

ASSETCO LEASING, INC.

PARCEL No. 13,
CROWN BAY FILL, ST. THOMAS, USVI

NOTES

A. GENERAL:

1. ALL CONSTRUCTION SHALL CONFORM TO MOST RECENT VERSION OF IBC, UNLESS MORE STRINGENT REQUIREMENTS ARE REQUIRED IN THE PLANS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 3. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ENGINEER WILL SEND WRITTEN INSTRUCTIONS TO ALL CONCERNED, AND WORK SHALL BE PERFORMED IN A MANNER AS DIRECTED BY THE ENGINEER. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. THE CONTRACT DOCUMENTS REPRESENT THE FINISH STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY BRACES, SHORES AND GUTS, WHEREVER NECESSARY TO SUPPORT ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED DURING CONSTRUCTION, INCLUDING ERECTION EQUIPMENT AND ITS OPERATION. THIS TEMPORARY SUPPORT SYSTEM SHALL HOLD ALL ELEMENTS AND MEMBERS IN THEIR FINAL POSITION UNTIL TOTALLY AND FINALLY CONNECTED TO THE PERMANENT BRACING ELEMENTS.
 6. THE TYPICAL NOTES AND DETAILS SHALL APPLY IN ALL CASES UNLESS SPECIFIC DETAILS OCCUR ELSEWHERE. WHERE NO DETAIL IS SHOWN, CONSTRUCTION SHALL BE AS FOR SIMILAR WORK.
- B. REINFORCING STEEL FOR CONCRETE AND MASONRY:**
1. REINFORCING BARS: ASTM A615, GRADE 60. ALL REINFORCING STEEL THAT IS TO BE WELDED SHALL CONFORM TO ASTM A706, UNLESS OTHERWISE NOTED ON PLANS.
 2. WELDED WIRE FABRIC: ASTM A665.
 3. MINIMUM SPLICE LENGTHS, UNLESS DETAILED OTHERWISE:
 - a. WELDED WIRE FABRIC SHALL BE SPLICED WITH A MINIMUM LAP OF 12 INCHES.
 4. MINIMUM CLEARANCE BETWEEN REINFORCING AND FACE OF CONCRETE SHALL BE AS FOLLOWS (UNLESS SHOWN OTHERWISE):
 - a. CONCRETE BELOW GRADE (CAST AGAINST SOIL) = 3"
 - b. CONCRETE BELOW GRADE (FORMED) = 2"
 - c. CONCRETE WALLS EXPOSED TO WEATHER = 1-1/2"
 - d. CONCRETE WALLS, INTERIOR WALLS = 3/4"
 - e. CONCRETE SLAB (STRUCTURAL) = 3/4"
 - f. CONCRETE BEAMS AND COLUMNS = 1-1/2"
 5. SPLICES IN COLUMNS AND BEAMS SHALL OCCUR ONLY WHERE DETAILED. SPLICES IN CONTINUOUS GRADE BEAMS SHALL OCCUR AT 1/3 SPAN. CONTACT STRUCTURAL ENGINEER IF CLARIFICATION IS NEEDED.
 6. SPLICES IN HORIZONTAL WALL REINFORCEMENT SHALL BE STAGGERED 3'-0" MINIMUM FROM SPLICE CENTERLINE. WHERE WALLS HAVE TWO LAYERS OF REINFORCING, SPLICES SHALL NOT OCCUR IN THE SAME LOCATION.
 7. ALL REINFORCING SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BEFORE CONCRETE IS PLACED AND SHALL BE SECURED AGAINST DISPLACEMENT WITHIN PERMITTED TOLERANCE. CLEARANCE FOR REBAR SHALL BE SHOWN IN DETAIL OR CALLED IN NOTES. TOLERANCE SHALL BE AS PER ACI 318.
 8. PROVIDE STEPPERS FOR PLUMBING AND ELECTRICAL OPENINGS IN THE CONCRETE MEMBERS BEFORE PLACING CONCRETE. DO NOT CUT ANY REINFORCING WHICH MAY CONTACT. CORING IN CONCRETE IS NOT PERMITTED EXCEPT WHERE SHOWN ON DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.

D. NON-SHRINK GROUT OR DRYPACK:

 1. NON-SHRINK GROUT OR DRYPACK SHALL CONSIST OF A PREMIXED NON-METALLIC FORMULA.
 2. MINIMUM FORMULA REQUIREMENTS:
 - a. NO SHRINKAGE AFTER PLACEMENT.

SCOPE OF WORK

- Repair hurricane damaged 4,000 sq.ft. single story steel frame structure.
- Work to include:
 - Removal of damaged materials.
 - Replace/repair damaged roof framing and panels.
 - Replace/repair damaged wall panels and girts.
 - Minor repairs to CMU walls
- Work does not include any earth change activities or modification of existing footprint.

PROJECT SUMMARY

PROJECT ADDRESS:
Parcel Number: 13 Crown Bay Fill
St. Thomas, US Virgin Islands

OWNER:
Government of the Virgin Islands/CZM
Second Floor VITA building
St. Thomas, USVI 00803

PERMIT APPLICANT:
Assetco Leasing, Inc.
P.O. Box 3770
St. Thomas, USVI 00802
340-642-2885

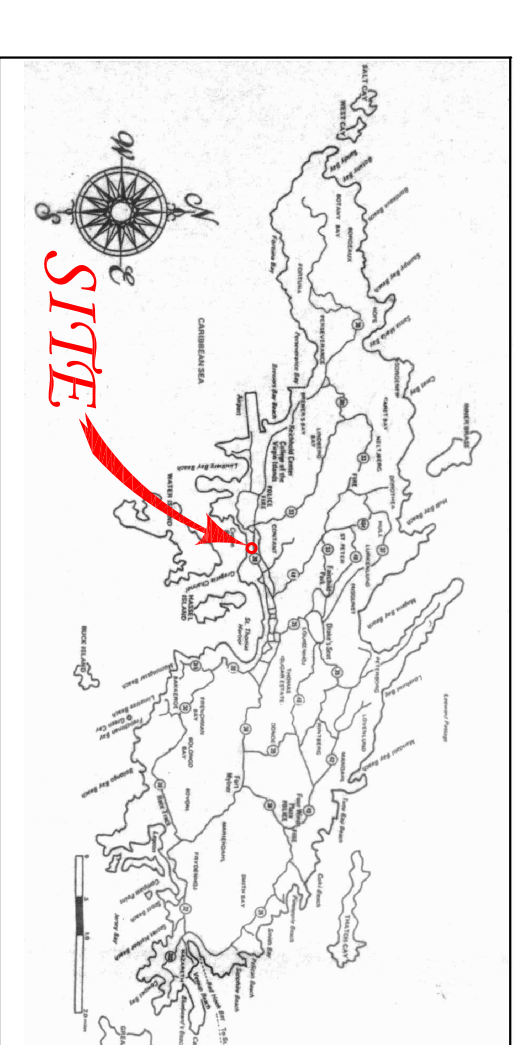
ZONING: Commercial (C)

F.E.M.A. FLOOD ZONE DESIGNATION: AO

LOT SIZE: .18 acre (7,831 sq.ft.)

SHEET INDEX

PAGE C1: COVER SHEET
PAGE SPT: SITE PLAN
PAGE A1: FLOOR PLAN
PAGE A2: ELEVATIONS - EXISTING
PAGE A3: ELEVATIONS - REPAIRED
PAGE S1: SECTION



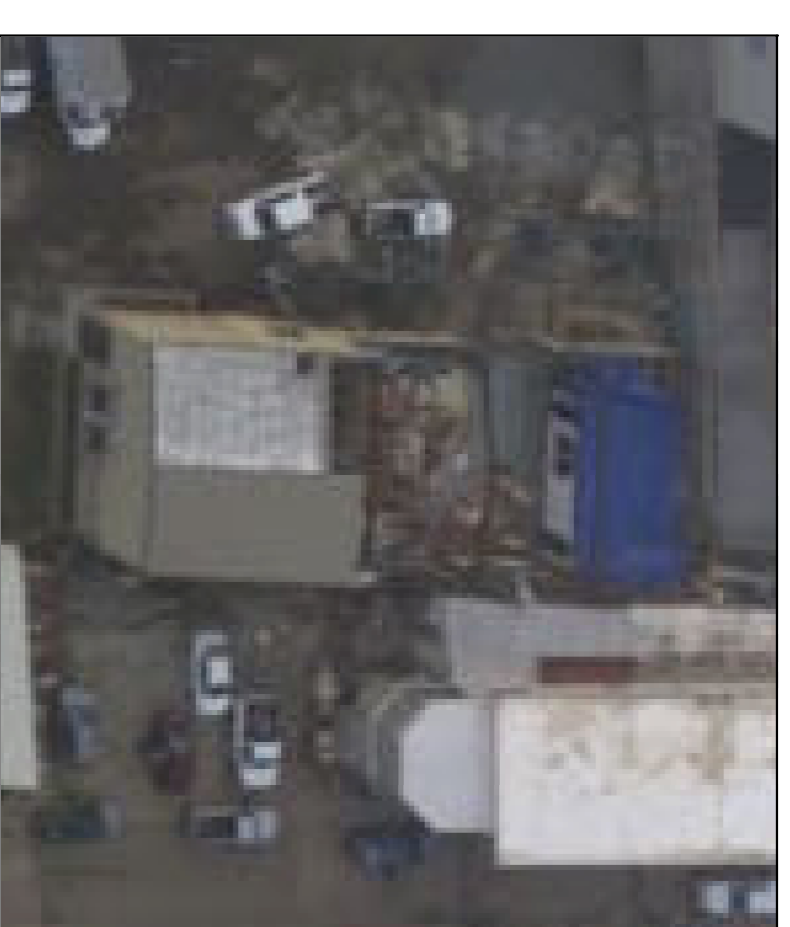
LOCATION MAP: ST. THOMAS, USVI



LOCATION MAP: CROWN BAY LANDFILL



PARCEL 13, CROWN BAY FILL: PRE-HURRICANE AERIAL PHOTO



PARCEL 13, CROWN BAY FILL: POST HURRICANE AERIAL PHOTO

NOTES:

PROJECT TITLE:
PARCEL No. 13
CROWN BAY FILL
BUILDING
REPAIRS

OWNER/DEVELOPER:
ASSETCO LEASING, INC.
P.O. BOX 3770
ST. THOMAS, USVI, 00802
340-642-2885

CERTIFYING ENGINEER:
WA'NE CALWOOD



DRAWING TITLE:

COVER PAGE

SCALE:

24X360

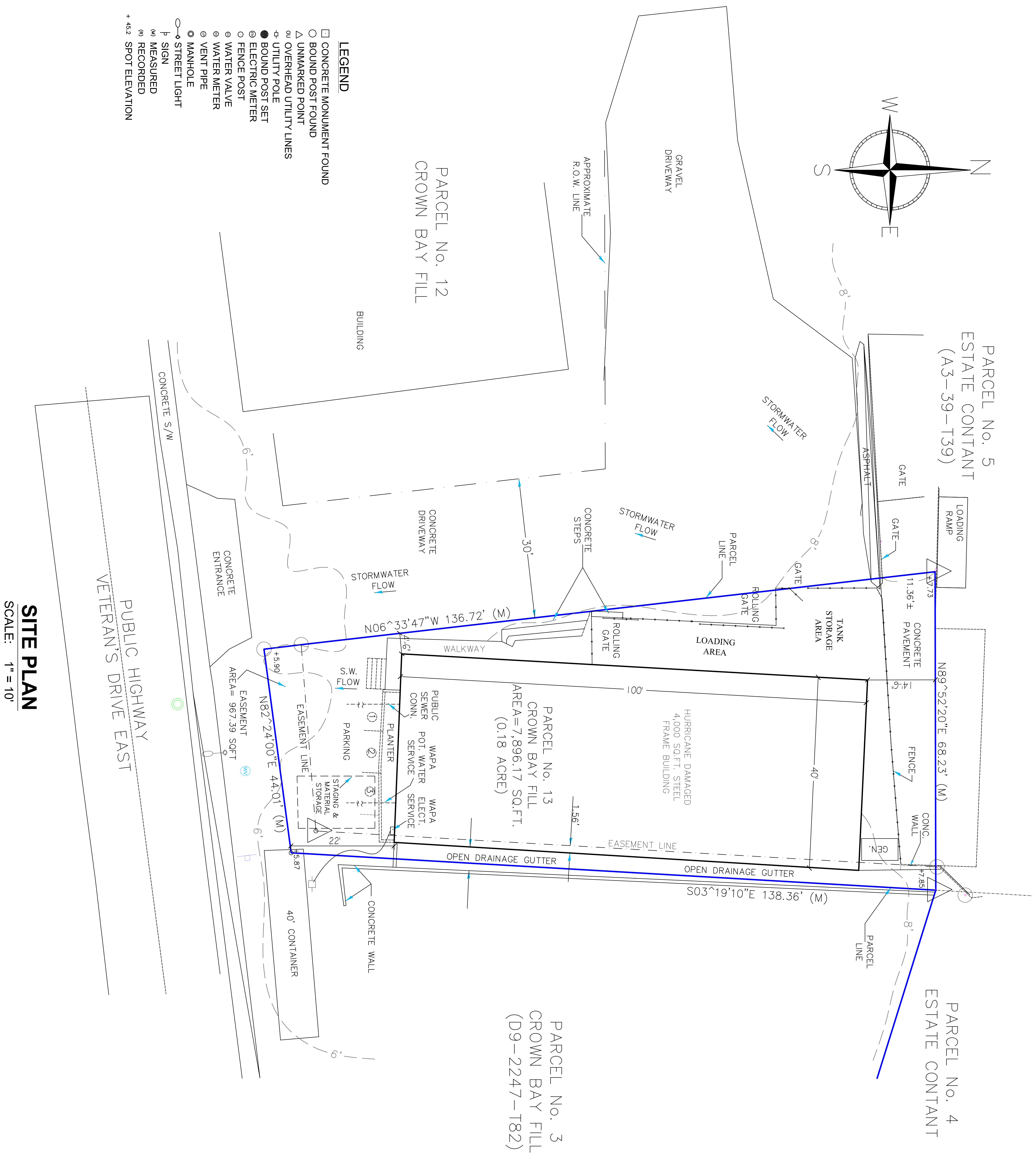
PLOT DATE:

1-13-2022

SHEET NO.:

C1

- LEGEND**
- CONCRETE MONUMENT FOUND
 - BOUND POST FOUND
 - △ UNMARKED POINT
 - OVERHEAD UTILITY LINES
 - + UTILITY POLE
 - BOUND POST SET
 - ⊙ ELECTRIC METER
 - FENCE POST
 - ⊙ WATER VALVE
 - ⊙ WATER METER
 - ⊙ VENT PIPE
 - ⊙ MANHOLE
 - ⊙ STREET LIGHT
 - h SIGN
 - m MEASURED
 - (M) RECORDED
 - + 45.2 SPOT ELEVATION



SITE PLAN
SCALE: 1" = 10'


NOTES:

- General scope of work:
- Repair hurricane damaged 4,000 sq.ft. single story steel frame structure.
- Removal of damaged materials.
- Replace missing or damaged roof panels and framing.
- Replace missing or damaged wall panels and girts.
- Minor repairs to CMU walls.
- Work does not include any earth change activities or modification of existing topographic.
- Employee Parking:
- Employees: Less than (5)
- Required parking for (5) or fewer employees: (1)
- Proposed employee parking spaces: (1)
- Customer Parking:
- Sales area: 1,000 sq.ft.
- (1) customer parking space required for every (500) sq.ft. of sales area.
- Proposed customer parking spaces: (2)
- Setbacks:
- Zoned (C) Commercial. No setbacks required.
- Earth Change Activities:
- No earth change activities proposed.
- No grading, or erosion control, or water flow, drainage, or erosion control systems proposed.
- Portable Water Storage & Supply:
- Existing structure is connected to public potable water system (WVW).
- Proposed water system to be installed on the property.
- Sewerage:
- Existing structure is connected to public sewer line.
- Landscaping:
- Property is devoid of trees or other vegetation.
- No land clearing activities are proposed.
- Topography:
- Contours are shown at 2' intervals
- Base Flood Elevation: 2'

PROJECT TITLE:
PARCEL No. 13
CROWN BAY FILL
BUILDING
REPAIRS

OWNER/DEVELOPER:
ASSETCO LEASING, INC.
P.O. BOX 3770
ST. THOMAS, USVI, 00802

340-642-2885

CERTIFYING ENGINEER:
WAYNE CALWOOD


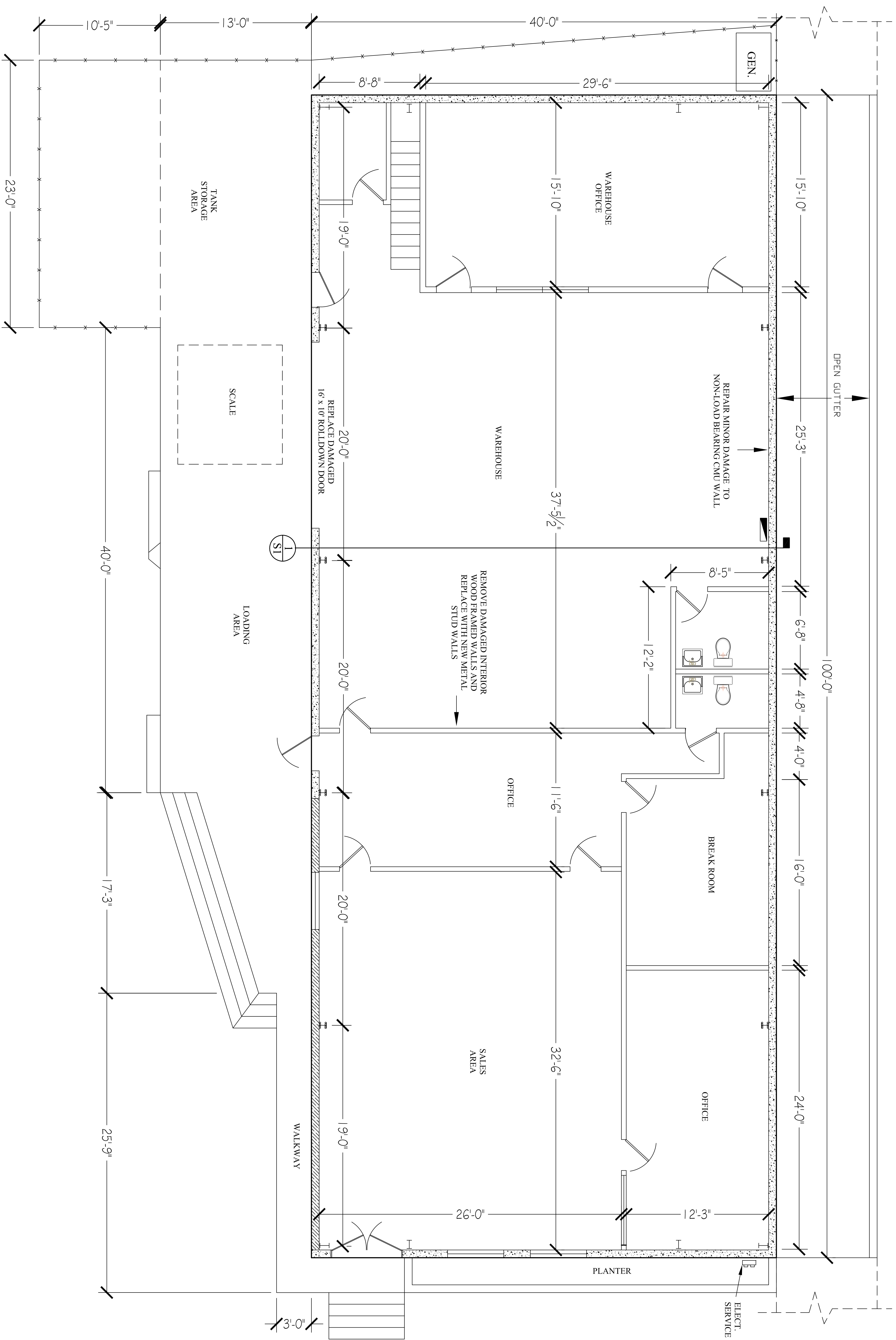
DRAWING TITLE:
SITE PLAN

24X36D

PLOT DATE:
1-13-2022

SHEET NO.:
SP1

NOTES:



FLOOR PLAN

SCALE: 1/4" = 1'

PROJECT TITLE:
**PARCEL No. 13
 CROWN BAY FILL
 BUILDING
 REPAIRS**

OWNER/DEVELOPER:
 ASSETCO LEASING, INC.
 P.O. BOX 3770
 ST. THOMAS, USVI, 00802

340-642-2885

CERTIFYING ENGINEER:
WAYNE CALWOOD



DRAWING TITLE:

FLOOR PLAN

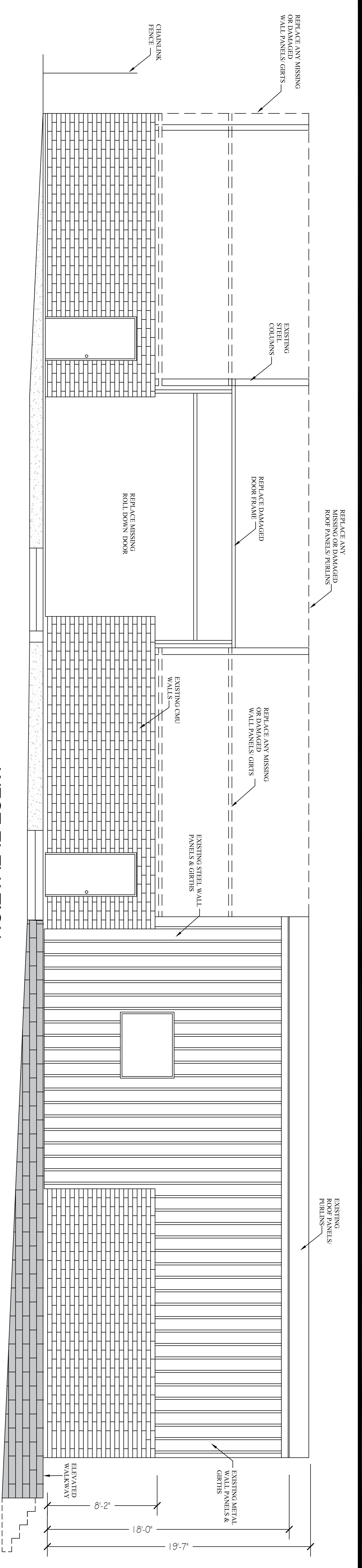
24X36D

PLOT DATE:

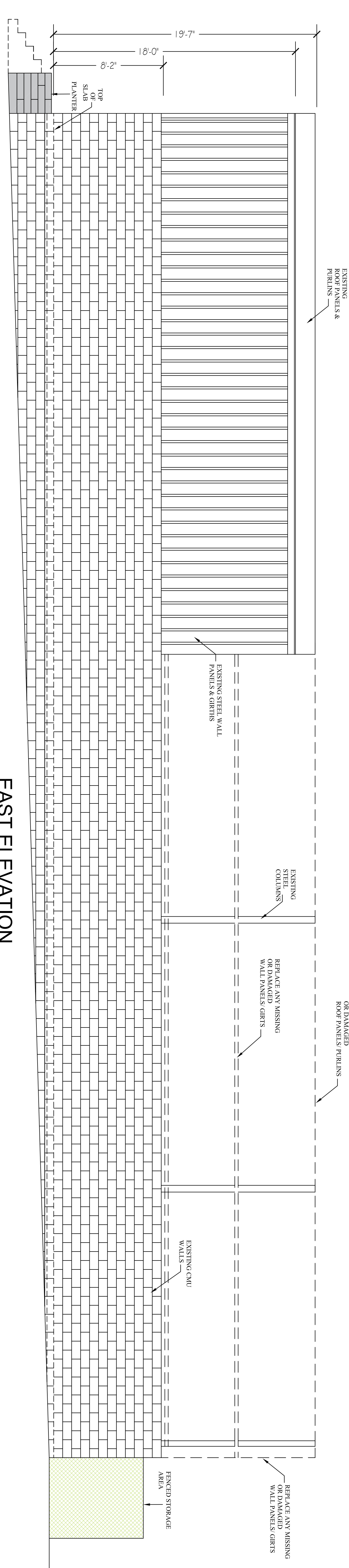
1-13-2022

SHEET NO:

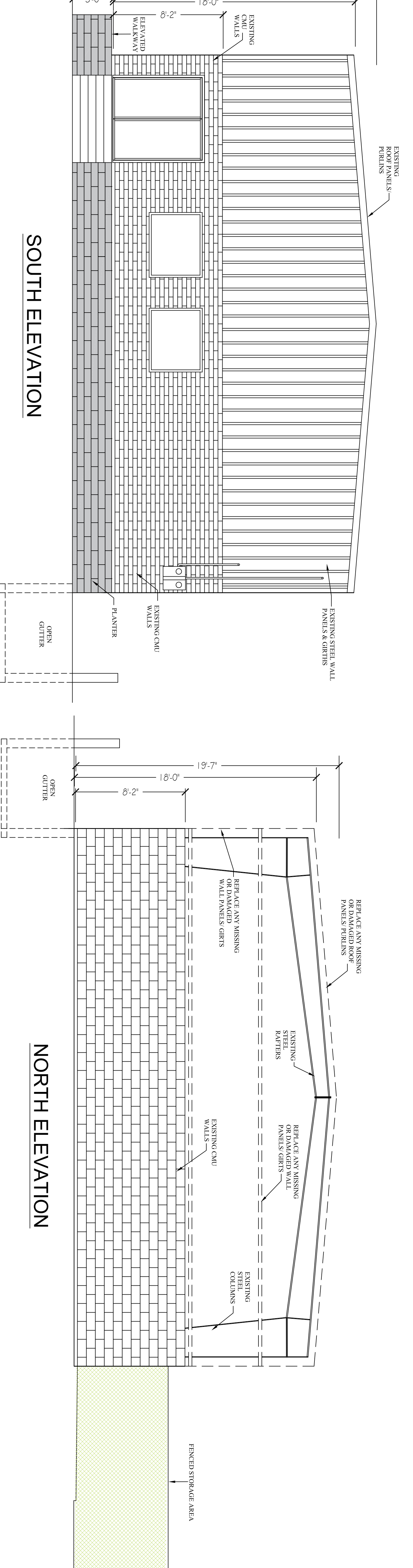
A1



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION

BUILDING ELEVATIONS: EXISTING CONDITION

SCALE: 1/4" = 1'

NOTES:

PROJECT TITLE:

**PARCEL No. 13
CROWN BAY FILL
BUILDING
REPAIRS**

OWNER/DEVELOPER:

**ASSETCO LEASING, INC.
P.O. BOX 3770
ST. THOMAS, USVI, 00802**

340-642-2885

CERTIFYING ENGINEER:
WAYNE CALWOOD



DRAWING TITLE:

**EXISTING
ELEVATIONS**

24X36D

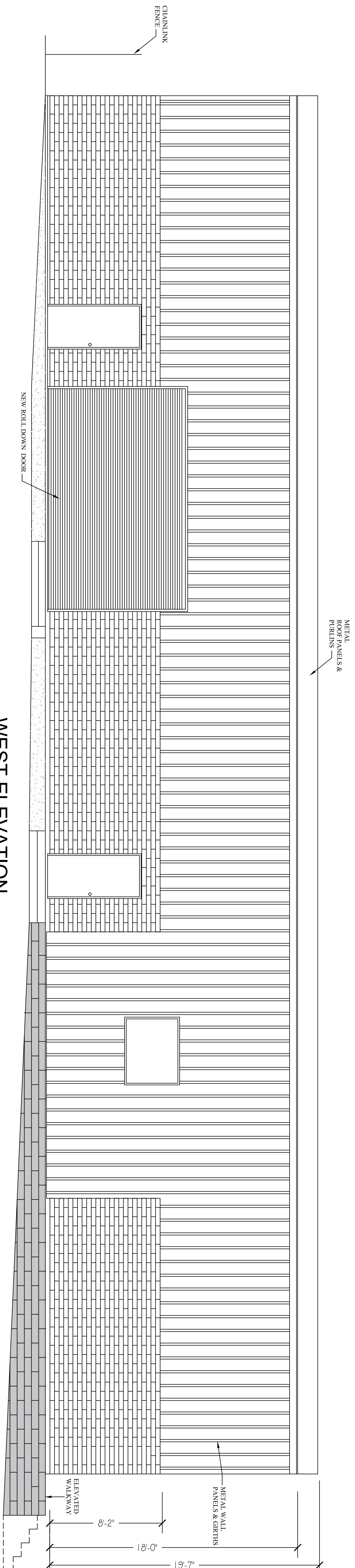
PLOT DATE:

1-13-2022

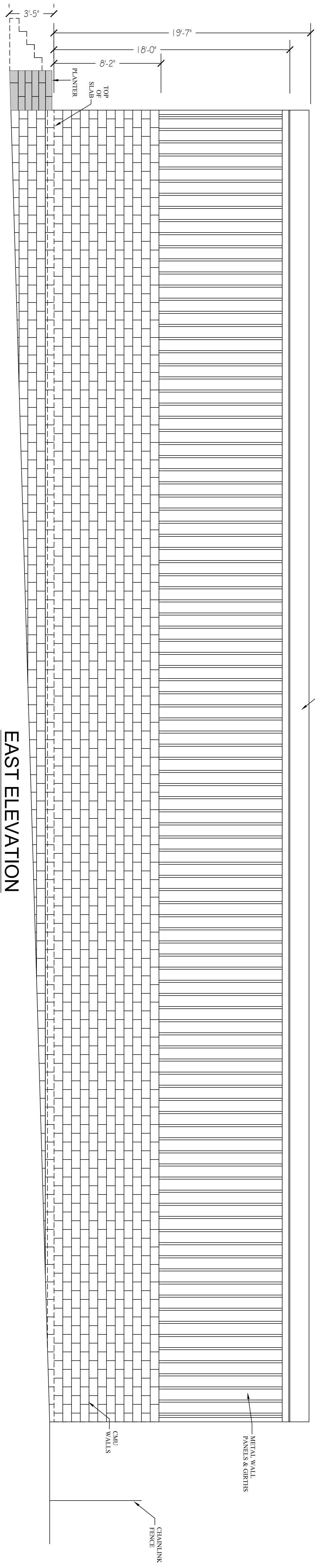
SHEET NO:

A2

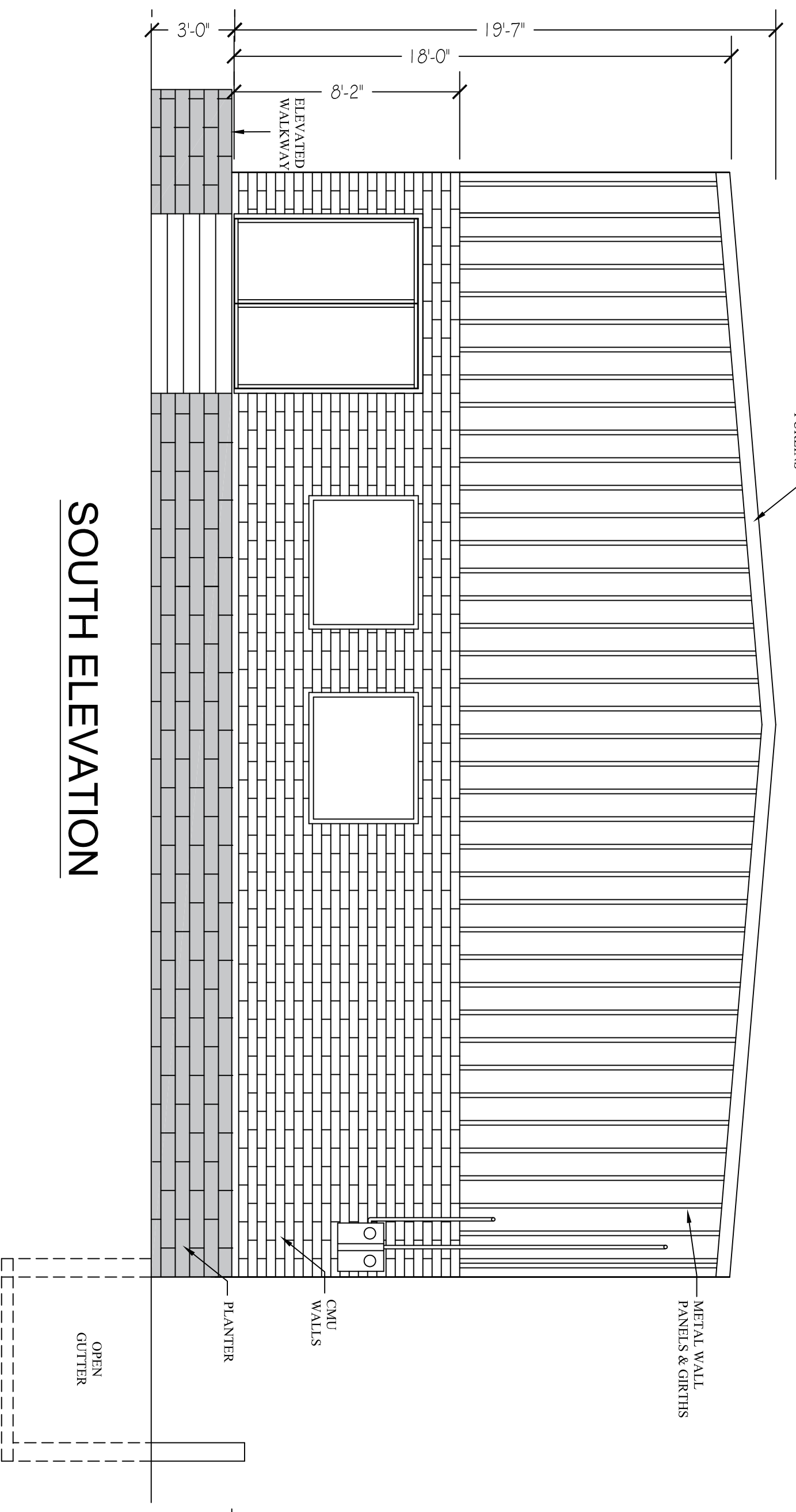
NOTES:



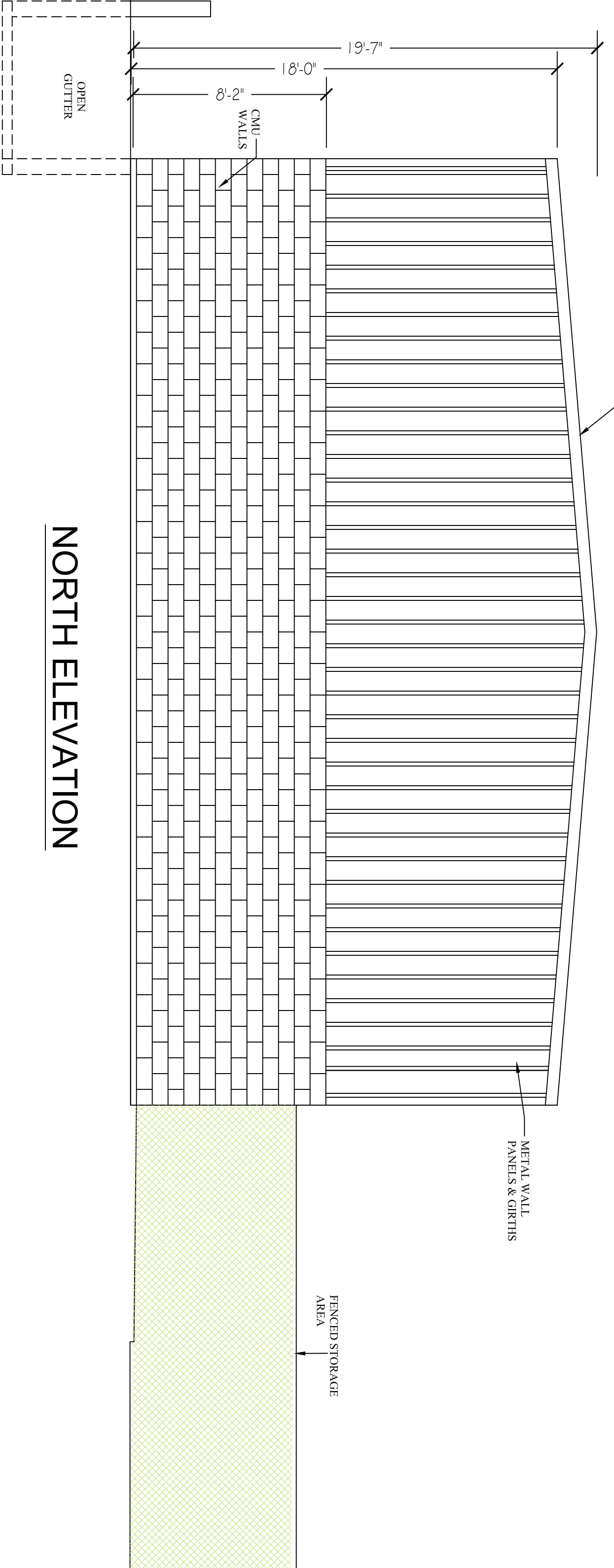
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

BUILDING ELEVATIONS: REPAIRED CONDITION

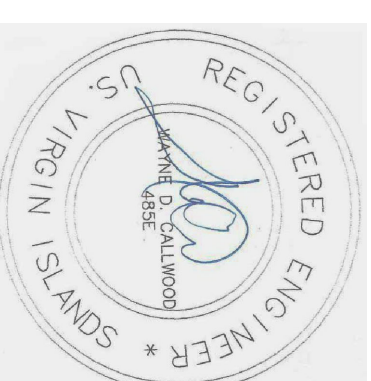
SCALE: 1/4" = 1'

PROJECT TITLE:
**PARCEL No. 13
 CROWN BAY FILL
 BUILDING
 REPAIRS**

OWNER/DEVELOPER:
 ASSETCO LEASING, INC.
 P.O. BOX 3770
 ST. THOMAS, USVI, 00802

340-642-2885

CERTIFYING ENGINEER:
WAYNE CALWOOD



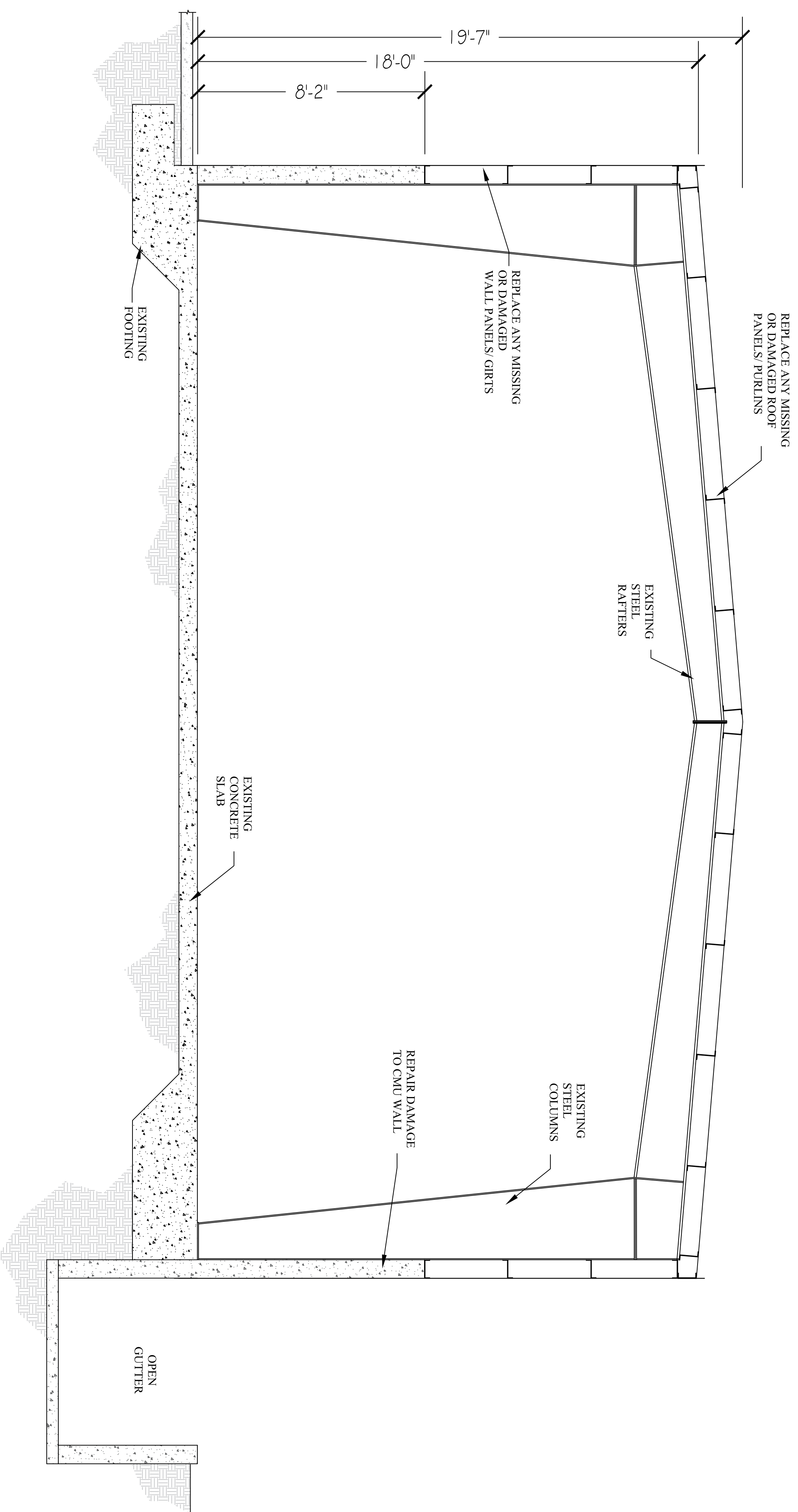
DRAWING TITLE:
**REPAIRED
 ELEVATIONS**

24X36D
 PLOT DATE:

1-13-2022
 SHEET NO:

A3

NOTES:



PROJECT TITLE:

**PARCEL No. 13
CROWN BAY FILL
BUILDING
REPAIRS**

OWNER/DEVELOPER:

ASSETCO LEASING, INC.
P.O. BOX 3770
ST. THOMAS, USVI, 00802

340-642-2885

CERTIFYING ENGINEER:

WAYNE CALWOOD



DRAWING TITLE:

SECTION

24X36D

PLOT DATE:

1-13-2022

SHEET NO:

S1

SECTION
SCALE: 3/8" = 1'

1
S1