER OF ADA STALLS PROVIDED FOR DEDICATED HOTEL PARKING ONLY. FINAL COUNT AND DESIGN BY CIVIL ENGINEER\*

1 SITE PLAN  
1" = 30'-0"



**BASE4**

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Base 4 2901 Clint Moore Rd, #114  
BOCA RATON, FL 33496  
888.901.8008 www.base-4.com

Seal:



Owner:

HAVEN DEVELOPMENT LLC

PROJECT INFORMATION:



ST THOMAS, VI

ISSUE NO. DELTA ISSUE DATE DESCRIPTION

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

AZ/HA

CHECKED BY:

SD

PROJECT #:

B4-260-2201

SHEET NAME:

**SITE PLAN**

SHEET NUMBER:

**A-1.1**



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SD

PROJECT #:

B4-260-2201

SHEET NAME:

FLOOR PLAN

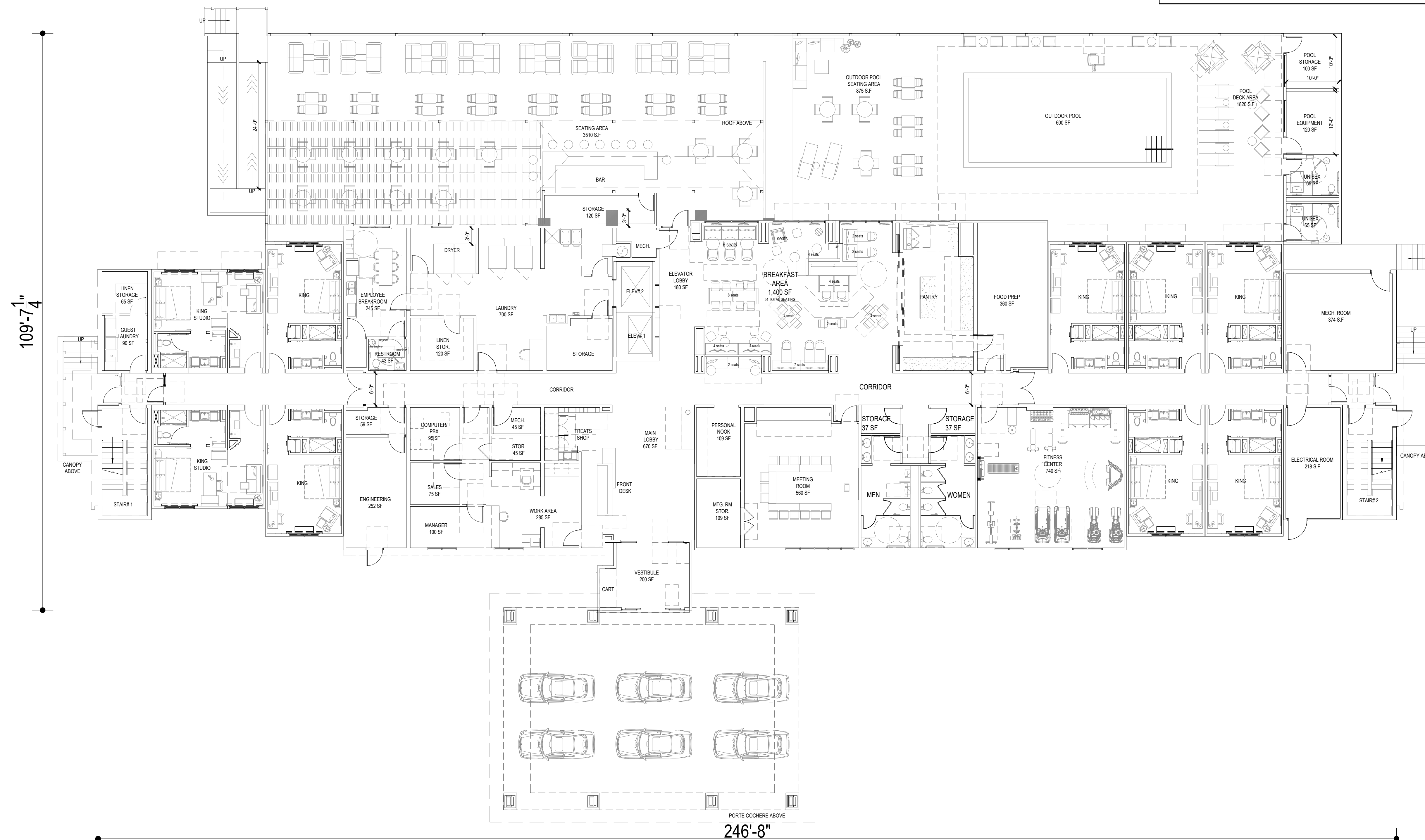
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**A-2.1**

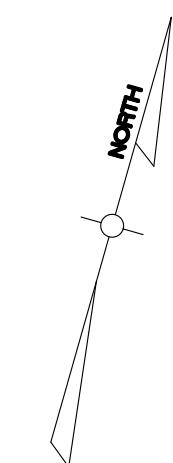
PROJECT MATRIX									
ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
KING	7	9	9	9	9	43	34%	43	
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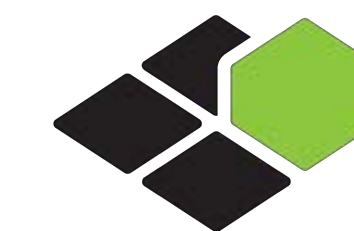
  

FLOOR AREA (SF)	
1ST LEVEL FLOOR PLAN	14,755
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4TH LEVEL FLOOR PLAN	14,071
5TH LEVEL FLOOR PLAN	14,071
<b>TOTAL</b>	<b>71,040</b>



1 FIRST FLOOR PLAN  
3/32" = 1'-0"



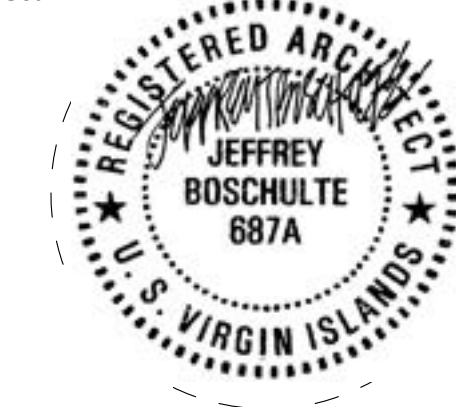


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CHECKED BY:

SD

PROJECT #:

B4-260-2201

SHEET NAME:

FLOOR PLAN

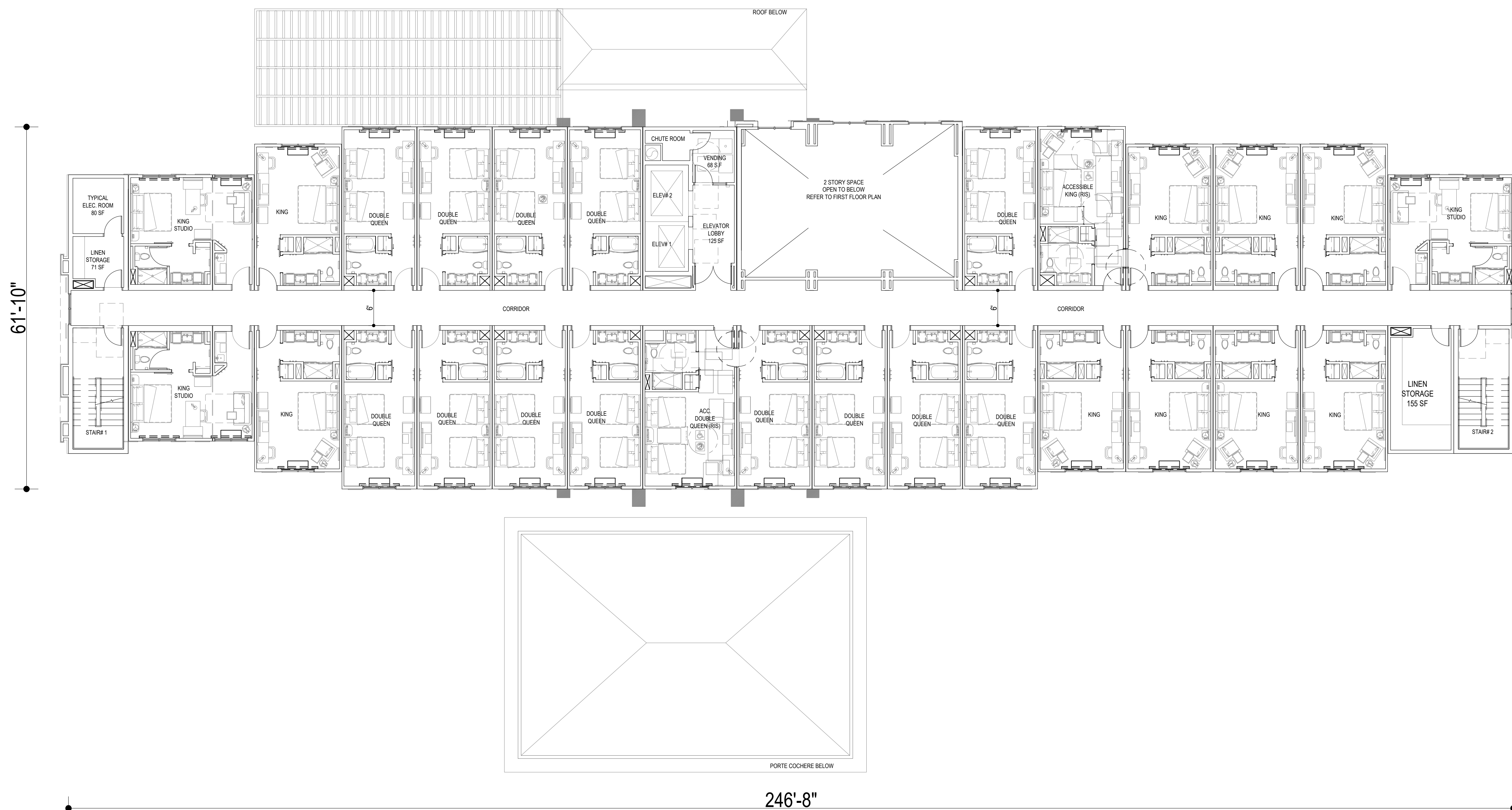
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**A-2.2**

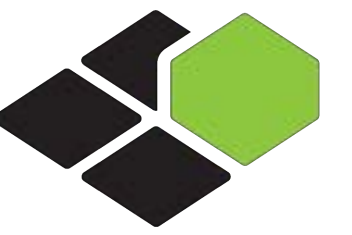
PROJECT MATRIX									
ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
KING	7	9	9	9	9	43	34%	37%	43
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KING STUDIO	2	3	3	3	3	14	11%	11%	14
KING STUDIO ACCESSIBLE	0	0	0	0	0	0	0%		0
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DOUBLE QUEEN EXTENDED	0	0	3	3	3	9	7%	52%	18
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FLOOR AREA (SF)		
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3RD LEVEL FLOOR PLAN		14,071
4TH LEVEL FLOOR PLAN		14,071
5TH LEVEL FLOOR PLAN		14,071
<b>TOTAL</b>		<b>71,040</b>



**1** SECOND FLOOR PLAN  
3/32" = 1'-0"



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SD

PROJECT #:

B4-260-2201

SHEET NAME:

FLOOR PLAN

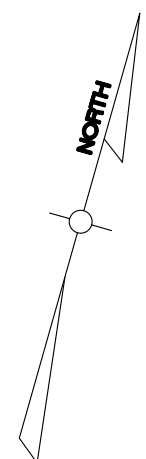
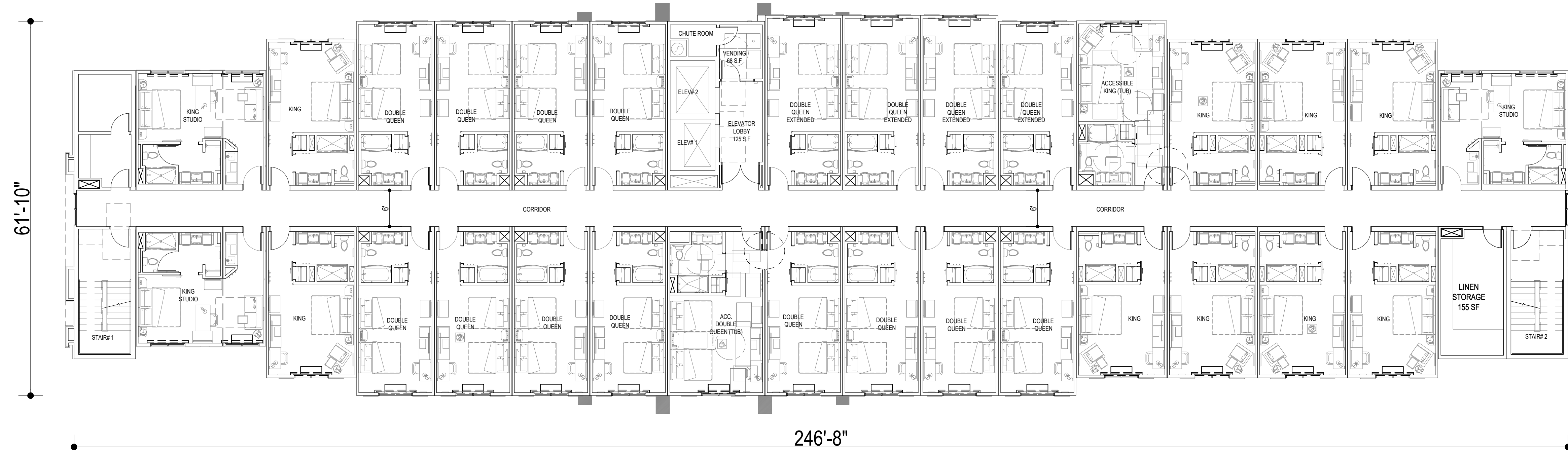
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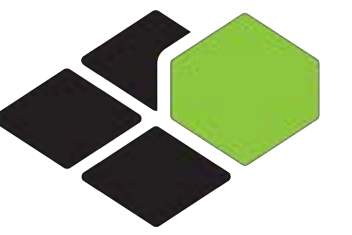
PROJECT MATRIX									
ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
KING	7	9	9	9	9	43	34%	37%	43
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FLOOR AREA (SF)	
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3RD LEVEL FLOOR PLAN	14,071
4TH LEVEL FLOOR PLAN	14,071
5TH LEVEL FLOOR PLAN	14,071
<b>TOTAL</b>	<b>71,040</b>



1 THIRD FLOOR PLAN  
3/32" = 1'-0"



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SHEET NAME:

FLOOR PLAN

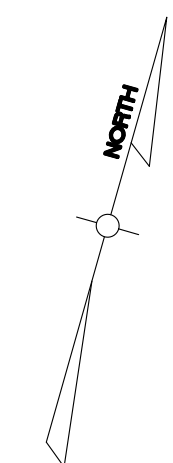
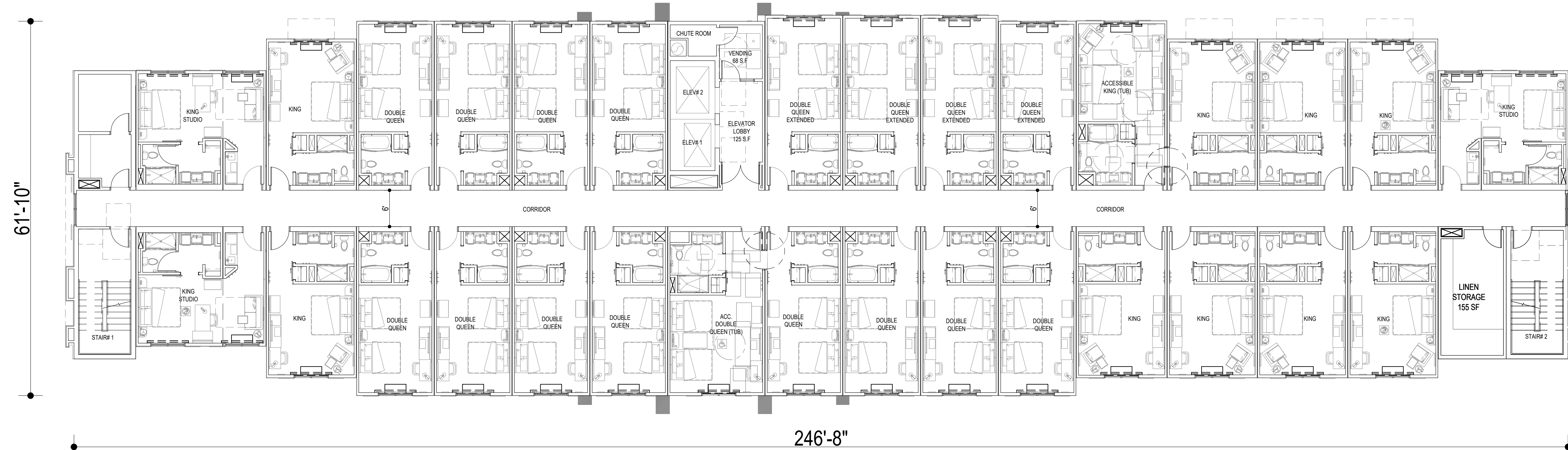
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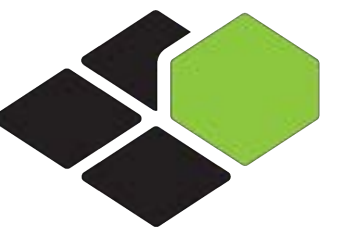
PROJECT MATRIX									
ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
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KING ACCESSIBLE	0	1	1	1	1	4	3%		4
KING STUDIO	2	3	3	3	3	14	11%	11%	14
KING STUDIO ACCESSIBLE	0	0	0	0	0	0	0%		0
DOUBLE QUEEN	0	13	13	13	13	52	41%		104
DOUBLE QUEEN EXTENDED	0	0	3	3	3	9	7%	52%	18
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FLOOR AREA (SF)	
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3RD LEVEL FLOOR PLAN	14,071
4TH LEVEL FLOOR PLAN	14,071
5TH LEVEL FLOOR PLAN	14,071
<b>TOTAL</b>	<b>71,040</b>



1 FOURTH FLOOR PLAN  
3/32" = 1'-0"



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Owner:

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PROJECT #:

B4-260-2201

SHEET NAME:

FLOOR PLAN

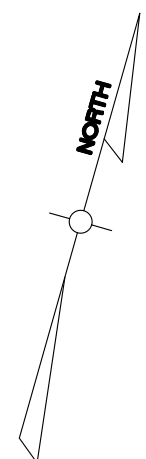
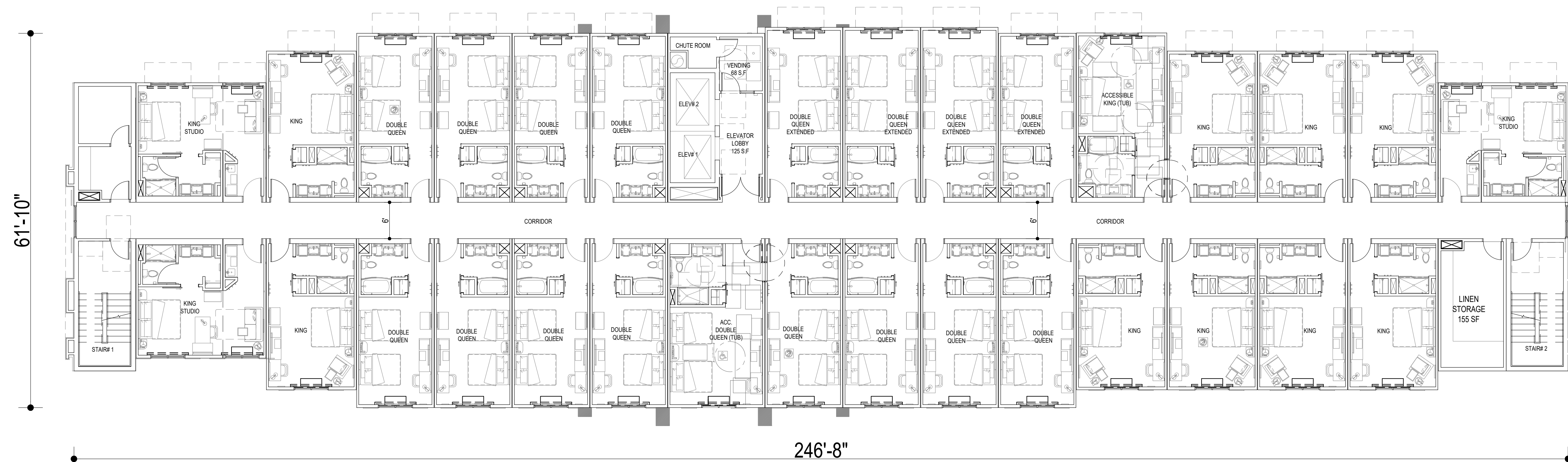
SHEET NUMBER:

**A-2.5**

PROJECT MATRIX									
ROOM MATRIX									
ROOM TYPE	1ST	2ND	3RD	4TH	5TH	TOTAL	%	NO. OF BEDS	
KING	7	9	9	9	9	43	34%	37%	43
KING ACCESSIBLE	0	1	1	1	1	4	3%		4
KING STUDIO	2	3	3	3	3	14	11%	11%	14
KING STUDIO ACCESSIBLE	0	0	0	0	0	0	0%		0
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<b>GRAND TOTAL</b>	<b>9</b>	<b>27</b>	<b>30</b>	<b>30</b>	<b>30</b>	<b>126</b>	<b>100%</b>	<b>100%</b>	<b>191</b>

FLOOR AREA (SF)	
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3RD LEVEL FLOOR PLAN	14,071
4TH LEVEL FLOOR PLAN	14,071
5TH LEVEL FLOOR PLAN	14,071
<b>TOTAL</b>	<b>71,040</b>



1 FIFTH FLOOR PLAN  
3/32" = 1'-0"

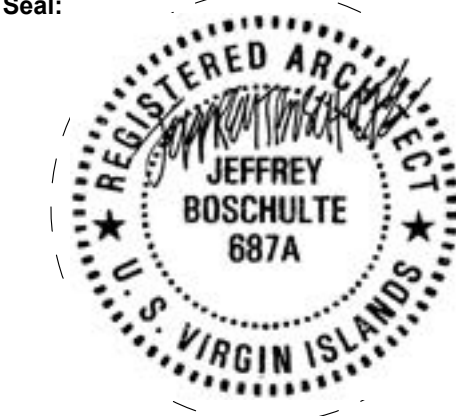


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888.901.8008 www.base-4.com

Seal:



Owner:

HAVEN DEVELOPMENT LLC

PROJECT INFORMATION:



ST THOMAS, VI

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ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

MB/HA

CHECKED BY:

SD

PROJECT #:

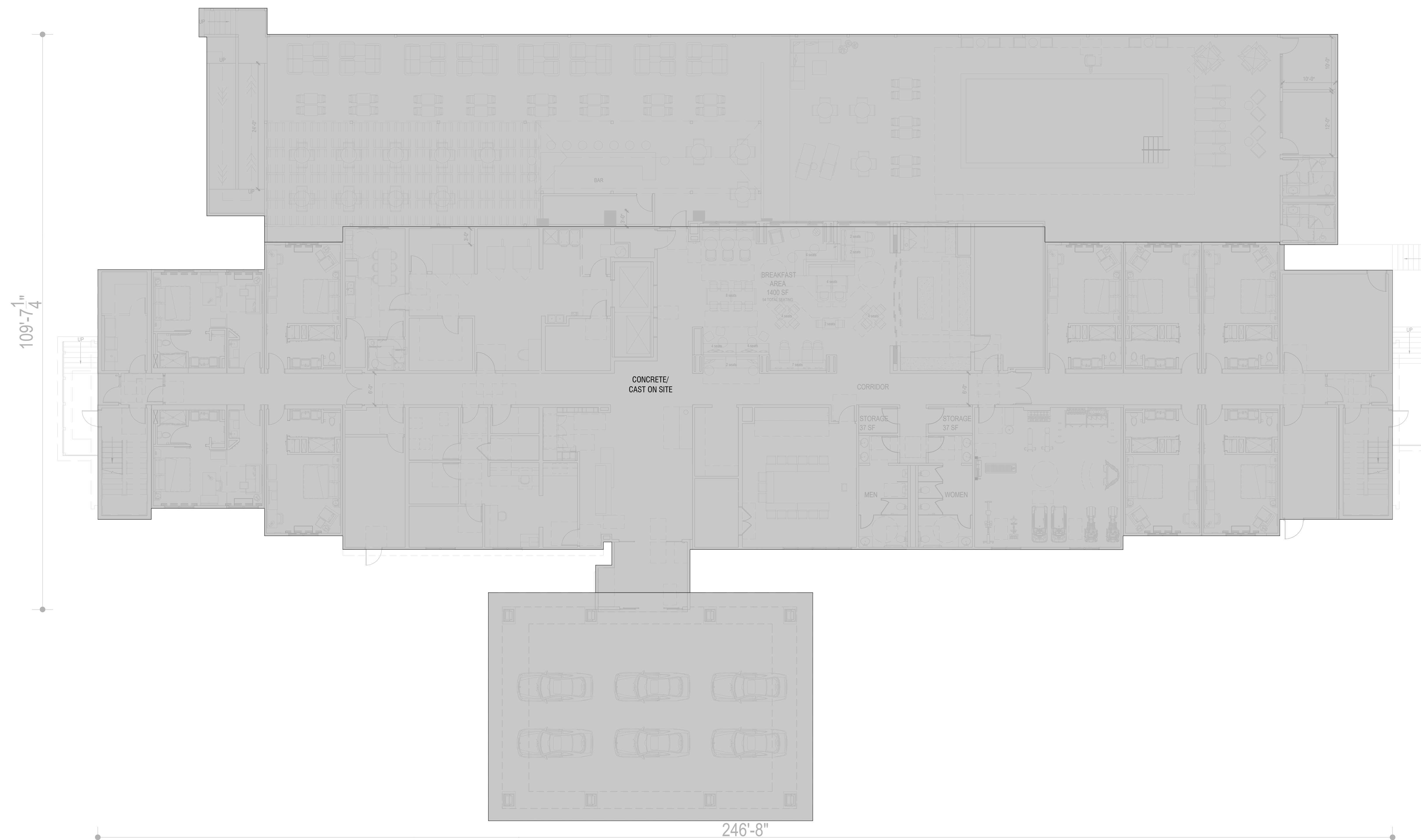
B4-260-2201

SHEET NAME:

**MODULE  
PLAN**

SHEET NUMBER:

**A-2.6**



**1** FIRST FLOOR PLAN  
3/32" = 1'-0"

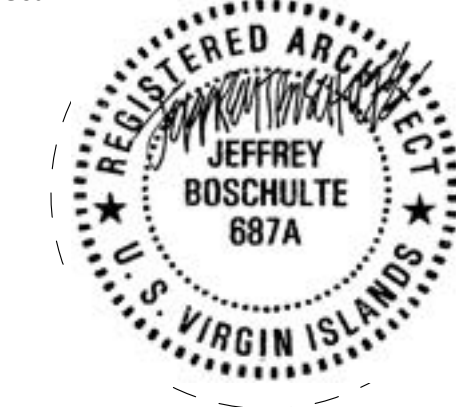


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CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

MB/HA

CHECKED BY:

SD

PROJECT #:

B4-260-2201

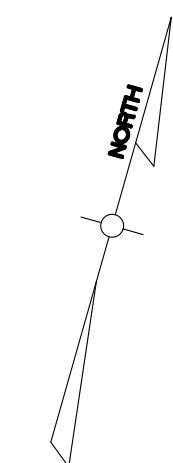
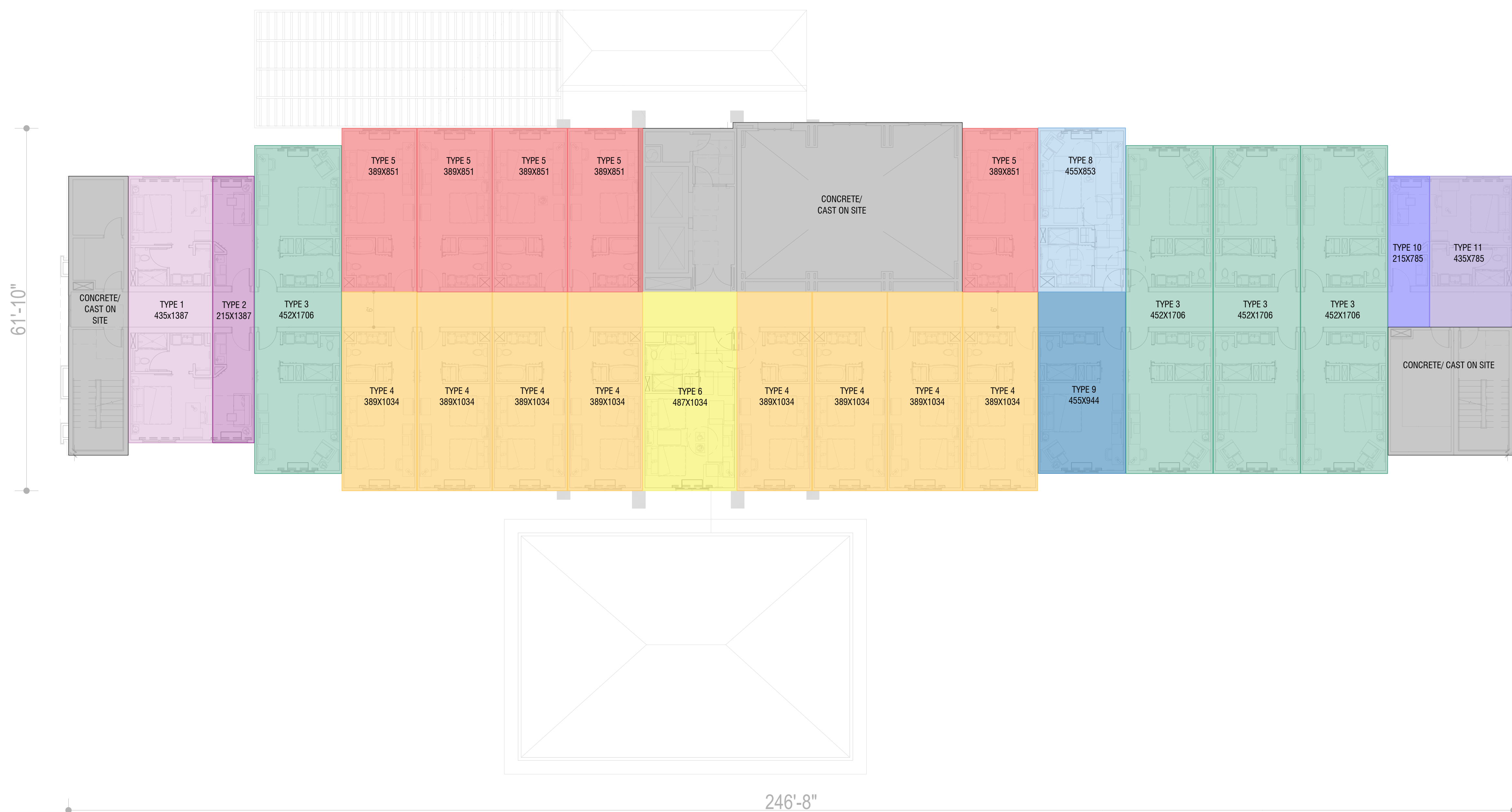
SHEET NAME:

**MODULE PLAN**

SHEET NUMBER:

**A-2.7**

Colour	Module type	Module dim	Height	Count	Area
	Type.01	435 x 1387	300	4	241,2
	Type.02	215 x 1387	300	4	119,2
	Type.03	452 x 1706	300	16	1 233,6
	Type.04	389 x 1034	300	32	1 286,4
	Type.05	389 x 851	300	20	662,0
	Type.06	487 x 1034	300	4	201,6
	Type.07	389 x 881	300	9	308,7
	Type.08	455 x 853	300	4	154,4
	Type.09	455 x 944	300	4	170,8
	Type.10	215 x 785	300	4	67,6
	Type.11	435 x 785	300	4	136,4



**1** SECOND FLOOR PLAN  
3/32" = 1'-0"

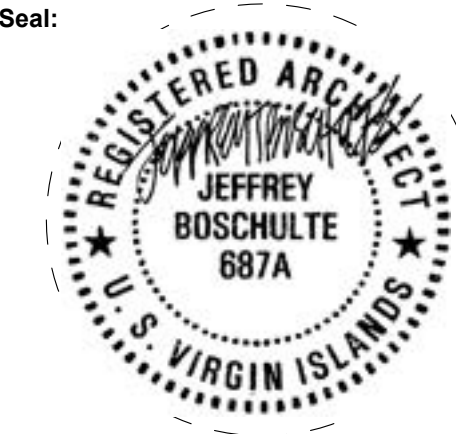


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PROJECT #:

B4-260-2201

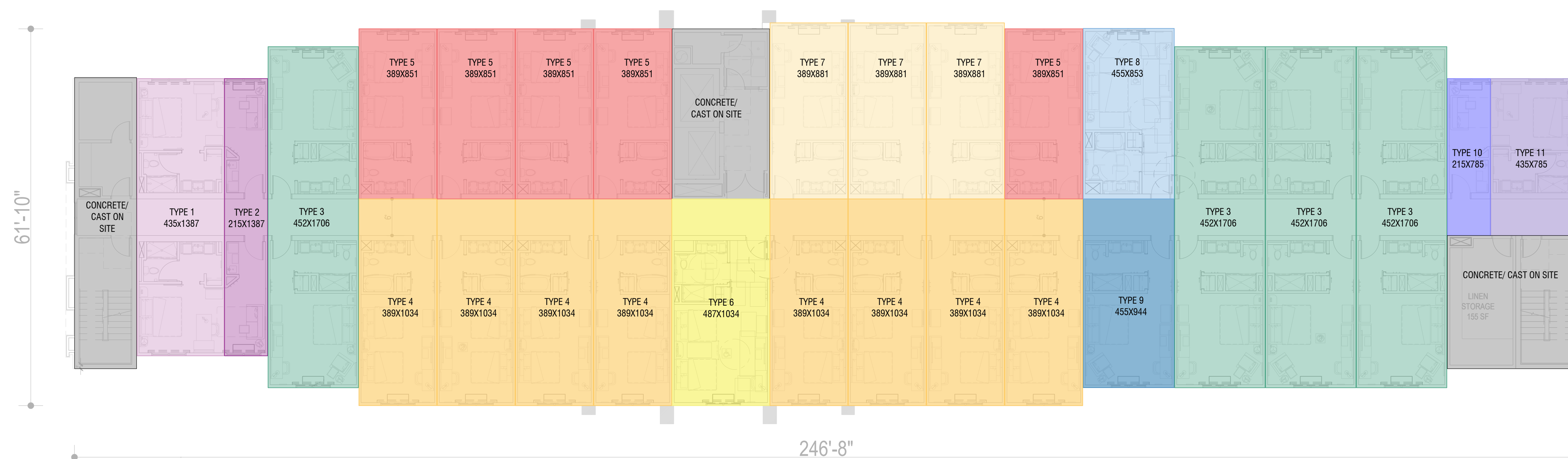
SHEET NAME:

**MODULE PLAN**

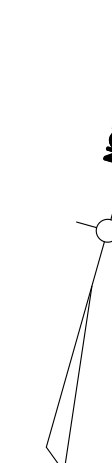
SHEET NUMBER:

**A-2.8**

Colour	Module type	Module dim	Height	Count	Area
	Type.01	435 x 1387	300	4	241,2
	Type.02	215 x 1387	300	4	119,2
	Type.03	452 x 1706	300	16	1 233,6
	Type.04	389 x 1034	300	32	1 286,4
	Type.05	389 x 851	300	20	662,0
	Type.06	487 x 1034	300	4	201,6
	Type.07	389 x 881	300	9	308,7
	Type.08	455 x 853	300	4	154,4
	Type.09	455 x 944	300	4	170,8
	Type.10	215 x 785	300	4	67,6
	Type.11	435 x 785	300	4	136,4



1 TYPICAL FLOOR PLAN (3RD-5TH)  
3/32" = 1'-0"



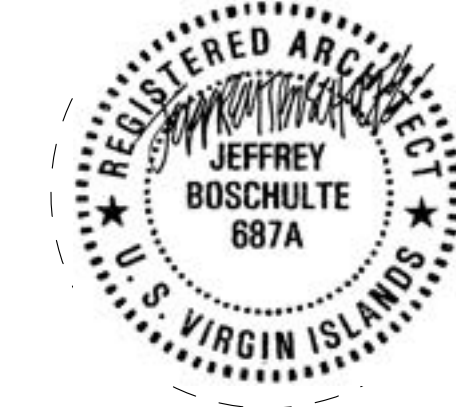


**BASE4**

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BOCA RATON, FL 33496  
888.901.8008 www.base-4.com

Seal:



Owner:

HAVEN DEVELOPMENT LLC

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ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

MB/HA

CHECKED BY:

SD

PROJECT #:

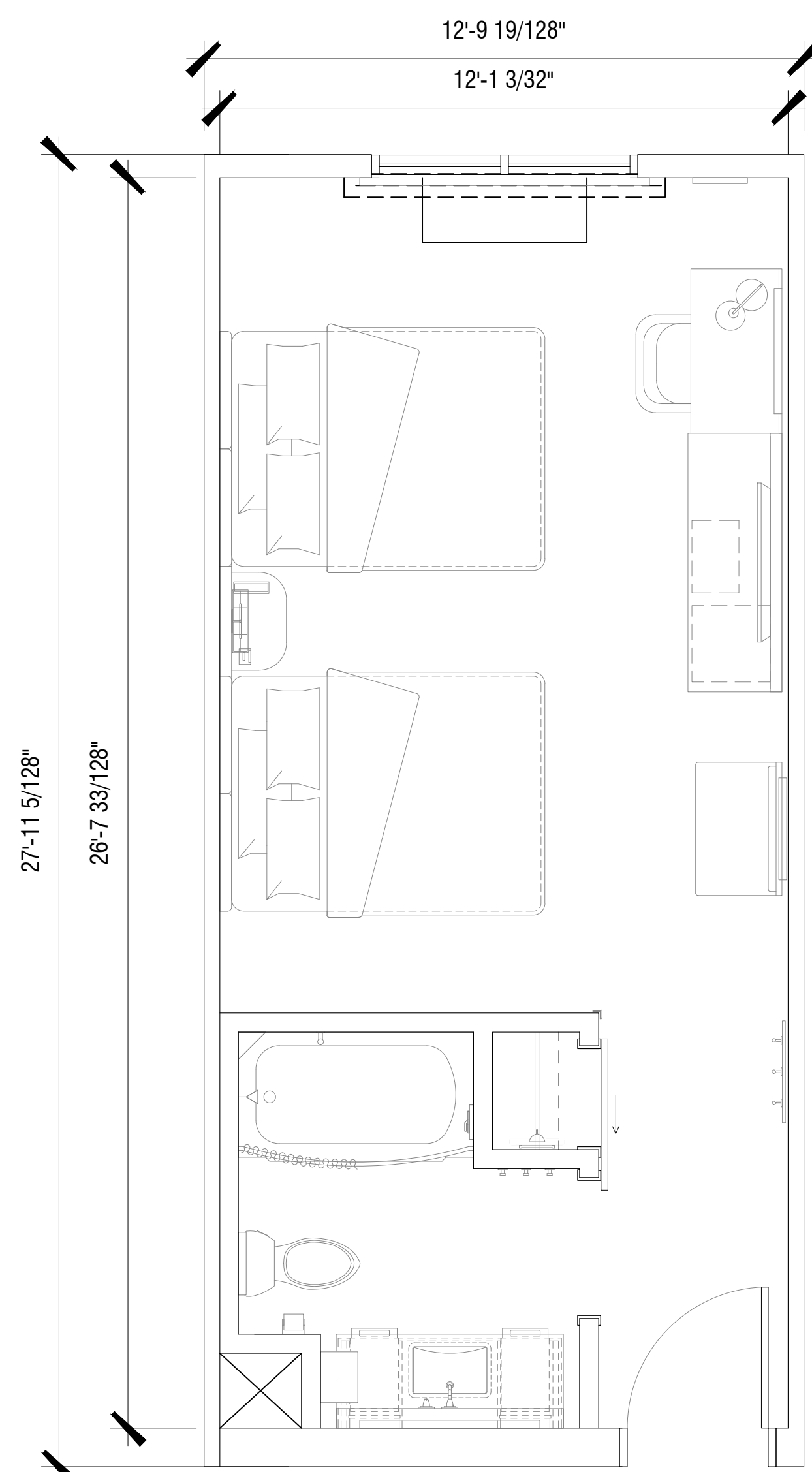
B4-260-2201

SHEET NAME:

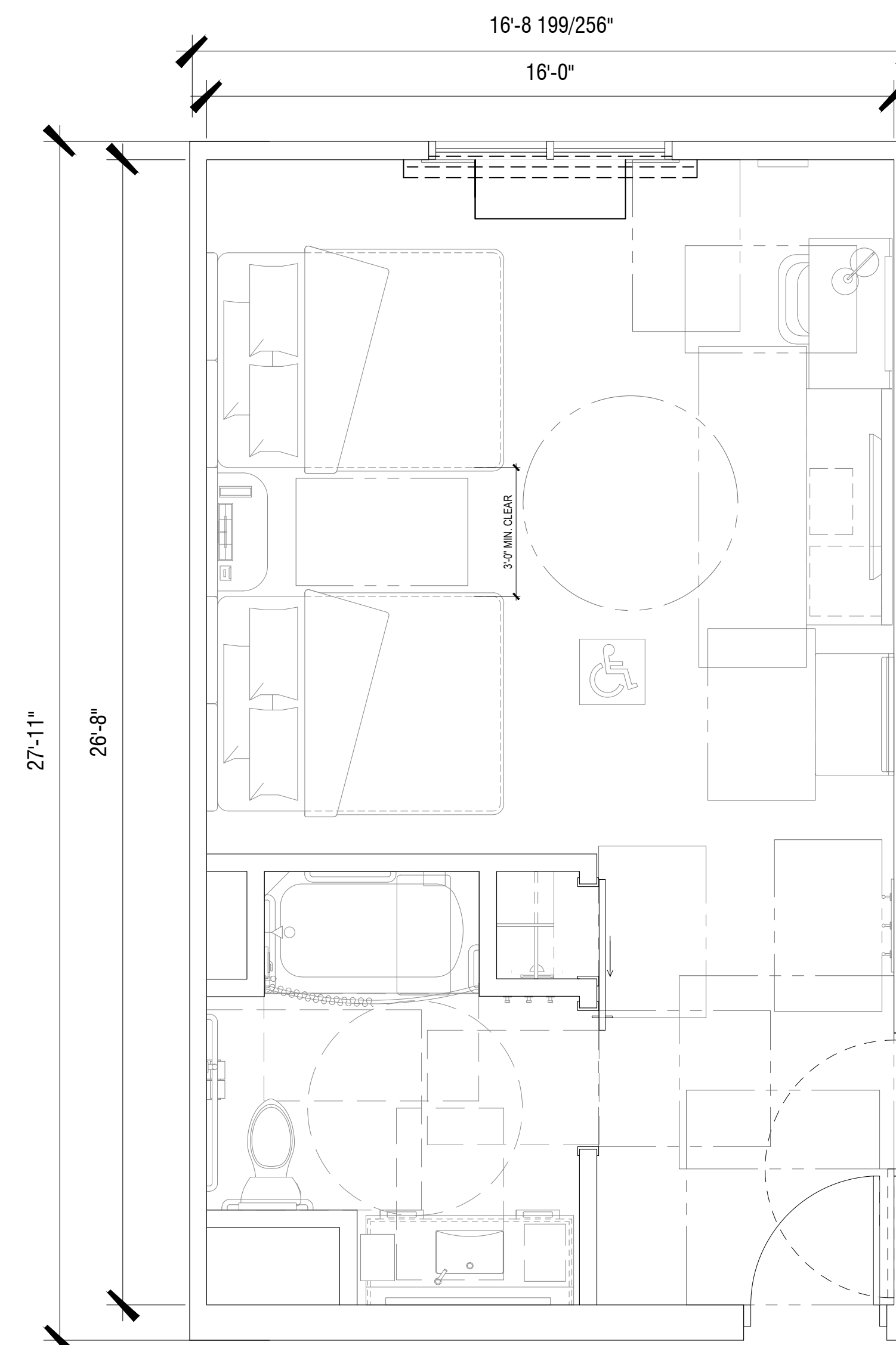
**ENLARGED  
PLAN**

SHEET NUMBER:

**A-3.1**



**2** QUEEN QUEEN  
3/8" = 1'-0"



**1** ACCESSIBLE QUEEN QUEEN (TUB)  
3/8" = 1'-0"

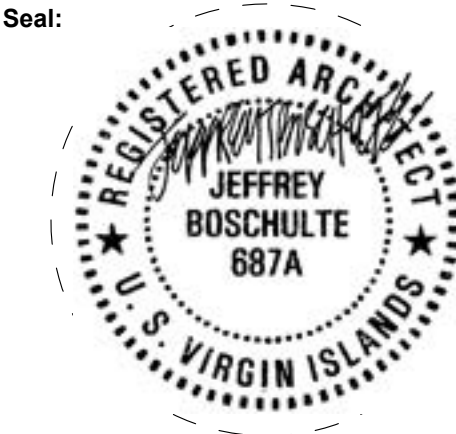


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SD

PROJECT #:

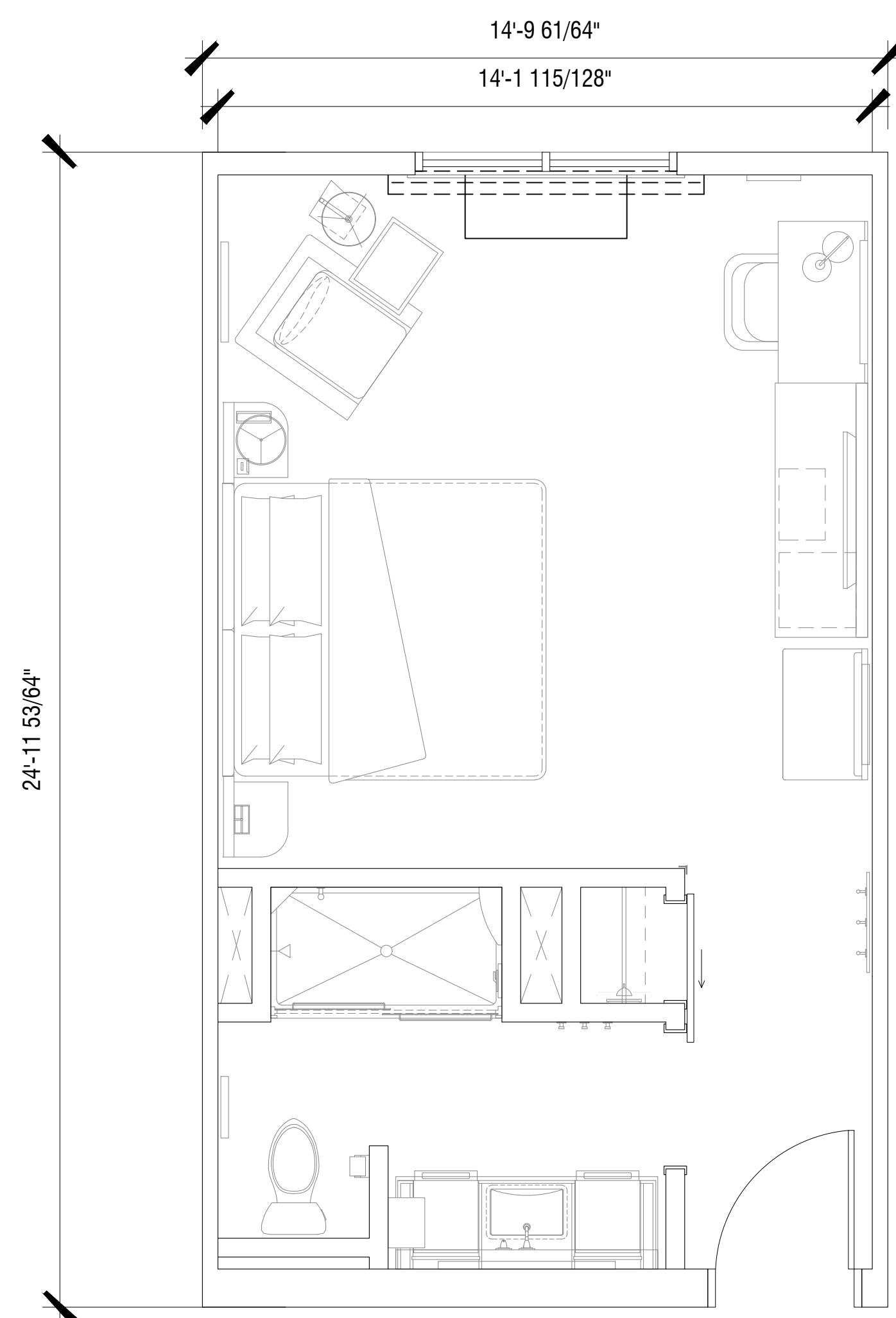
B4-260-2201

SHEET NAME:

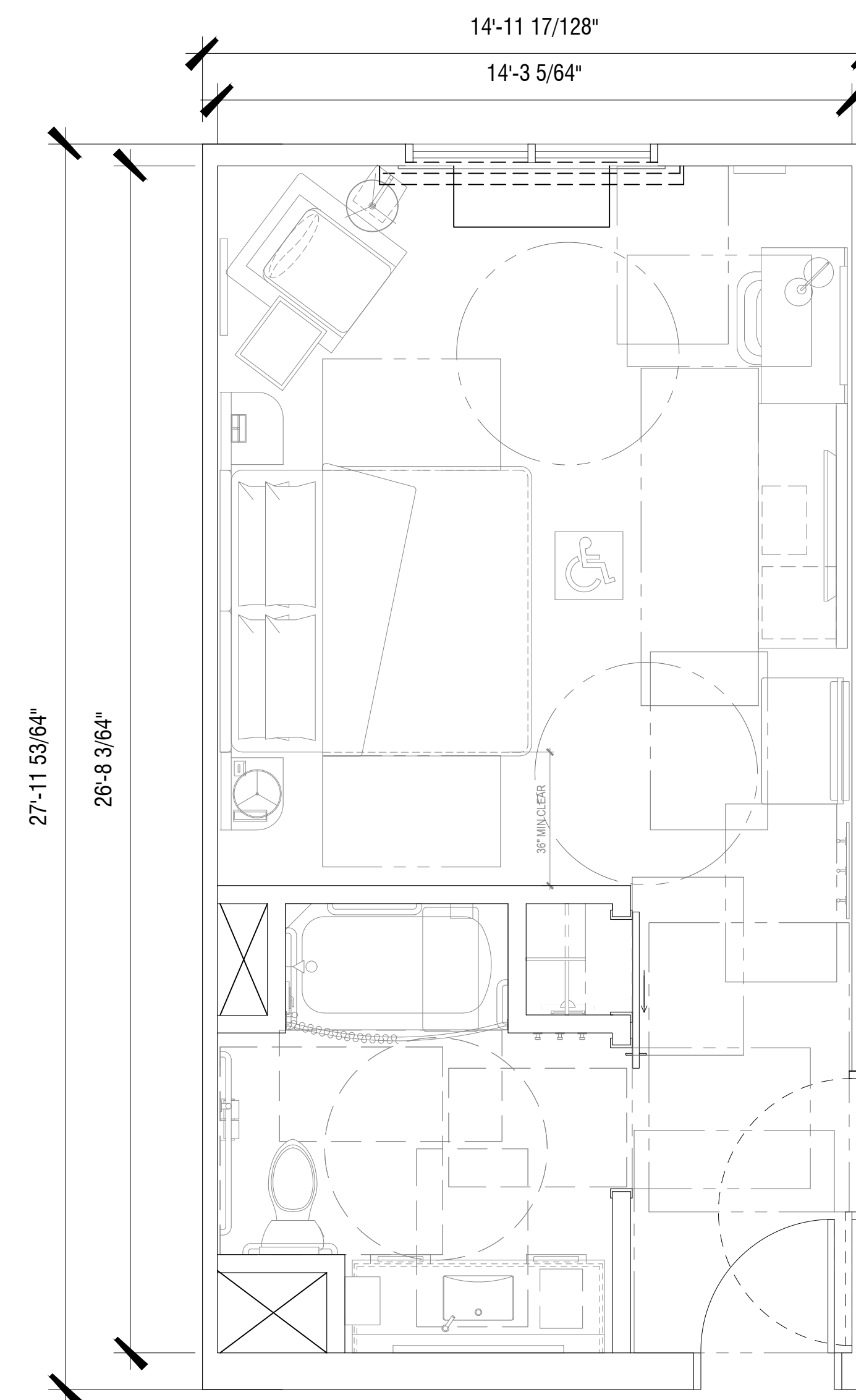
**ENLARGED PLAN**

SHEET NUMBER:

**A-3.2**



2 KING  
3/8" = 1'-0"



1 ACCESSIBLE KING (TUB)  
3/8" = 1'-0"



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Seal:



Owner:

HAVEN DEVELOPMENT LLC

PROJECT INFORMATION:



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ISSUE NO. DELTA ISSUE DATE DESCRIPTION

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CURRENT ISSUE:

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CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

MB/HA

CHECKED BY:

SD

PROJECT #:

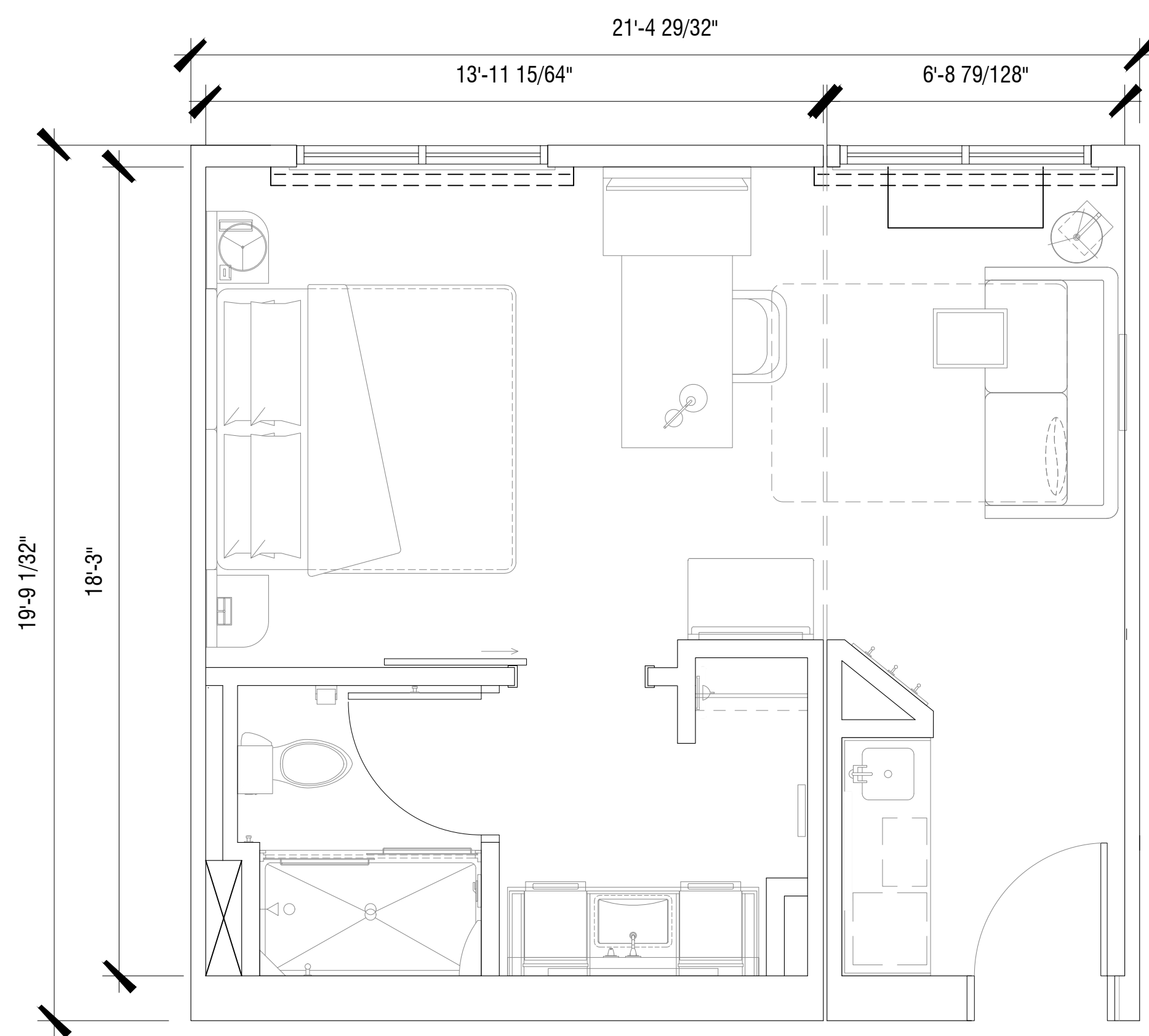
B4-260-2201

SHEET NAME:

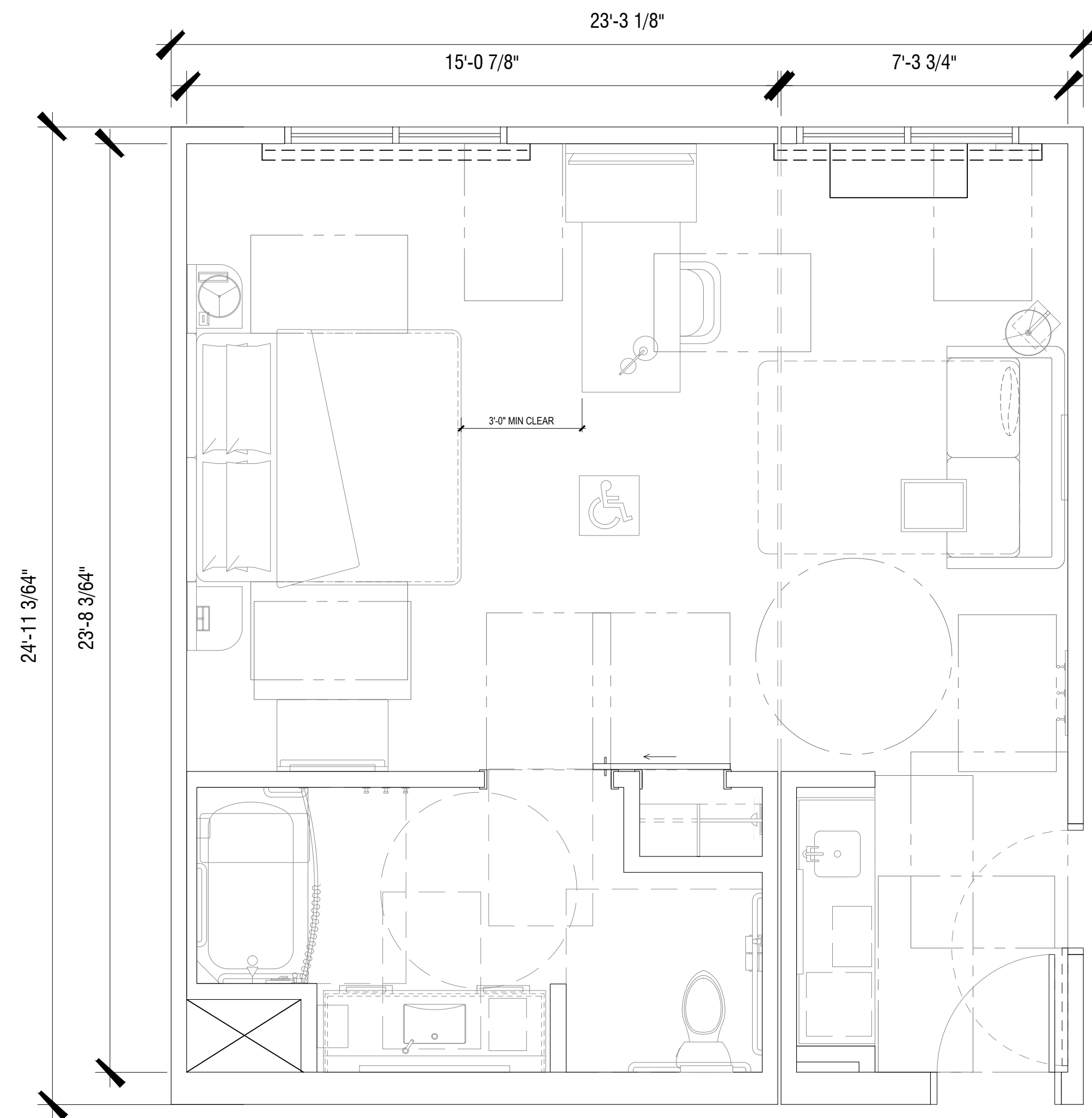
**ENLARGED PLAN**

SHEET NUMBER:

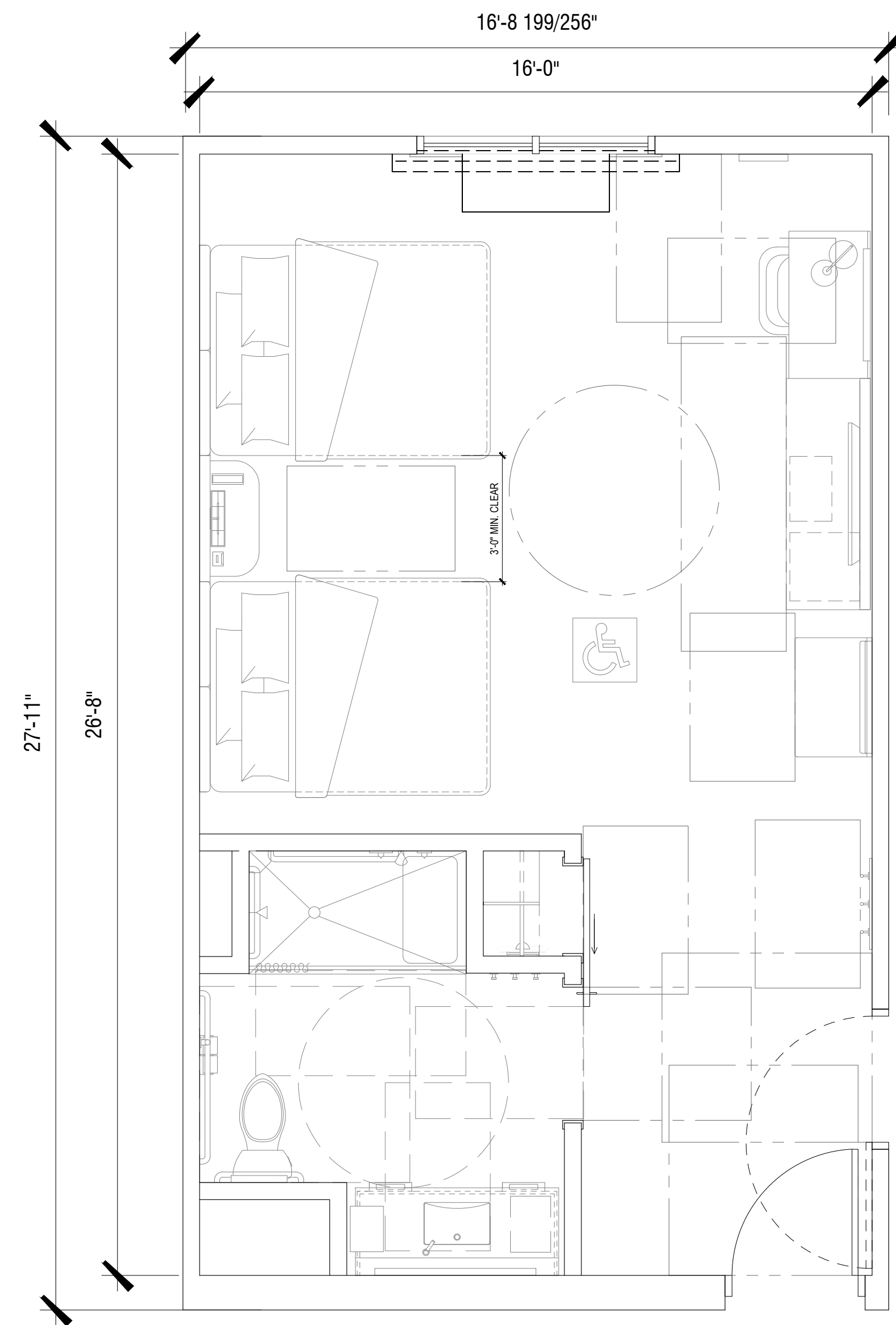
**A-3.3**



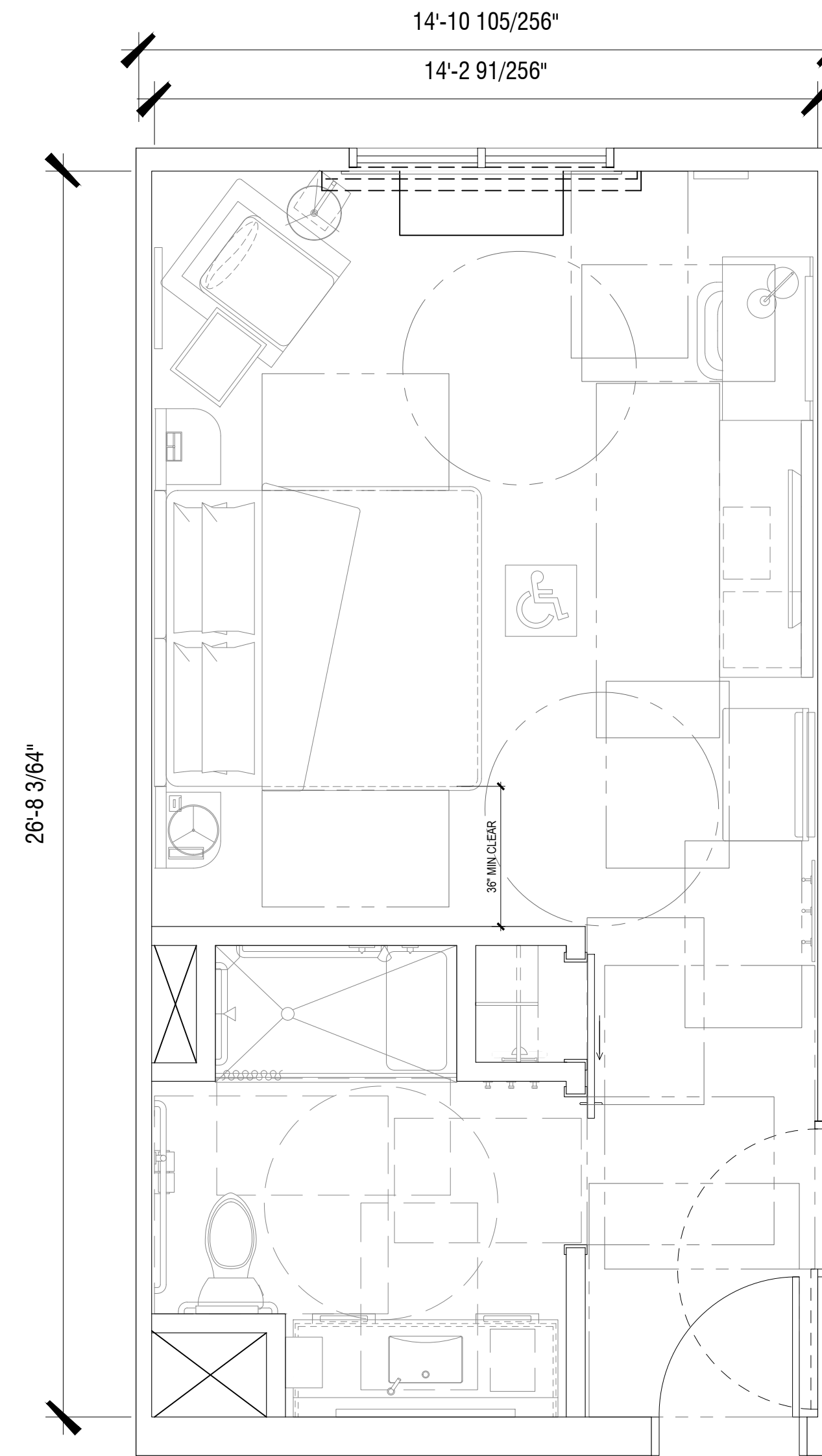
2 KING STUDIO  
3/8" = 1'-0"



1 ACCESSIBLE KING STUDIO (TUB)  
3/8" = 1'-0"



2 ACCESSIBLE QUEEN QUEEN (RIS)  
3/8" = 1'-0"



1 ACCESSIBLE KING (RIS)  
3/8" = 1'-0"

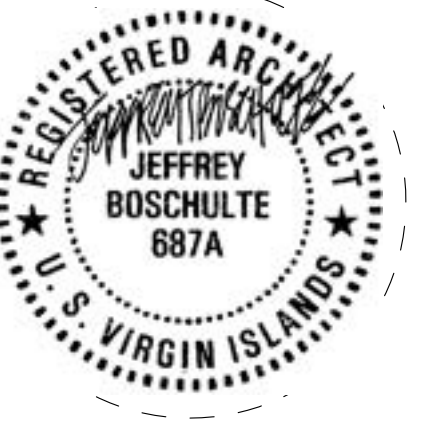


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Owner:

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CURRENT ISSUE DATE:

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PROJECT #:

B4-260-2201

SHEET NAME:

**ENLARGED  
PLAN**

SHEET NUMBER:

**A-3.4**

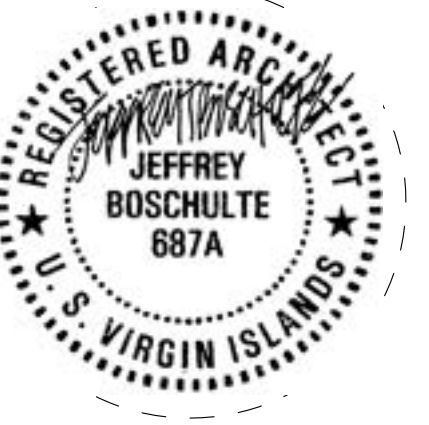


**BASE4**

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Owner:

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ST THOMAS, VI

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**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

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PROJECT #:

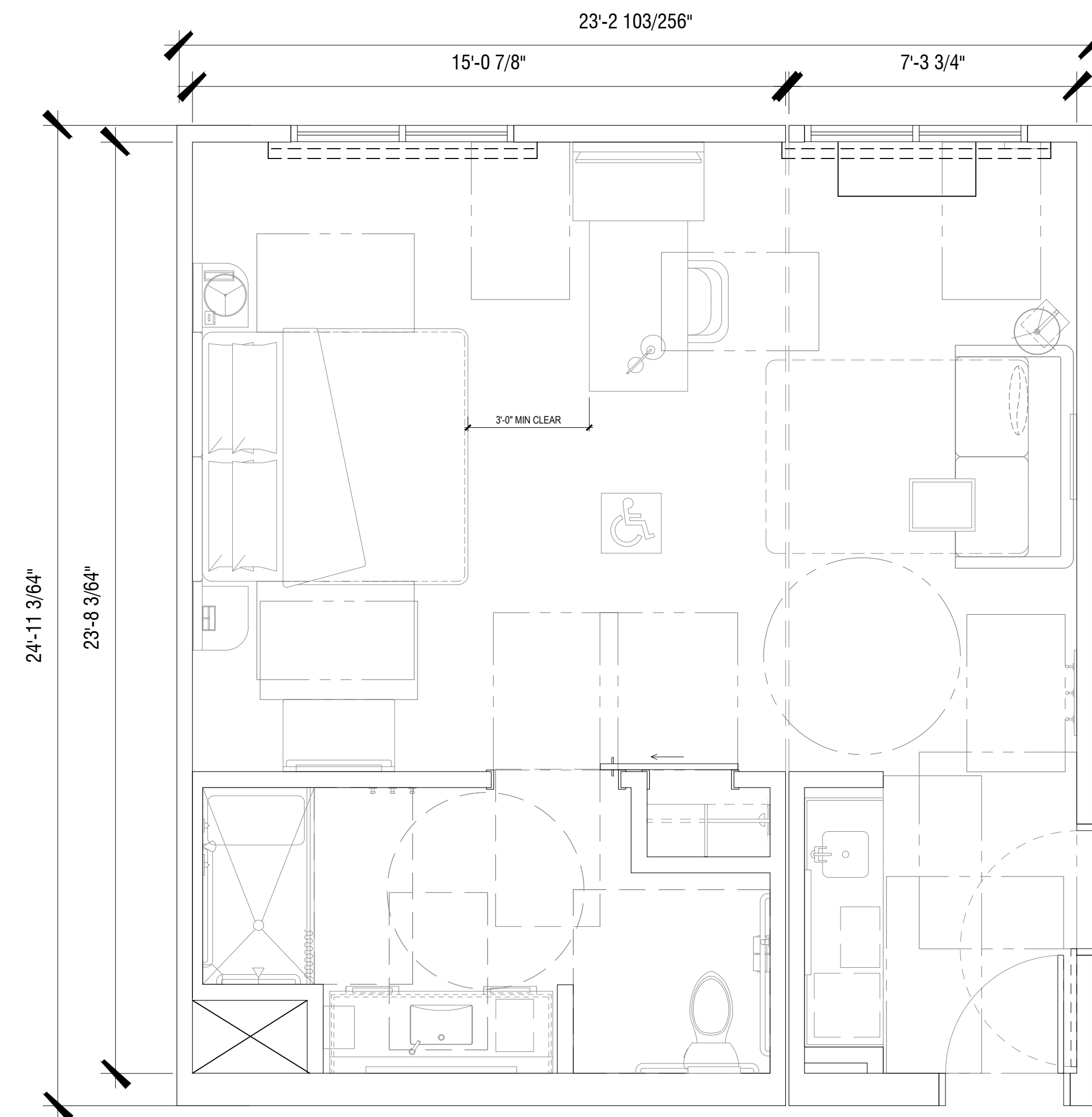
B4-260-2201

SHEET NAME:

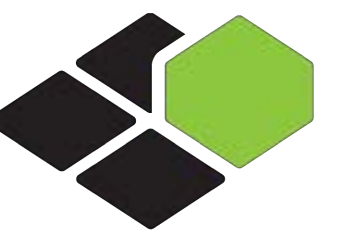
**ENLARGED  
PLAN**

SHEET NUMBER:

**A-3.5**



1 ACCESSIBLE KING STUDIO (RIS)  
3/8" = 1'-0"

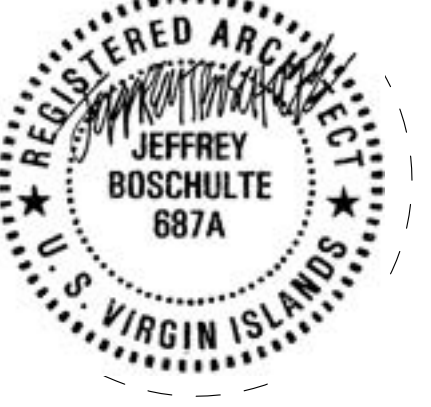


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ISSUE NO. DELTA ISSUE DATE DESCRIPTION

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

AZ/HA

CHECKED BY:

SD

PROJECT #:

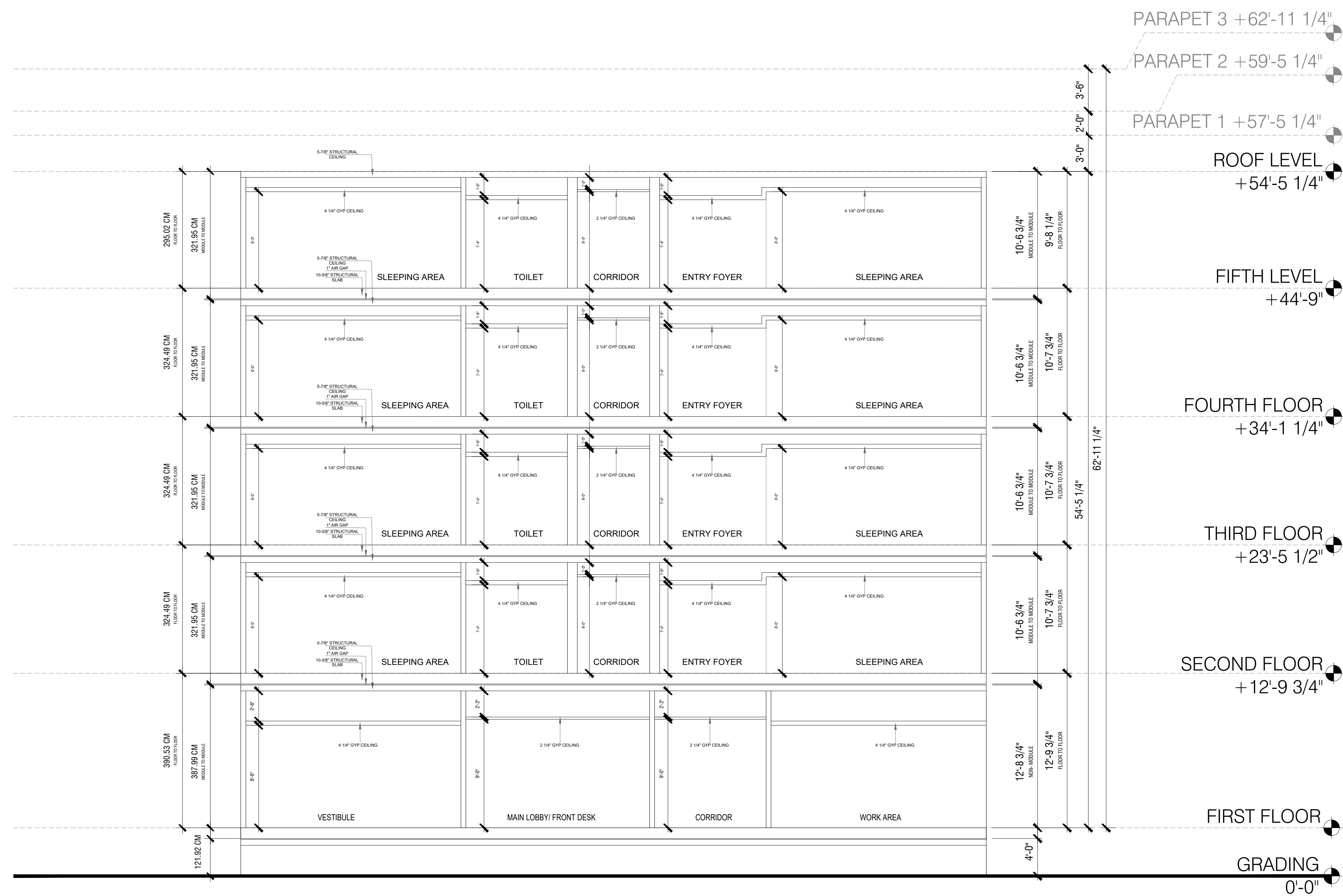
B4-260-2201

SHEET NAME:

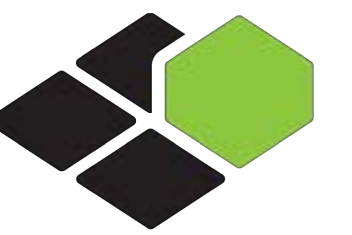
**SECTIONS**

SHEET NUMBER:

**A-4.1**



1 SECTION  
3/16" = 1'-0"

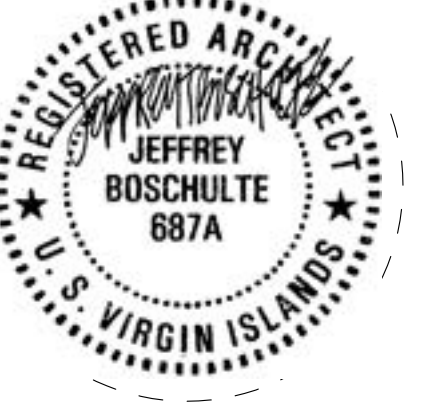


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ST THOMAS, VI

ISSUE NO. DELTA ISSUE DATE DESCRIPTION

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

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PROJECT #:

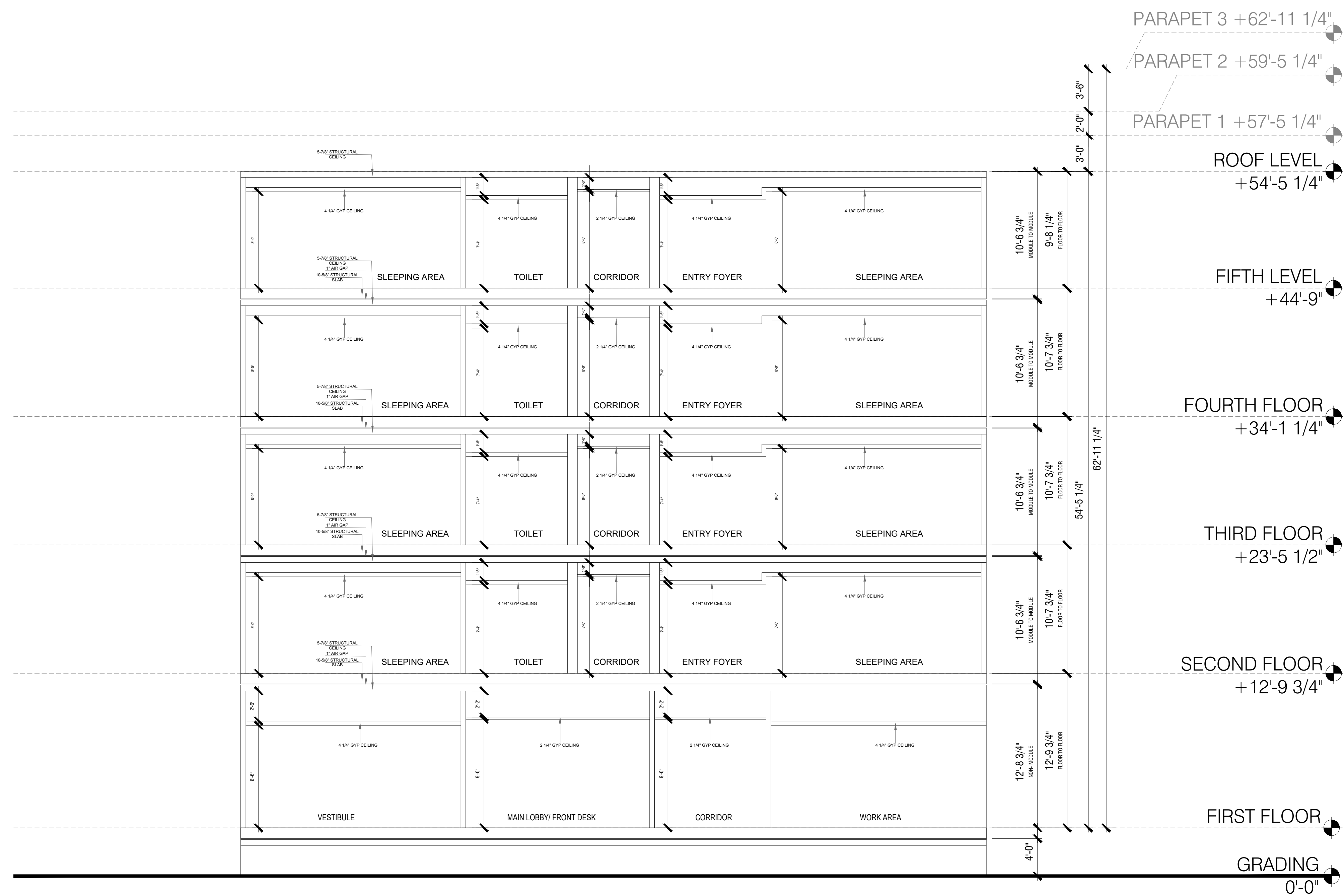
B4-260-2201

SHEET NAME:

SECTIONS

SHEET NUMBER:

**A-4.2**



1 SECTION  
3/16" = 1'-0"

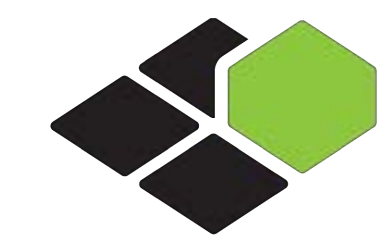


LEGEND-EXTERIOR FINISHES			
MARK	MTL-BRAND	FINISH-COLOR	IMAGE
01	EIFS	BM-COVENRY GREY HC-189	
02	EIFS	BM-CHINE WHITE CC-141	
03	EIFS	BM-CHAMPION COBALT 208-120	
04	STONE	-	
05	METAL ROOF	RED	
06	SLATTED ROOF	GREY	
07	ACCENT CLADDING	BROWN	
08	PAINT	BM-GALVESTON GREY AC-24	
09	PAINT	BM-GREY OWL 2137-90	

2 RIGHT SIDE ELEVATION  
3/32" = 1'-0"



1 FRONT ELEVATION  
3/32" = 1'-0"

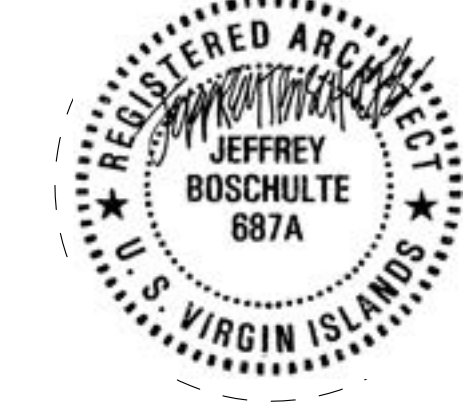


**BASE4**

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CURRENT ISSUE:

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CURRENT ISSUE DATE:

09/06/2022

DRAWN BY:

AZ/HA

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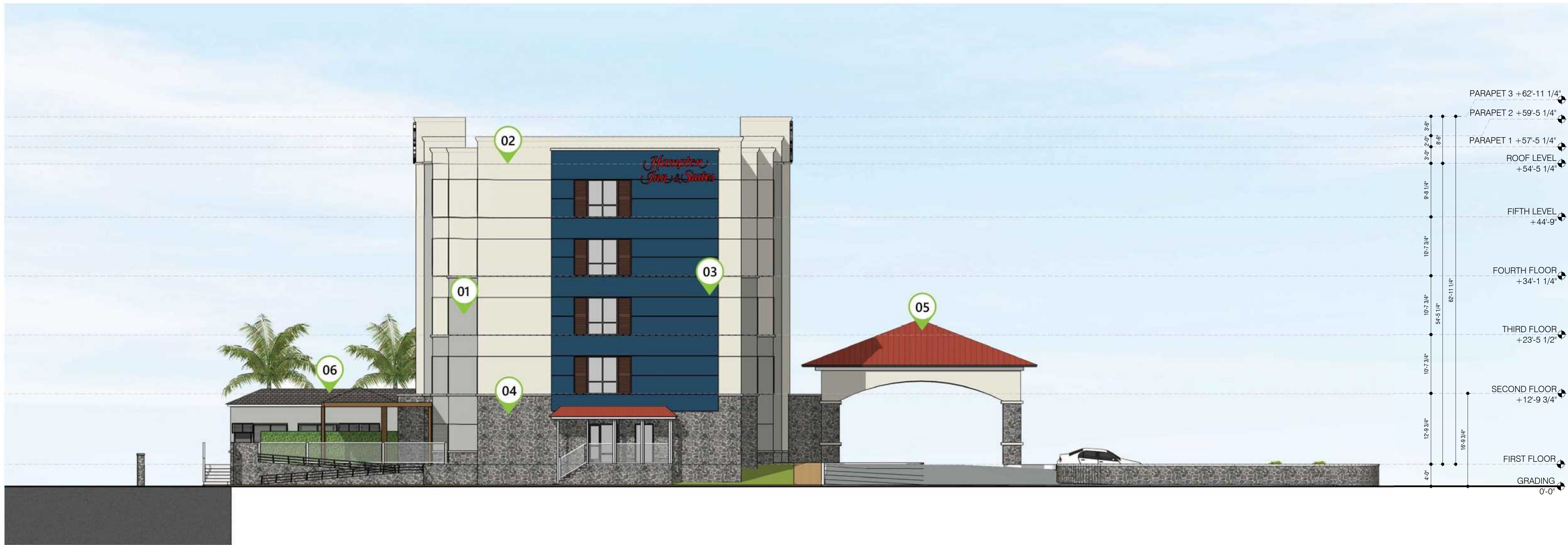
B4-260-2201

SHEET NAME:

**ELEVATIONS**

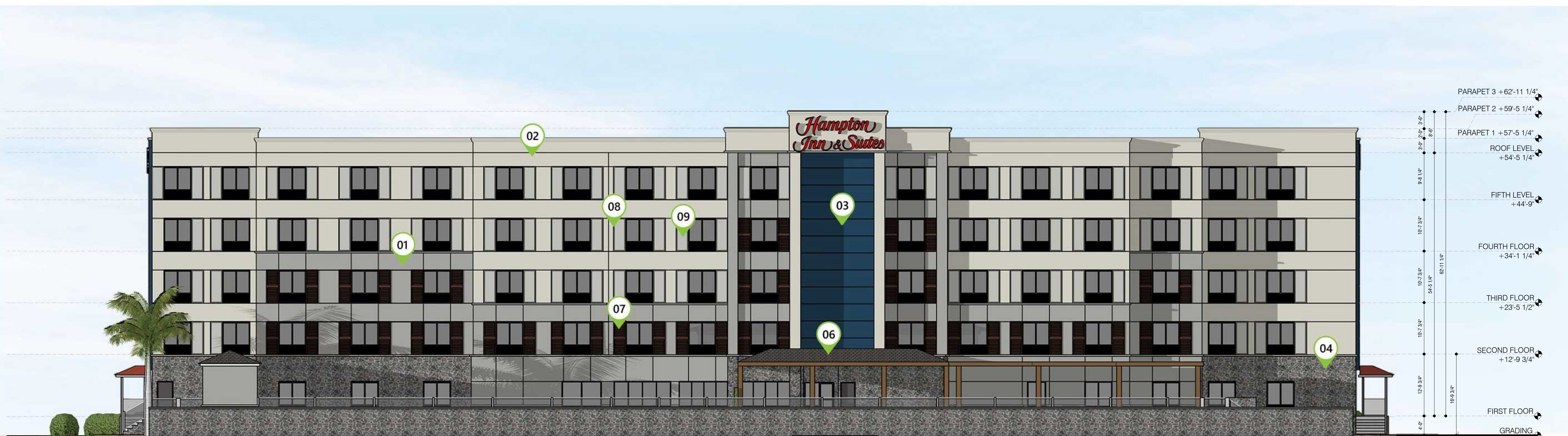
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**A-5.1**

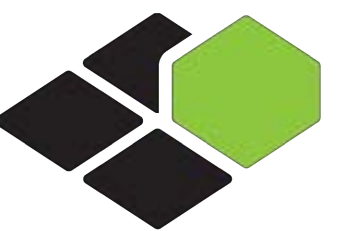


LEGEND-EXTERIOR FINISHES			
MARK	MTL-BRAND	FINISH-COLOR	IMAGE
01	EIFS	BM-COVENTRY GREY HC-109	
02	EIFS	BM-CHINE WHITE CC-141	
03	EIFS	BM-CHAMPION COBALT 208-120	
04	STONE	-	
05	METAL ROOF	RED	
06	SLATTED ROOF	GREY	
07	ACCENT CLADDING	BROWN	
08	PAINT	BM-GALVESTON GREY AC-23	
09	PAINT	BM-OWLS OWL 2137-00	

2 LEFT SIDE ELEVATION  
3/32" = 1'-0"



1 REAR ELEVATION  
3/32" = 1'-0"



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ISSUE NO. DELTA ISSUE DATE DESCRIPTION

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PROJECT #:

B4-260-2201

SHEET NAME:

**ELEVATIONS**

SHEET NUMBER:

**A-5.2**



1 3D VIEW  
N.T.S.

ISSUED FOR CONCEPT ONLY  
NOT FOR CONSTRUCTION



**BASE4**

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PROJECT INFORMATION:



ST THOMAS, VI

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

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SD

PROJECT #:

B4-260-2201

SHEET NAME:

3D  
VIEWS

SHEET NUMBER:

**A-6.1**



1 3D VIEW  
N.T.S.

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Owner:

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PROJECT INFORMATION:



ST THOMAS, VI

ISSUE NO.	DELTA	ISSUE DATE	DESCRIPTION

CURRENT ISSUE:

**CZM PERMIT SET**

CURRENT ISSUE DATE:

09/06/2022

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SD

PROJECT #:

B4-260-2201

SHEET NAME:

3D  
VIEWS

SHEET NUMBER:

**A-6.2**



1 3D VIEW  
N.T.S.

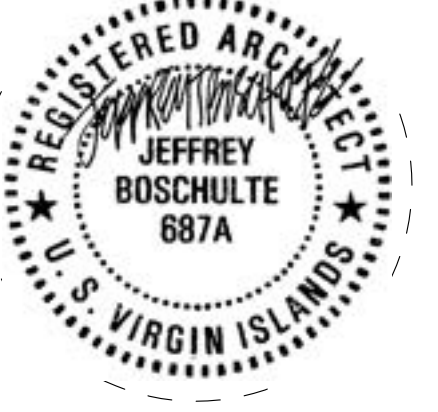


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Owner:

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CURRENT ISSUE:

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CURRENT ISSUE DATE:

09/06/2022

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SD

PROJECT #:

B4-260-2201

SHEET NAME:

3D  
VIEWS

SHEET NUMBER:

**A-6.3**

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NOT FOR CONSTRUCTION**



1 3D VIEW  
N.T.S.

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Owner:

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CURRENT ISSUE DATE:

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PROJECT #:

B4-260-2201

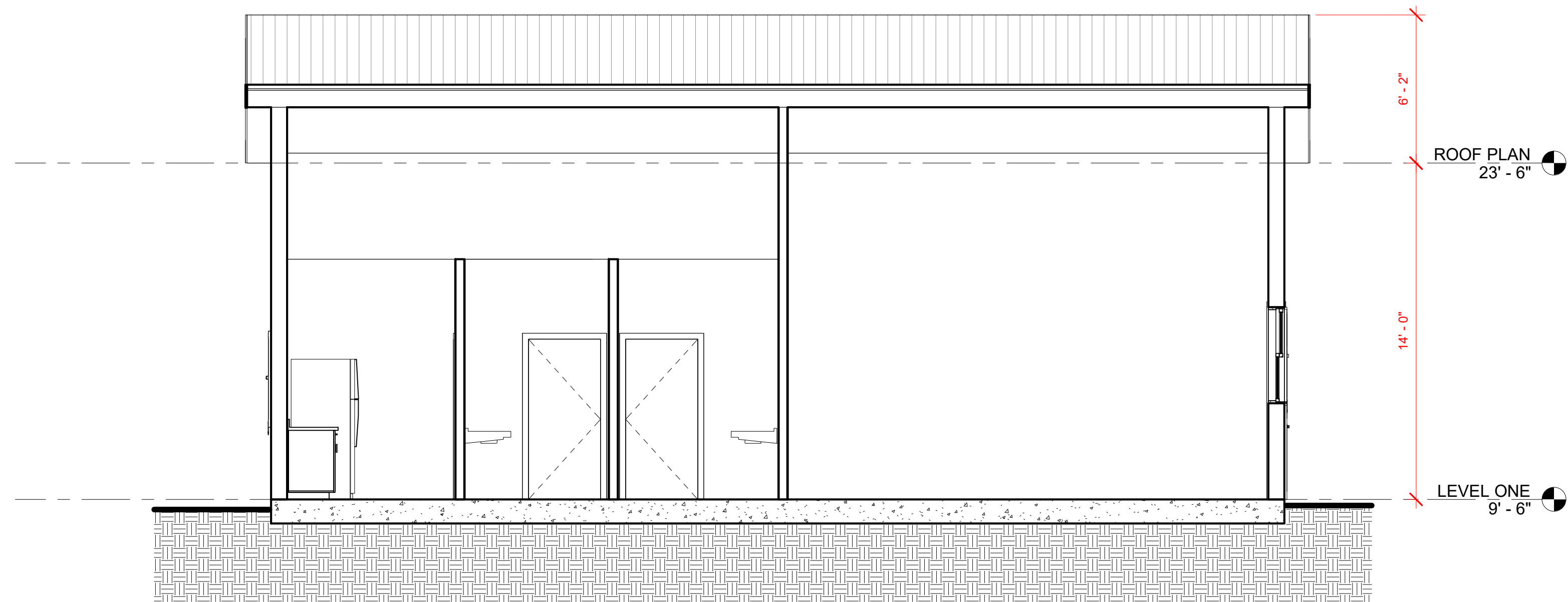
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3D  
VIEWS

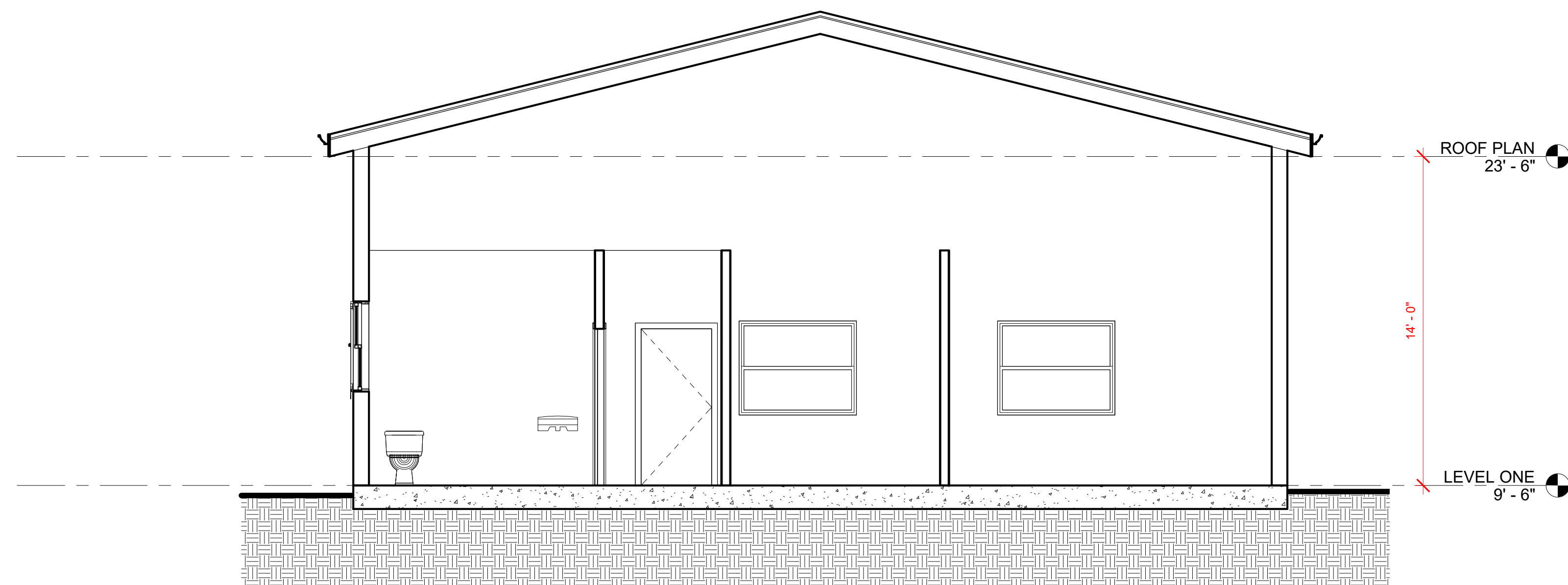
SHEET NUMBER:

**A-6.4**





1 BUILDING SECTION 1  
1/4" = 1'-0"



2 BUILDING SECTION 2  
1/4" = 1'-0"

ARCHITECT  
BOSCHULTE ARCHITECTURE, LLC  
PO Box 303190  
St. Thomas, VI 00803  
41-43 Keapers Cofe  
St. Thomas, VI 00802  
phone: (340) 777-2375  
e-mail: info@boschulte.com  
website: www.boschulte.com



HAVEN DEVELOPMENT, LLC  
VISITOR CENTER  
PARCEL NO. 4  
ESTATE THOMAS  
ST. THOMAS, VI 00802

PROGRESS SET

No.	Description	Date
1	CDM PERMIT SET	09/09/2022

REVISIONS

No.	Description	Date

Project number  
Date 09/06/2022  
Drawn by JTB  
Checked by JTB

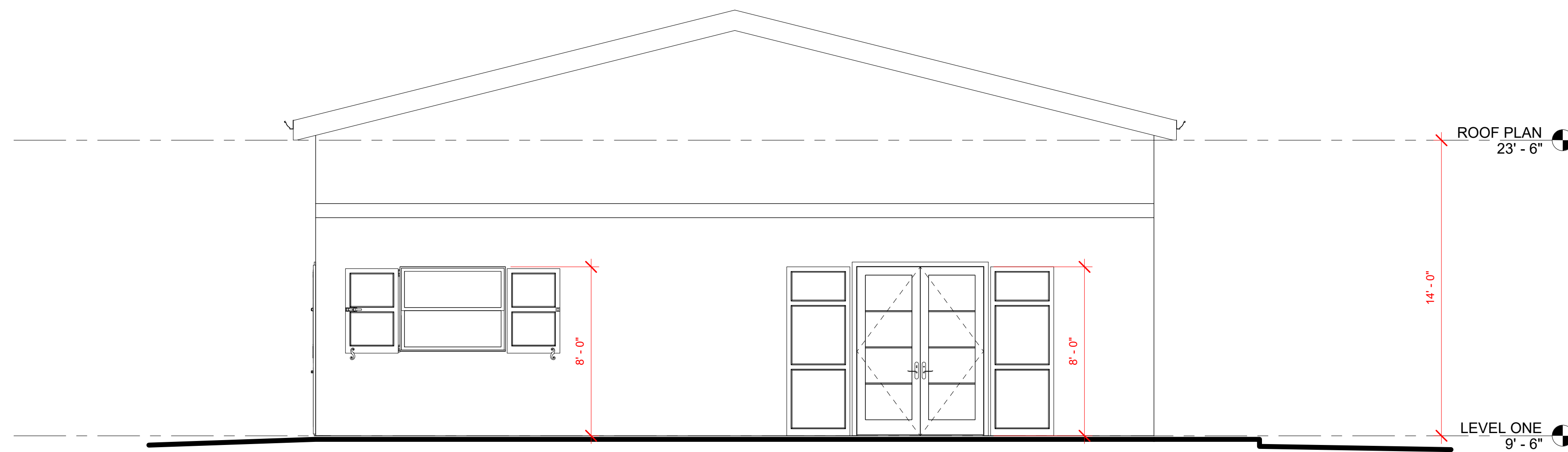
VISITOR CENTER  
SECTIONS

AV-4.1

Scale: AS SHOWN



1 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

ARCHITECT  
BOSCHULTE ARCHITECTURE, LLC  
PO Box 303190  
St. Thomas, VI 00803  
41,43 Keppeler Cofe  
St. Thomas, VI 00802  
phone: (340) 777-2375  
e-mail: info@boschulte.com  
website: www.boschulte.com



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VISITOR CENTER  
PARCEL NO. 4  
ESTATE THOMAS  
ST. THOMAS, VI 00802

PROGRESS SET

No.	Description	Date
1	CM PERMIT SET	09/07/2022

REVISIONS

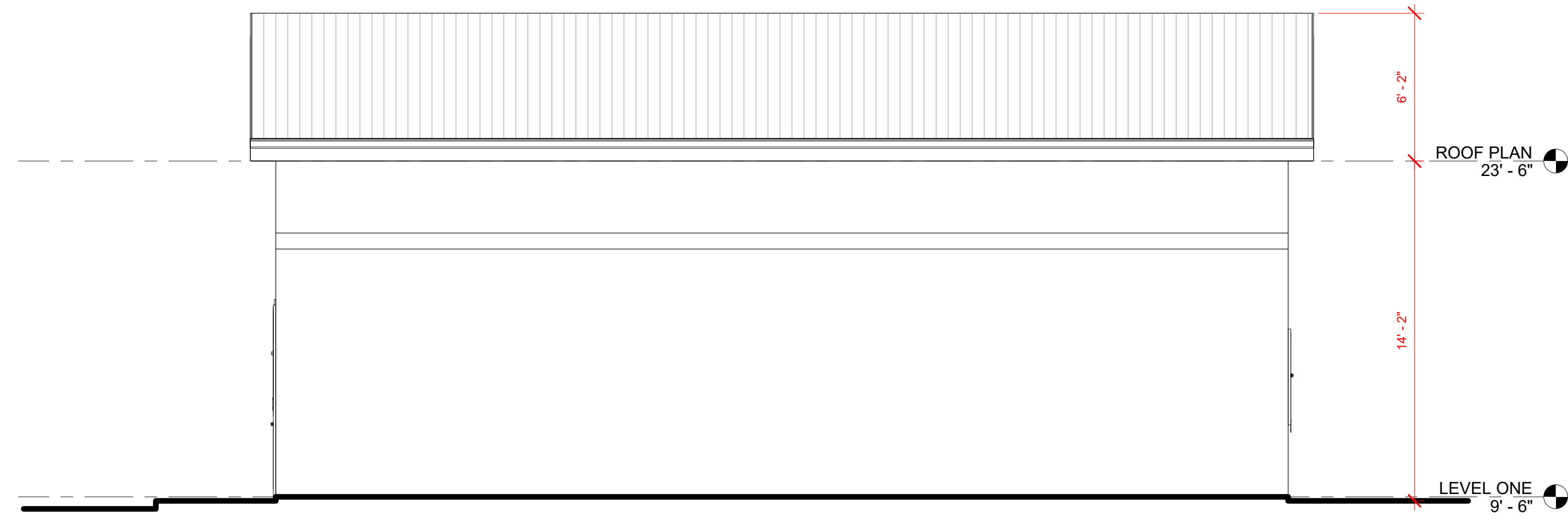
No.	Description	Date

Project number	
Date	09/06/2022
Drawn by	JTB
Checked by	JTB

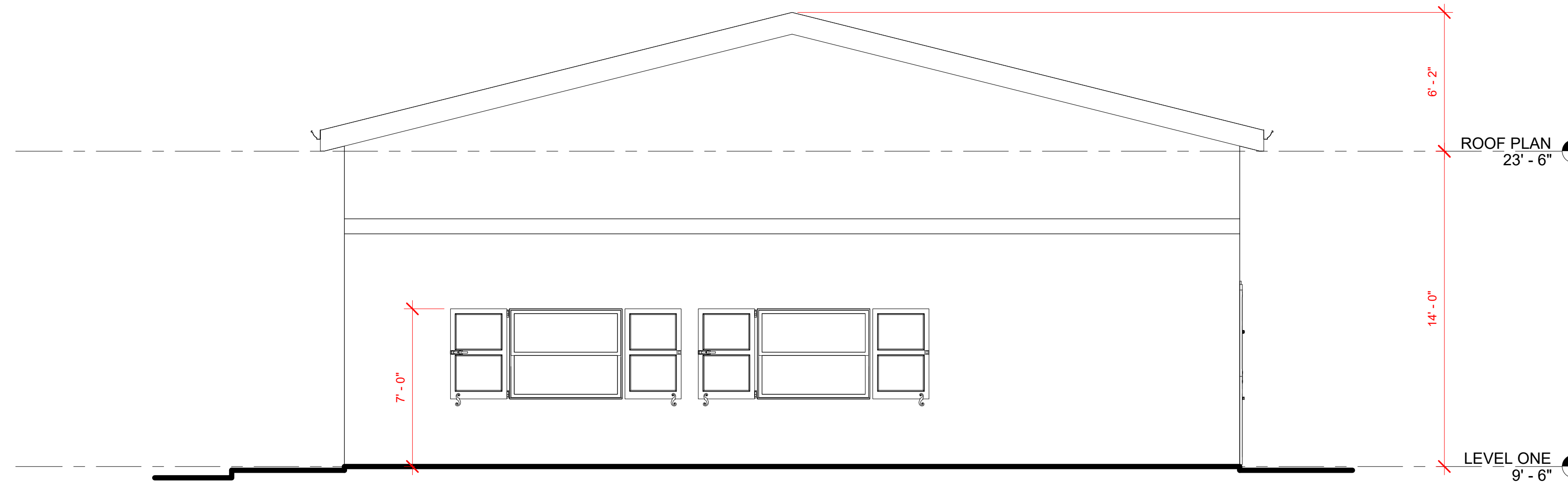
VISITOR CENTER  
ELEVATIONS

**AV-5.1**

Scale: AS SHOWN



1 WEST ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

ARCHITECT  
BOSCHULTE ARCHITECTURE, LLC  
PO Box 303190  
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St. Thomas, VI 00802  
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PARCEL NO. 4  
ESTATE THOMAS  
ST. THOMAS, VI 00802

PROGRESS SET

No.	Description	Date
1	CDM PERMIT SET	09/06/2022

REVISIONS

No.	Description	Date

Project number	
Date	09/06/2022
Drawn by	JTB
Checked by	JTB

VISITOR CENTER  
ELEVATIONS

AV-5.2

Scale: AS SHOWN