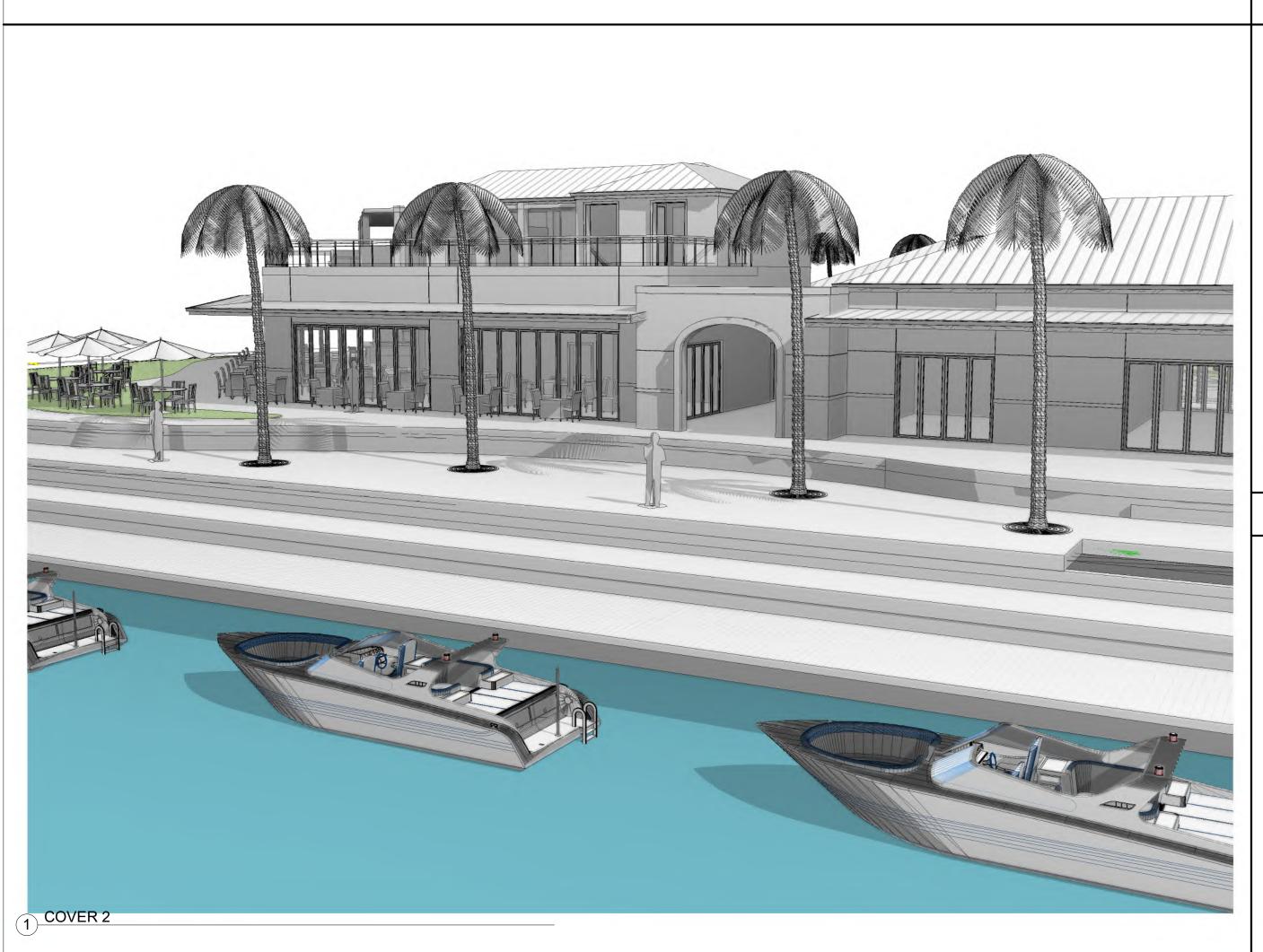
LATITUDE 18 MARINA REDEVELOPMENT

REM. CONSOLIDATED 9B-A ESTATE NAZARETH - ST. THOMAS, U.S. VIRGIN ISLANDS CZM REVISION | SUBMISSION DATE: DECEMBER 21, 2022

APPLICANT: JACK ROCK B-A C LLC

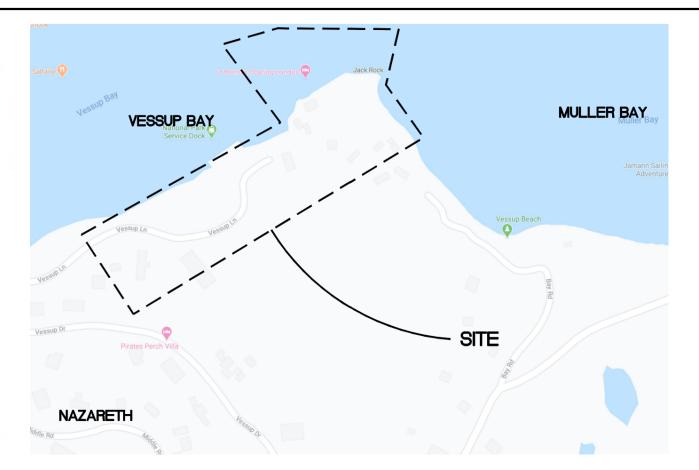


VICINITY MAP



NOT TO SCALE

LOCATION MAP



NOT	TO	SCAL

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PROJECT DIRECTORY

OWNER:

JACK ROCK B-A C LLC Corporation Trust Center 1209 Orange Street Wilmington, Delaware, 19801

CIVIL ENGINEER:

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GEOTECHNICAL ENGINEER:

MVG GEOTECHNICAL GROUP P.O. Box 2636 Vega Baja, Puerto Rico, 00694 Contact: Marcus Garcia Phone:787-354-5646 Email: mgarcia@mgvgeo.com

MARINE/COASTAL ENGINEER:

APPLIED TECHNOLOGY + MANAGEMENT 2047 Vista Parkway, Suite 101 West Palm Beach, FL, 33411 Contact: Esteban Biondi Phone:561-472-2145 Email: ebiondi@appliedtm.com

DEVELOPMENT MANAGER:

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STRUCTURAL ENGINEER:

9-1 Bellevue, PO Box 600122 St. Thomas, USVI, 00801 Contact: Paul Ferreras, PE Phone: 340-714-5435 Email: paul@pfpe.pro

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ARCHITECT:

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FUEL CONSULTANT:

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LAND SURVEYOR + CONSULTANTS:

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CONSULTING ARCHITECT:

DESIGN DISTRICT, PLLC 2110 Company Street Christiansted, VI, 00820 Contact: Clarence Browne Phone: 340-227-6265 Email: clarence@designdistrictvi.com

ENVIRONMENTAL CONSULTANT:

BIOIMPACT, INC. P.O. Box 132 Kingshill St. Croix, USVI 00851 Contact: Amy Claire Dempsey, MA Phone: 340-690-8445 Email: bioimpact@islands.vi

CONSULTING ARCHITECT:

EDGE OF ARCHITECTURE(EOA) 1929 Ponce De Leon Blvd Coral Gables, FL, 33134 Contact: Malcom Berg Phone: 305-444-0990 Email: mb@eoagroup.com

LAND SURVEYOR-GEO REFERENCING:

BRIAN MOSLEY & ASSOCIATES, INC. 4003 Raphune Hill, Suite 606 St. Thomas, USVI, 00802 Contact: Ryan Wisehart Phone: 340-774-5310 Email: rwisehart@visurveyors.com

ZONING REQUIREMENTS TABLE: W1

	REQUIRED/ALLOWED	PROVIDED
PARKING	76 PARKING SPACES	84 PARKING SPACES
PERMITTED DENSITY	2 DWELLING UNITS MAX	0 DWELLING UNITS
PERMITTED LOT OCCUPANCY	40% OF ZONING LOT AREA: 96,848 SF MAX.	18,784 SQUARE FEET OR 7.2%
LOT AREA	10,000 SQUARE FEET MIN.	242,122 SQUARE FEET (5.56 ACRES)
USABLE OPEN SPACE	30% OF ZONONG LOT AREA: 72,636 SF MIN.	77,841 SF OR 32%
LOT WIDTH	MIN. 100 FEET	200+ FEET
FRONT YARD	MIN. 25 FEET	30+ FEET
SIDE YARDS	MIN. 10 FEET	20+ FEET
REAR YARD	MIN. 20 FEET	N/A (SEE PLANS)
MAX. HIEGHT LIMIT	THREE STORIES	TWO STORIES

aredian Design Group

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2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

COVER

necker	2021002
oject Architect	Project No.
	05.03.2021

CZM INFORMATION

1.00 NAME AND ADDRESS OF APPLICANT

JACK ROCK B-A C LLC **Corporation Trust Center** 1209 Orange Street Wilmington, Delaware, 19801

2.00 LOCATION OF PRODUCT

The Latitude 18 Marina is located on Vessup Bay in Red Hook, on the eastern end the island of St. Thomas. Parcel 3 Estate Nazareth is located on the southern shore of Vessup Bay. The geographic coordinates of the proposed project are 18.324817°N and 64.837134°W. The proposed mooring field is located at 18.325657°N 64.845457°W.

3.00 ABSTRACT

Jack Rock B-AC LLC purchased parcels 9C and 9B-Consolidated, Estate Nazareth with the intention of developing a World Class Marina with an upland mixed use commercial development. Consolidated Parcel 9B-A comprises a total of 5.56 acres. The entire area is zoned W-1-Waterfront Pleasure. The Proposed Development is permitted by the Virgin Islands Code as a matter of right. The project site contains a peninsula that forms the southern entrance to Red Hook Bay. That peninsula is a rocky abutment that extends to the National Park Service property on the East side and abuts the Vessup Beach area to the south.

The project area was the site of the Latitude 18 Marina. This Marina has been through significant damages as a result of the Hurricanes over the past 25 years, specifically Hurricane Marilyn in 1995 and Hurricanes Irma and Maria in 2017. The original Marina was never fully restored after Hurricane Marilyn in 1995. The viability of the property as a Marina has continually diminished over time, finally closing from damages as a result of the 2017 Hurricanes. The Development Plan intends to take advantage of this unique promontory at the entrance to Red Hook Bay. The Development Plan is supported by environmental studies that is the basis for the location and development of upland, shoreline and overwater structures. The inclusion of a wave attenuator in the Marina Development Plan is intended to create calmer water under operational conditions. The Marina dock layout encompasses the area occupied by the previous Marina. The upland Development Plan includes a wholistic storm water management system with area reserved for natural drainage courses and preserved vegetation to address endangered species such as the Tree Boa. A total of 32% of the lot areas are devoted to drainage areas, and landscaping.

The overall Development Plan includes a Managed Mooring Field that will have approximately 14 buoys in Vessup Bay and 68 buoys in Muller Bay. Pump Out Facilities and showers will be available for the clients that lease moorings in the Mooring Field. Managed mooring fields throughout the United States are amongst the means to have proper anchorage for moored vessels and proper environment management within the Bay through the on-land Pump Out Facilities. This mooring Field will be an example of sound environmental practices in the Bay.

4.00 STATEMENT OF OBJECTIVES SOUGHT BY THE PROPOSED PROJECT

The Marine Industry in the U.S. Virgin Islands has diminished over the past 30 years due to the emergence of other markets such as the British Virgin Islands and U.S. Coast Guard Requirements. The objective sought through this Application is to provide a World Class Marina with a complement of upland Food and Beverage Establishments, Retail and Support Facilities. This project will become a cornerstone in the Government of the U.S. Virgin Islands Marine Task Force Development. A further objective sought by this project is responsible Environmental Development through the preservation of Habitat for endangered species on the up-land development and the Managed Mooring Field that is proposed as a part of it. Managed mooring fields will include U.S. Coast Guard approved mooring balls, helix type anchors with floated lines, and requirements for sewage pump out stations that are a part of the Upland Development. These measures will have a significant improvement in the water quality in the Bay.

5.00 DESCRIPTION OF PROJECT Upland

The upland structures will include design motifs that are particularly Tropical and Historical Danish Architecture in nature. The building structures will have concrete foundations, steel super structure, and roofing. Structures will be enclosed by masonry exterior walls. All fenestrations will be impact resistant assemblies. There are two primary upland structures. They are:

- Restaurant & Marina Services Building
- Warehouse Building & Boat Storage Racks

Restaurant & Marina Services Building

The Restaurant & Marina Services Building is the cornerstone of the upland development, it is located on the North East Promontory of the site. This location forms the southern entry point to Red Hook Bay. The overall structure will be one and a half stories in height with a total square footage of approximately 10,000 SF.

The vehicular entry will approach from the south east with a turnaround covered by Porte-Cochere. Visitors will proceed through the courtyard eventually to an external passageway to the promenade. Marina users will be able to proceed by foot to the Marina Waiting Pavilion to the west and from there to the docks. The first floor will contain Support Spaces, Kitchen, Restaurant & Retail. The northern and eastern sides of the Multi-Use Structure are surrounded by a promenade, lounge area and other areas that transition from the first level of the building down to the dock-level. The second floor of the structure will contain a sunset viewing deck with support space. The envelope on the second floor shall step back from the lower-level envelope.

The west side of the building will provide access to support facilities to mooring field users, including restrooms and showers.

Warehouse Building

The Warehouse Building will be 10,000 SF in size. It will be a single-story structure that will contain storge of materials and supplies related to the operation of the

SITE LAYOUT

The concept behind the layout of this site is to take into consideration the environmental resources that constrict the location of buildings within the area. Entry to the project site will be at the north western corner of the property where the existing Latitude 18 access was located. From this entry point the access road splits to allow for visitor circulation to bend toward the south then eastward towards the Marina Services Building. On the northern side of the property there will be a service road that will only be utilized by Marina Operations. It will be located at that boundary and then toward the drop well of the marina portion of the property near the north western part of the promontory. The area between these two access roads will contain the Warehouse, onsite utility infrastructure, construction staging area, hurricane storage and daily boating trailers. The proposed parking areas will include public parking for visitors to use the retail establishments and beach area.

The proposed Latitude 18 project will be comprised of a marina boat launch, marina building, and a restaurant. The supporting structures include a wastewater treatment plant, a fuel yard, potable water storage, and an electrical yard.

Marina

The proposed marine project is composed of docks and utilities, shoreline restoration and a managed mooring field.

The marina includes pile-supported fixed pier docks for the berthing of yachts. The marina will have 17 dedicated slips and 638 linear ft of alongside dockage, with a total capacity of 2,128 linear ft (approximately 26 vessels). The marina will provide permanent and transient berthing for a mix of vessels ranging from 60 to 200ft, with additional alongside berthing for smaller vessels.

The marina project lies in general location of a marina that was destroyed by previous storm events. The scope of work includes the removal of existing remaining structures, timber piles, sunken debris, and sunken vessels from the marina footprint.

The marina will have fuel service and fuel will provided by dispensers on the fuel dock, as well as in-slip fueling on the main docks slips.

The marina includes wave attenuation devices to provide comfort during operational conditions. A wave screen attached to the main fixed pier is proposed in areas that do not impede circulation flows. A floating wave attenuator is proposed to protect the marina slips facing Muller Bay and to reduce the need for wave screens.

Due to the elevation of the deck of the fixed piers, the docks which service smaller vessels, such as the fuel dock and smaller draft areas, will be provided with dock skirts to prevent small boats from going under the dock.

A new bulkhead will be built in front of the dilapidated existing bulkhead and rectifying the disturbed shoreline comprised of masonry irregular walls and a damaged pier structure, offering a stable water edge for access to the marina docks and marina operations. The seabed in the area adjacent to the new bulkhead will be excavated to achieve – 6.5ft MSL elevation, in order to provide safe draft for the intended operation.

Mooring Field

The mooring field includes 68 mooring buoys in the Muller Bay Mooring Field, over 96 LF of berthing on two floating docks for dinghies, and upland support facilities such as showers, restrooms, and solid waste collection bins. Vessels in the mooring field will have access to the pump out at the fuel dock and will be prohibited by their mooring lease contract to discharge sewage or other pollutants.

The mooring field area will be identified with new markers and additional navigation aids will be installed to better identify the navigation channels. The Port Authority was consulted to validate the navigation channel and location of navigation aids.

Proposed marina will maintain a high standard of operation, compatible with the vessel size and clientele expected. The marina operator will seek a Blue Flag, Clean Marina, or similar certification.

As part of its normal operation, the marina expects to:

- Establish and maintain a management plan that includes environmental management systems;
- Create and maintain an environmental policy that supports the implementation and updates of the environmental management plan;
- Display at the marina the code of conduct that reflects appropriate laws governing the use of the marina and surrounding areas:
- Display information relating to local eco-systems and the local environment;
- Provide marina and mooring lease agreements that include information about regulations, laws and permit conditions governing the use of the marina and its environmental management plan;
- Maintain the operation and promote the use of a sewage pump-out;
- Provide marina and mooring lease agreements that include the prohibition of discharge of sewage, bilge, oil or solid waste to the bay, as proper disposal procedures for fluid and solid waste will be available through the marina;
- Provide adequate and properly identified, segregated containers for the storage of waste oil and general solid waste;
- Provide adequate, clean, and well sign-posted sanitary facilities, including washing facilities are provided for the marina visitors and employees.
- Provide adequate and well signposted lifesaving, first-aid equipment, and fire-fighting equipment Prepare emergency plans in case of pollution, fire or other accidents as part of an Approved Spill Prevention Control and Countermeasure Plan. Post
- safety precautions and information at the marina. Provide electricity and water in all marina slips and in-slip fueling in selected marina berths;
- Provide accommodations for disabled people are in place.
- A map indicating the location of the different facilities is posted at the marina

5.01 CONTINUED

- DISCUSS PURPOSE OF PROJECT Jack Rock A-BC, LLC. intends to construct a World-Class Marina consisting of wet slips with a compliment of upland structures that will include Food and Beverage establishments, Retail, Marina Showers, and other support Structures. The Development Plan also includes the construction of a managed mooring field of approximately 14 buoys in Vessup Bay and 72 buoys in Muller Bay. The purpose of the Latitude 18 Marina is to create a boat launch area, mooring field, and docks for Vessup Bay.
- DISCUSS THE PRESENCE AND LOCATION OF CRITICAL AREAS AND POSSIBLE TROUBLE SPOTS The subject parcels are within the Vessup Bay/ East End Red Hook Area of Particular Concern (APC). The Vessup Bay/Red Hook APC is located on the eastern end of St. Thomas and includes Nazareth, Muller, Vessup, Red Hook, Great Bay, Cowpet Bay, Cabrita, Beck and Water Point, Great St. James, Little St, James, and Dog Island.
- DISCUSS PROPOSED METHOD OF LAND CLEARING The project site is known endangered VI Tree Boa habitat therefore the Tree Boa clearing protocols will be followed and the site will first be hand cleared and rock and rubble piles will be taken apart by hand to allow any tree boas in the area to leave to more forested areas. After the hand clearing, most of the site will be machine cleared and excavated at the beginning stages of construction. Existing trees will be removed by and disposed of as necessary according to the Tree Removal Plan. Trees that are designated to remain will be protected during construction. Furthermore, only the land within the limits of construction will be cleared. The clearing activities will be scheduled so that the existing soil is exposed to erosion for the shortest period that is reasonably possible. Immediately following the clearing, erosion and sediment control measures will be put into place as described in the following sections
- DISCUSS PROVISIONS TO PRESERVE TOPSOIL AND LIMIT SITE DISTURBANCE Immediately following site clearing, erosion and sediment control measures will be installed. Furthermore, all topsoil located during site clearing will be immediately excavated, stockpiled and protected from exposure to wind and water through the use of a geotextile. The topsoil will be used as necessary in the landscape areas.
- The dock and mooring locations have been located to minimize impact on the marine environment by avoiding all ESA listed corals, non-ESA corals, seagrass beds and minimizing hard bottom impacts. Turbidity control and water quality monitoring will be implemented as well as sea turtle monitoring to minimize acoustic impacts. Areas will be cleared by hand to minimize impact to the VI Tree Boa
- DISCUSS EROSION AND SEDIMENTATION CONTROL DEVICES TO BE IMPLEMENTED Turbidity barriers will be installed before any in-water work and maintained until interior water quality is within acceptable levels. Double turbidity barriers will be required if pile socketing is required. Silt fencing will be installed before any earth moving is conducted near the landing slab.
- SHOW SCHEDULE FOR CONSTRUCTION ACTIVITIES AND IMPLEMENTATION OF EROSION/SEDIMENT CONTROL MEASURES
- Obtain CZM Permit
- Secure Site
- Hand Clear Site Following Tree Boa Protocol
- Install Silt Fences
- Cleanup of Site
- Demolition Construction
- DISCUSS THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES Silt fences to be checked and maintained on a regular schedule established by contractor. Any loose links or tears to be repaired.
- DISCUSS METHOD OF STORM WATER MANAGEMENT Proposed stormwater control facilities consist of a primary stormwater system and a secondary stormwater system. The primary stormwater system includes a dry retention pond with a drainage control structure. The pond provides water quality treatment and attenuation prior to discharging into the nearby bay. The secondary system consists of a series of inlets and area/hardscape drains, connected by a network of drainage pipes (ranging in size and material from 4" PVC to 24" RCP) that outfall into the retention pond.
- DISCUSS MAINTENANCE SCHEDULE OF STORM WATER FACILITIES Require daily observation and, if necessary, will be repaired immediately. Likewise, after large storm events, the erosion control measures will be checked and adjusted or repaired if they are not working as planned. The contractor will take measures such as reapplying the erosion control polymers, fixing, or replacing the erosion control blankets and fixing or replacing the silt fences and turbidity barriers if they fail. Devices for entrapment of silt will be cleaned as required to maintain functionality. In the event that construction is delayed or completed in an area, the contractor will revegetate the bare soil with seed and mulch or hydroseed to stabilize the soil.
- DISCSUS METHODS OF SEWAGE DISPOSAL The wastewater generated on-site will exit the buildings via 6" sanitary laterals and flow into a gravity sewer/manhole collection system. This gravity system will discharge to a sanitary lift station located within a screened back of house area. The lift station will pump into a force main which will discharge into the headworks of the proposed Wastewater Treatment Plant (WWTP).



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LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

CZM INFORMATION

2021002 05.03.2021

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- 1. THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO ENSURE CONFORMANCE STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS, AND FINES.
- 2. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THESE PLANS AND SPECIFICATIONS.
- 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO, ANY CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- 4. SUCH MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- 5. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
- 6. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING ROADS AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- 7. PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN (15) FIFTEEN CALENDAR DAYS AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED. A CERTIFICATE OF COMPLIANCE WILL NOT BE ISSUED UNTIL THE ABOVE REQUIREMENTS HAVE BEEN MET.
- 8. IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED ANI PROPER AUTHORITIES NOTIFIED. WITH APPROVAL OF THE PERMITTING AGENCY, DUCTILE IRON PIPE FITTINGS AND SOLVENT RESISTANT GASKET MATERIAL SUCH AS FLUOROCARBON SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED. ANY CONTAMINATED SOIL THAT IS EXCAVATED SHALL BE PLACED ON AN IMPERMEABLE MAT AND COVERED WITH A WATERPROOF COVERING. THE PROPER AUTHORITIES WILL BE NOTIFIED AND THE CONTAMINATED SOIL HELD FOR PROPER DISPOSAL.
- 9. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND IN GOOD CONDITION AT ALL LOCATIONS SHOWS ON THE PLANS AND AS REQUIRED UNTIL THE CONTRACT IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- 10. LIMITS OF ALL EROSION PREVENTION MUST BE STAKED BY CONTRACTOR AND THE LOCATION INSPECTED AND APPROVED BY THE OWNER'S PERSONNEL PRIOR TO PLACEMENT OF EROSION CONTROL MEASURES AND ANY CLEARING OR CONSTRUCTION ACTIVITIES. REMOVAL OF THESE SAME EROSION CONTROLS AND PREVENTION MEASURES MAY BE DONE ONLY AFTER AUTHORIZATION BY THE OWNER'S PERSONNEL.
- 11. THE CONTRACTOR SHALL PREPARE A SCHEDULE OF DE-WATERING FOR POOL AND UTILITY ITEMS. THIS WILL CONSIST OF ESTIMATES OF POINTS OF DISCHARGE, DISCHARGE FLOWS, DATES AND DURATIONS FOR ALL UTILITY ITEMS WHICH WILL REQUIRE DEWATERING. THIS WILL INCLUDE THE POOLS AND ALL UTILITIES. THIS SCHEDULE SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL OF THE DEWATERING OPERATIONS.
- 12. ALL SURFACE WATER DISCHARGE FROM THE SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATER BODIES INCLUDING WETLANDS, LAKES AND STORM WATER PONDS. CONTRACTOR SHALL TAKE WATER SAMPLES PRIOR TO START OF CONSTRUCTION WHICH SHALL BE USED AS BASE LINE WATER QUALITY. ALL DEWATERING PLANS AND TESTS MUST BE SUBMITTED TO AND APPROVED BY THE OWNER'S PERSONNEL PRIOR TO INSTALLATION AND OPERATION.
- 13. IN CONJUNCTION WITH STAKING AND PLACEMENT OF EROSION CONTROL MEASURES THE CONTRACTOR SHALL STAKE THE LIMITS OF CLEARING AS INDICATED ON THE PLANS OR AS REQUIRED BY CONSTRUCTION. THE LIMITS OF CLEARING MUST BE INSPECTED AND APPROVED BY THE OWNER'S PERSONNEL PRIOR TO ANY CLEARING AND REMOVAL. THE CONTRACTOR WILL PAY FOR REVEGETATION OF ANY AND ALL AREAS THAT ARE CLEARED PRIOR TO THE OWNER'S APPROVAL OR AREAS THAT ARE CLEARED BEYOND THE LIMITS APPROVED BY THE OWNER.

PAVING AND GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT-STANDARD SPEC FOR ROAD AND BRIDGE CONSTRUCTION (EXCEPT SUPERPAVE), LATEST EDITION, UNLESS MORE STRINGENT REQUIREMENTS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS.
- 2. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF ANY APPARENT DISCREPANCIES ARE FOUND.
- 3. SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT.
- 4. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS & GEOTECH. REPORT.
- 5. ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180), UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS.
- 6. THE CONCRETE COMPRESSIVE STRENGTH FOR CURB AND GUTTER SHALL BE 3,000 PSI AT 28 DAYS.
- 7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR).
- 8. THE LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE CONTRACTOR.
- 9. THE CONTRACTOR SHALL ENSURE THAT ALL PERMITS FOR CONSTRUCTION ARE OBTAINED PRIOR TO STARTING WORK.
- 10. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 11. ROADWAY MARKINGS & STRIPING TO BE INSTALLED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- 12. THE CONTRACTOR SHALL PROVIDE FLAGMEN AND OTHER TRAFFIC MEASURES NECESSARY TO PROTECT AND FACILITATE TRAFFIC MOVEMENT DURING CONSTRUCTION.
- 13. A 24-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD, AND AHJ PRIOR TO TESTING ANY ROADWAY SHOWN ON THESE PLANS.
- 14. CONTRACTOR SHALL OBTAIN ANY LANE CLOSURE PERMITS REQUIRED FOR CONSTRUCTION FROM THE APPLICABLE JURISDICTION. (COST FOR PERMIT TO BE INCLUDED IN BID.)
- 15. CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY UTILIZATION PERMITS FROM THE APPLICABLE JURISDICTION FOR ALL CONSTRUCTION OPERATIONS WITHIN PUBLIC RIGHTS-OF-WAY. (COST FOR PERMITS TO BE INCLUDED IN BID.)
- 16. CONTRACTOR SHALL INSTALL TEMPORARY BENCH MARKS AS SHOWN ON THE PLANS AT START OF CONSTRUCTION. ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL (MSL).

GEOMETRY NOTES

- 1. ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY THE OWNER. HARRIS CIVIL ENGINEERS, LLC, DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS DATA.
- 2. CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL/HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. IF DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING HIS CONSTRUCTION ACTIVITIES.
- 3. ALL PAVEMENT OFFSETS, RADII AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- 4. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL/VERTICAL, PRIOR TO INSTALLATIONS.
- 5. PER ENGINEER OF RECORD REQUIREMENTS, THE CONTRACTOR SHALL MAINTAIN A SET OF "AS-BUILT" PLANS ON SITE. AT THE END OF CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE AN AS-BUILT SURVEY TO THE ENGINEER OF ALL THE FACILITIES CONSTRUCTED UNDER THESE PLANS. THE SURVEYOR SHALL CERTIFY AND SEAL EACH AS-BUILT PLAN "THESE AS-BUILT PLANS ACCURATELY DEPICT THE ACTUAL FACILITIES AS CONSTRUCTED".
- 6. ROAD DESIGN TO CONFORM TO TRAFFIC SIGN REGULATIONS AND GENERAL DIRECTIONS AND SIGN MANUALS OF FDOT FOR PAVEMENT PARKINGS AND SIGNAGE.
- 7. TRAFFIC SIGHTED MARKINGS
- A. ALL DRIVEWAYS EXISTING ONTO ANY PUBLIC OR PRIVATE STREET MUST HAVE A TRAFFIC CONTROL DEVICE (30" STOP SIGN" MOUNTED 7' ABOVE THE PEDESTRIAN VEHICLE TRAVEL WAY (MEASURED FROM BOTTOM OF SIGN) AND THROUGHOUT THE SITE AS NECESSARY FOR SAFETY.
- B. ALL SIGN INSTALLS SHALL COMPLY WITH SIZE, LOCATION & HEIGHT (7') OUTLINED IN "MUTCD." C. PAVEMENT MARKINGS - GENERAL PRINCIPLES (SECTION 3A-5): 1.1. PARKING LOT PAVEMENT MARKINGS SHALL BE WHITE (DIRECTIONAL ARROWS, STOP BARS,

DRIVEWAYS, WITHIN DRIVING AISLES AND ON STREETS).

- LINES DESIGNATING PARKING SPACES AND HANDICAPPED PARKING SYMBOLS). 1.2. PAVEMENT MARKINGS ON TRAFFIC AISLES, PRIVATE STREETS OR PUBLIC STREETS SHALL CONFORM TO THE FOLLOWING: a. WHITE LINES DELINEATE THE SEPARATION OF TRAFFIC FLOWS IN THE SAME DIRECTION (AT
 - DRIVEWAYS, WITHIN DRIVING AISLES AND ON STREETS). b. YELLOW LINES DELINEATE THE SEPARATION OF TRAFFIC IN THE OPPOSING DIRECTIONS (AT

DRAINAGE NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO AND SHALL BE INSTALLED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE UNLESS MORE STRINGENT STATED REQUIREMENTS ARE OTHERWISE IN THE SPECIFICATIONS, OR SHOWN ON THE PLANS.
- 2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES AT PROPOSED CROSSINGS AND POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY UTILITY CONFLICTS.
- DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.

3. SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING

- 4. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS, CONTRACT DOCUMENTS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- 5. JOBSITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. AT A MINIMUM, THE OSHA STANDARDS BELOW SHALL BE FOLLOWED WHEN TRENCH EXCAVATION EXCEEDS FIVE (5) FEET IN DEPTH: A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.650 AND FLORIDA TRENCH
 - THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW. TRENCH SAFETY SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR.
- 6. ALL DRAINAGE PIPING SHALL HAVE A MINIMUM OF 3 FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- 7. ALL DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) UNDER PAVEMENT, AND MAY BE HDPE OUTSIDE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- 8. DRAINAGE STRUCTURE TOP ELEVATION REFERS TO TOP OF FINISHED STRUCTURE.
- 9. THE CONTRACTOR SHALL LOCATE AND VERIFY VERTICAL AND HORIZONTAL LOCATIONS ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- 10. THE CONTRACTOR SHALL ENSURE THAT PERMITS FOR CONSTRUCTION ARE OBTAINED PRIOR TO STARTING WORK.
- 11. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE
- 12. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
- 13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

REUSE/POTABLE WATER NOTES

- 1. THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED REUSE/POTABLE WATER DISTRIBUTION PIPING IN ACCORDANCE WITH THE VIRGIN ISLANDS WATER AND POWER AUTHORITY (WAPA) STANDARDS FOR DUCTILE-IRON AND PVC PIPE.
- 2. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE.
- 3. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, I' SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON
- 4. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- 5. ALL REUSE WATER LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
- 6. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 7. A 24-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER-OF-RECORD AND THE UTILITIES INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.
- 8. WHEN TRENCH EXCAVATION EXCEEDS (5) FEET IN DEPTH: A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.650, AND FLORIDA TRENCH
- THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW. TRENCH SAFETY SYSTEM SHALL BE BY THE CONTRACTOR.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A 4"x 4" WOOD POST AT THE END OF ALL REUSE WATER STUBS.THE POSTS SHALL BE A MINIMUM OF FOUR(4) FEET IN LENGTH AND INSTALLED WITH THE TOP FLUSH WITH PROPOSED GRADE. THE POSTS SHALL BE COLOR CODED AS FOLLOWS: REUSE WATER = PURPLE, POTABLE WATER = BLUE
- 10. NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER; A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED
- 11. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THAT THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 18 INCHES BELOW THE OTHER PIPELINE: AND NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT CROSS EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- 12. AT THE UTILITY CROSSINGS ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THAT WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER.
- 13. ALL POTABLE WATER MAIN MUST BEAR THE "NSF" LOGO.
- 14. UTILITY SEPARATION VERTICAL CLEARANCE WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN 18 INCHES VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF EITHER:
 - DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR
- PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING
- 15. UTILITY SEPARATION HORIZONTAL SEPARATION
- A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST TEN FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS
- NOT MET. ONE OF THE FOLLOWING MUST OCCUR: THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF. LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR;
- IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (A) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED
- IF THE SANITARY SEWER IS EXISTING & THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, & STAGGER JOINTS.
- 16. UTILITY SEPARATION FORCE MAINS SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE
- 17. ALL MECHANICAL JOINTS SHALL BE RESTRAINED. THRUST BLOCKS ARE NOT ALLOWED.

MAINTAINED UNLESS APPROVED IN ADVANCE BY THE ENGINEER OF RECORD.

- 18. MAINTAIN A MINIMUM OF 36 INCHES OF COVER OVER ALL PIPES. BEDDING, BACKFILLING, AND COMPACTION MUST BE IN STRICT COMPLIANCE WITH WAPA SPECIFICATIONS.
- 19. MARKING TAPE SHALL BE INSTALLED 12" TO 18" OVER ALL PIPE. PIPE SHALL BE BLUE IN COLOR (FOR WATER) AND PURPLE IN COLOR(FOR REUSE) OR SHALL HAVE A CONTINUOUS 2 INCH WIDE, PERMANENT BLUE OR PURPLE STRIPE ON TOP OF THE PIPE.
- 20. A CONTINUOUS, INSULATED 14 GAUGE COPPER WIRE SHALL BE INSTALLED, TAPED TO THE TOP OF THE PIPE AND BE ACCESSIBLE AT EACH VALVE BOX.
- 21. IN GENERAL, ONE COMPACTION TEST SHALL BE TAKEN FOR EACH 12 INCH LAYER OF FILL FROM THE SPRINGLINE OD THE PIPE TO THE FINISH GRADE FOR EACH 300 FEET OF PIPE AND FOR EVERY 100 SQUARE FEET OF BACKFILL AROUND STRUCTURES.
- 22. ALL PROPOSED SYSTEM SHUT DOWNS MUST BE COORDINATED WITH WAPA.

POTABLE WATER - MATERIAL NOTES

- 1. PVC PIPE: FOUR(4) INCHES THROUGH THIRTY-SIX(36) INCHES SHALL BE AWWA C-900(4" to 12") OR C-905(14" to 36"), LATEST EDITION. THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 250PSI AND SHALL HAVE A DIMENSION RATIO(DR) OF 18. PVC PIPE SHALL BE INTEGRAL BELL,
- 2. DIP PIPE: THREE(3) INCHES THROUGH FIFTY-FOUR(54) INCHES SHALL BE AWWA C150/C151 WITH MINIMUM WORKING PRESSURE CLASS 350 PIPE.
- 3. VALVES: TWELVE(12) INCHES AND SMALLER SHALL BE RESILIENT WEDGE GATE VALVES. VALVES LARGER THAN TWELVE(12) INCHES SHALL BE BUTTERFLY VALVES.
- 4. VALVES SHALL NOT BE LOCATED AT NOT MORE THAN 500 FOOT INTERVALS IN COMMERCIAL, INDUSTRIAL AND HIGH DENSITY RESIDENTIAL AREAS AND NOT MORE THAN 1000 FOOT INTERVALS IN ALL OTHER AREAS. APPROPRIATE VALVING SHALL BE PROVIDED AT THE DOWNSTREAM SIDES OF TEES AND CROSSES. THIS SHALL INCLUDE ALL SIDE TEES AND CROSSES WITHIN LOOPED SYSTEMS, WHERE FLOW IS POTENTIALLY MULTIDIRECTIONAL.
- 5. AT HIGH POINTS IN WATER MAINS WHERE AIR CAN ACCUMULATE, PROVISIONS SHALL BE MADE TO REMOVE THE AIR BY MEANS OF AUTOMATIC AIR RELIEF VALVES.

POTABLE WATER - TESTING NOTES

- 1. WATER LINES SHALL BE INSTALLED, CLEANED, FLUSHED, DISINFECTED AND BACTERIOLOGICALLY TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST VIRGIN ISLANDS WATER AND POWER AUTHORITY (WAPA) STANDARDS.
- 2. ALL WATER DISTRIBUTION SYSTEMS SHALL BE FLUSHED CLEAN OF ALL DELETERIOUS MATERIAL PRIOR TO ANY TESTING. FULL DIAMETER FLUSHING IS REQUIRED.
- 3. WATER LINES SHALL BE PRESSURE TESTED AT 150-PSI IN ACCORDANCE WITH THE LATEST VIRGIN ISLANDS WATER AND POWER AUTHORITY (WAPA) STANDARDS FOR DUCTILE IRON AND PVC PIPES, RESPECTIVELY, AND WITNESSED BY THE OWNER'S REPRESENTATIVE.
- 4. ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST VERSION OF AWWA-C651.
- 5. ALL BACTERIOLOGICAL SAMPLES SHALL BE TAKEN BY THE OWNER'S REPRESENTATIVE.

REUSE WATER-MATERIAL NOTES

- PVC PIPE: FOUR(4) INCHES THROUGH TWELVE(12) INCHES SHALL BE AWWA C-900, LATEST EDITION. THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 150PSI AND SHALL HAVE A DIMENSION RATIO(DR) OF 18. PVC PIPE SHALL BE INTEGRAL BELL, PUSH-ON TYPE JOINTS.
- 2. DIP PIPE: FOUR(4) INCHES THROUGH FIFTY-FOUR(54) INCHES SHALL BE ANSI/AWWA A21.51/C151 WITH A MINIMUM OF CLASS 50.

SEWER-TESTING NOTES

- 1. HYDROSTATIC PRESSURE TESTING OF FORCEMAINS SHALL BE PERFORMED IN ACCORDANCE WITHVIRGIN ISLANDS WATER AND POWER AUTHORITY (WAPA) STANDARDS.
- 2. GRAVITY MAINS SHALL BE LOW AIR PRESSURE TESTED IN ACCORDANCE WITH THE LATEST UNI-BEL STANDARDS AND BE INSPECTED BY THE ENGINEER OF RECORD.
- 3. PVC FORCE MAIN PIPE SHALL BE TESTED TO 100 PSI.
- 4. TESTING SHALL BE IN ACCORDANCE WITH THE LATEST VIRGIN ISLANDS WATER AND POWER AUTHORITY (WAPA) STANDARDS.
- 5. SANITARY SEWER MANHOLES SHALL BE INSPECTED BY THE OWNERS REPRESENTATIVE.
- 6. ALL GRAVITY MAINS SHALL BE LINE LAMPED.

SANITARY SEWER MATERIALS NOTES

- 1. CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UNDERGROUND SANITARY SEWER/FORCEMAINS PRIOR TO ORDERING MATERIALS.
- 2. UNLESS NOTED OTHERWISE ON PLANS, PVC GRAVITY SEWER 4" THROUGH 15" SHALL BE (SDR35). PVC PIPE JOINTS SHALL HAVE AN INTEGRAL WALL THICKENED BELL AND GASKET SEAL CONFORMING TO ASTM 03139. ALL PVC SEWER SHALL BEAR THE "NSF-DW SEAL."
- 3. ALL SANITARY SEWER PIPE MAY BE EITHER DIP (CLASS 250) IN ACCORDANCE WITH ANSI\AWWA C151/A21.51-81, ASTM A746-82 OR PVC IN ACCORDANCE WITH AWWA C900 SDR18 CLASS 150.
- I. DUCTILE IRON FITTINGS FOR SANITARY SEWER FORCE MAINS SHALL CONFORM TO AWWA C110. MINIMUM PRESSURE RATING SHALL BE 250 PSI.
- 5. NO SEWER LATERALS ARE TO BE MADE DIRECTLY INTO MANHOLES. ALL FUTURE SEWER EXTENSIONS ARE TO BE PROVIDED FOR WITH MANHOLES.
- 6. DUCTILE IRON PIPE (DIP) AND FITTINGS FOR GRAVITY SEWER MAINS, LATERALS AND STUBS SHALL CONFORN TO ANSI\AWWA C151/A21.51.
- 7. IN GENERAL, ONE COMPACTION TEST SHALL BE TAKEN FOR EACH 12 INCH LAYER OF FILL FROM THE SPRINGLINE OD THE PIPE TO THE FINISH GRADE FOR EACH 300 FEET OF PIPE AND FOR EVERY 100 SQUARE FEET OF BACKFILL AROUND STRUCTURES.

AS-BUILT NOTES

CERTIFED (SIGNED & SEALED BY THE CONTRACTOR'S SURVEYOR) AS BUILT DRAWINGS AND AUTOCAD FILES WILL BE REQUIRED WITH THE FOLLOWING INFORMATION: (ALL ELEVATIONS TO BE SURVEYED TO 0.01')

REFERENCE POINTS: THE CONTRACTOR TO USE ONE OR MORE OF THE FOLLOWING:

- 1. BEC or BTC POLE AND CHAMBER NUMBERS (IF NO NUMBER EXISTS, CREATE ONE)
- 2. CENTER LINE OF ROADWAYS
- 3. ESTABLISH A PERMANENT WAPA MARKER (I.E. CONCRETE PAD)
- 4. NUMBERED CONTROL SURVEY MARKERS (CSM)
- 5. PERMANENT CONCRETE STRUCTURE

<u>STORM DRAINAGE:</u>

- 1. TOP ELEVATION OF EACH MANHOLE FRAME AND COVER/GRATE AS WELL AS ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, ETC.).
- 2. INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN
- 3. INVERTS OF ALL MITERED END SECTIONS.
- 4. ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES.
- 5. INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS.
- 6. PIPE LOCATION (SIZE AND TYPE)

WATER & REUSE SYSTEM: 1. ACTUAL LENGTHS OF PIPE BETWEEN BRANCHES AND VALVES IN THE RUN.

- 2. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ ACCESSORIES NOT VISIBLE
- FROM THE SURFACE (PROVIDE NORTHING AND EASTING) 3. LIST THE DEPTHS.
- 4. PIPE LOCATION, SERVICE CONNECTIONS, ALL VALVES, BRANCHES, HYDRANTS (SIZE AND TYPE)
- SANITARY:

 1. LOCATION OF MANHOLES WITH INVERTS AND TOP OF MANHOLE ELEVATION.

2. PIPE LENGTHS TYPE AND SIZES.

THE CONTRACTOR'S OWN RISK.

PERMITS, PLANS, AND SHOP DRAWING NOTES

- 1. THE CONTRACTOR SHALL NOT PROVIDE WATER SERVICE TO THIS PROJECT (OTHER THAN FLUSHING/TESTING) UNTIL THE OWNER OR ENGINEER HAVE GIVEN CLEARANCE TO BE PLACED INTO
- 2. A MINIMUM OF FOUR SETS OF SHOP DRAWINGS MUST BE SUBMITTED, BY THE CONTRACTOR, TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. 3. INSTALLATION OF MATERIALS AND/OR STRUCTURES PRIOR TO SHOP DRAWING APPROVAL IS DONE AT
- 4. TWO SETS OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER OF RECORD.

ABBREVIATIONS LOW TEMP HOT WATER SUPPLY ASPHALT CONCRETE LOW TEMP HOT WATER RETURN CORRUGATED METAL BASE APPROX MISCELLANEOUS MEDIUM PRESSURE GAS BOTTOM OF PIPE BEGINNING OF VERTICAL CURVE NORMALLY CLOSED CALCULATED/CALCULATION NOT TO SCALE IC FEET PER SECOND ON CENTER OUTSIDE DIAMETER CHILLED WATER RETURN LEARANCE. **OUTSIDE SCREW & YOKE** ORRUGATED METAL BASE COMMUNICATIONS MANHOLE PRESSURE CONTROL VALVE PROFILE GRADE LINE POINT OF INTERSECTION COMMUNICATIONS POINT OF CONNECTION POINT ON VERTICAL CURVE CONSTRUCTION POINT OF TANGENT POLYVINYLCHLORIDE CONTINUE, CONTINUOUS CLEAN OUT TO GRADE POINT OF VERTICAL INTERSECTION COLD WATER POTABLE WATER DUCTILE IRON PIPE DOUBLE R, RAD REINFORCED CONCRETE PIPE REUSE WATER CTRICAL MANHOLE EDGE OF PAVEMENT END OF VERTICAL CURVE SOUTH SCHEDULE SPECIFICATIONS FINISH FLOOR ELEVATION TANDARD FIRF HYDRANI STRUCT **STRUCTURAL** FIBER REINFORCED PLASTIC FINISH SURFACE TEMPORARY BENCH MARK TOP OF CURB OF CONCRETE UNDERGROUND unless noted otherwisi **HORIZONTAL**

NSIDE DIAMETER

JUNCTION BOX

LINEAR FEET

IRRIGATION

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SCOPE DOCUMENTS

VITRIFIED CLAY PIPE

WELDED WIRE FABRIC

EXISTING

WATER AND POWER AUTHORITY

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued indicate the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If no notice is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

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No.	Drawing Issue Description	Date
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2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/202

LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USV

Vessup Operations, LLC

NOTES SHEET

07280000 Project No. 12/15/2022





DESIGN DISTRICT

2110 Company Street, Suite 15 Christiansted, VI, 00820 **Tel:** (340)-227-6265 Email: designdistrictvi.com Website: www.designdistrictvi.com

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SCOPE DOCUMENTS

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4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

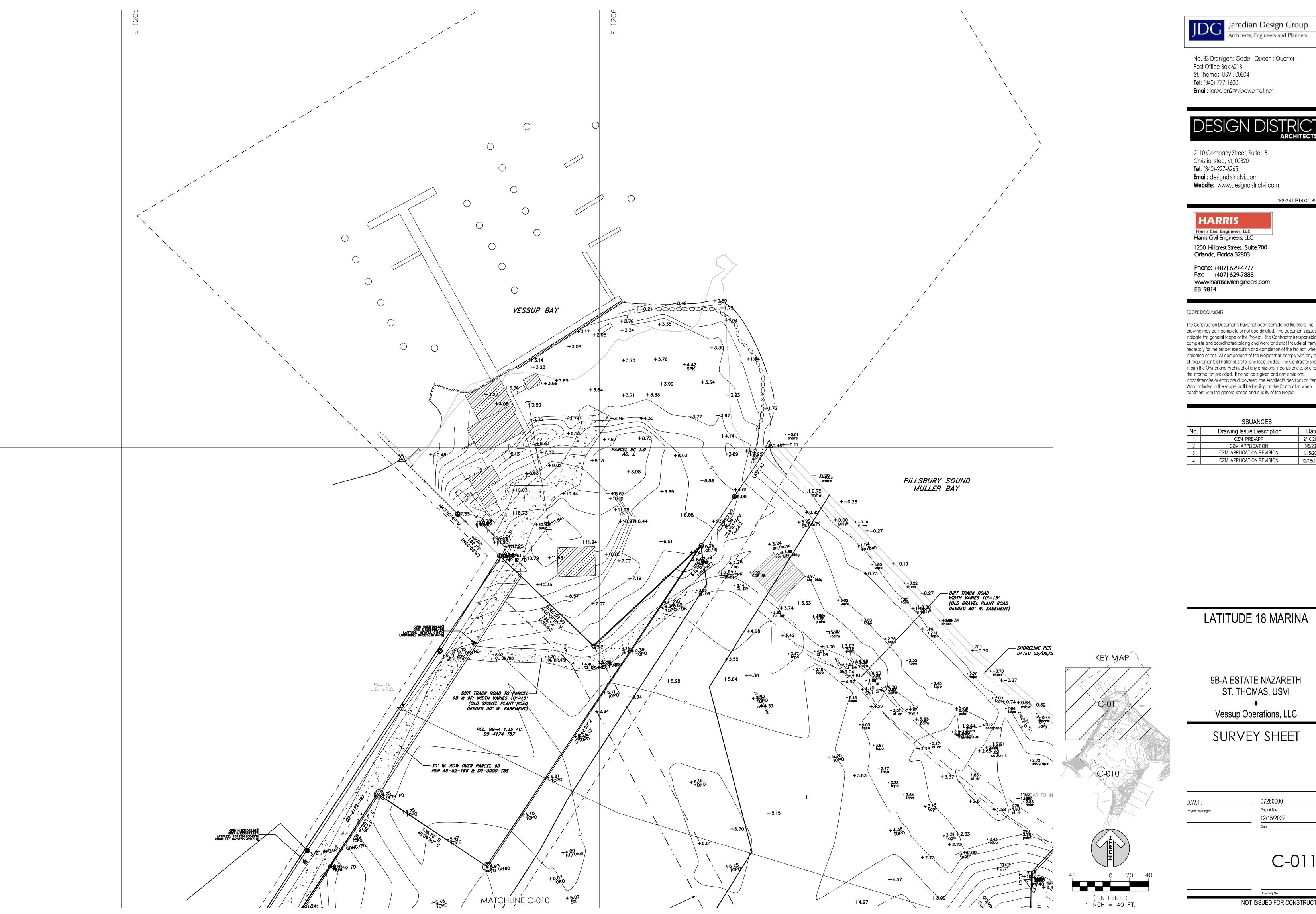
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Vessup Operations, LLC

SURVEY SHEET

07280000
Project No.
12/15/2022

C-010





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SCOPE DOCUMENTS

EB 9814

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LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

SURVEY SHEET

D.W.T.	07280000
Project Manager	Project No.
	12/15/2022

C-011



- CONTRACTOR TO DEMOLISH & REMOVE EXISTING SEPTIC TANK & DRAIN FIELD
- CONTRACTOR REFERENCE ONLY. REFER FOR COORDINATION OF DEMOLITION &
- THE INSTALLATION OF THE DRAINAGE SYSTEM SHALL BE RESTORED IN KIND TO A CONDITION EQUAL TO OR BETTER

JDG Jaredian Design Group Architects, Engineers and Planners

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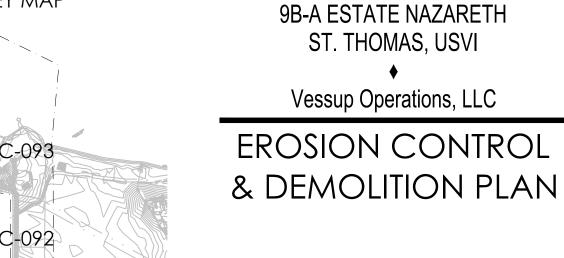
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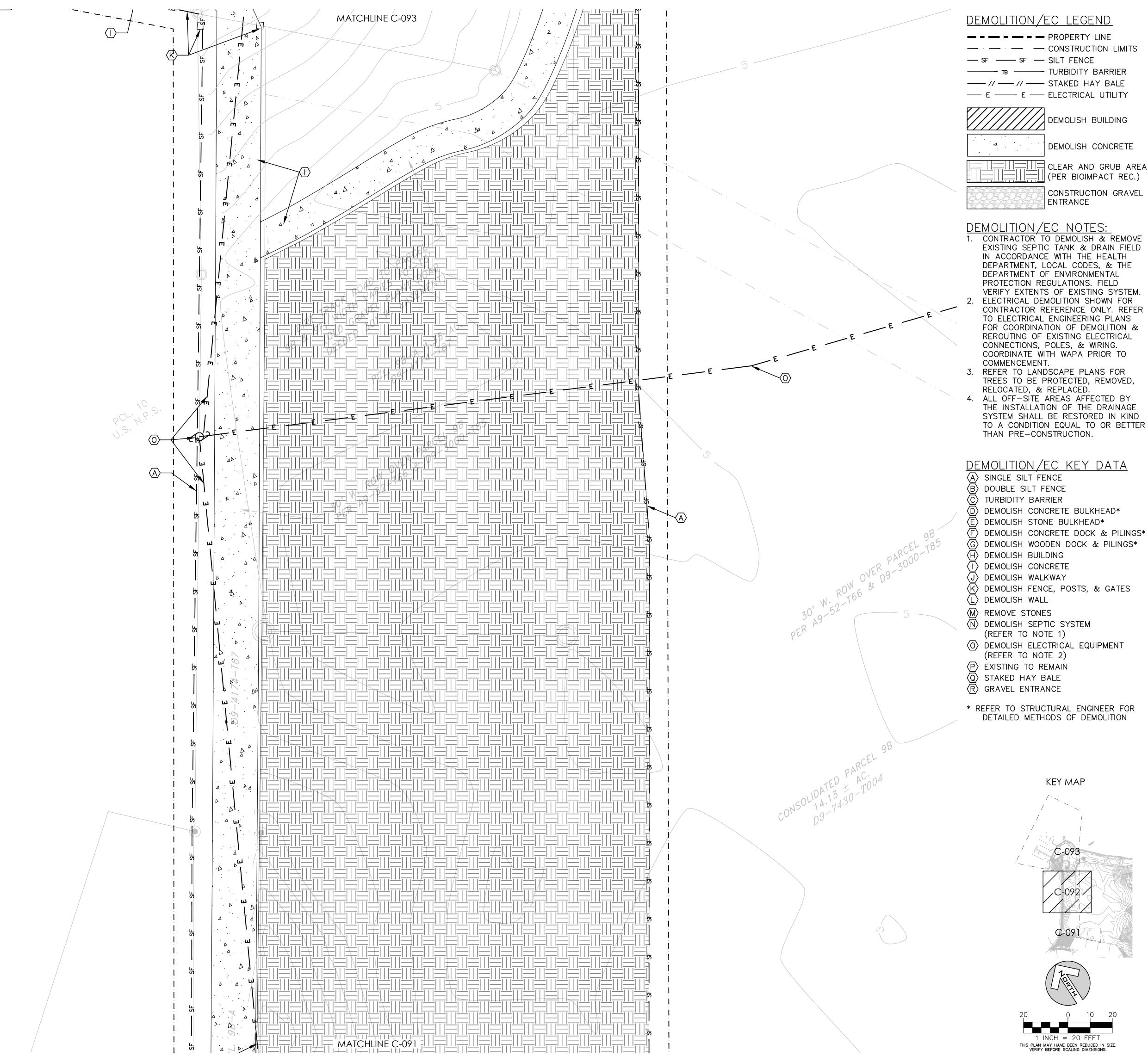
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CZM APPLICATION REVISION	12/15/2022
	Drawing Issue Description CZM PRE-APP CZM APPLICATION CZM APPLICATION REVISION

LATITUDE 18 MARINA



C-091



- - PROPERTY LINE — CONSTRUCTION LIMITS — SF — SILT FENCE TURBIDITY BARRIER

DEMOLISH BUILDING

DEMOLISH CONCRETE

CLEAR AND GRUB AREA | | | | | | | (PER BIOIMPACT REC.) CONSTRUCTION GRAVEL ENTRANCE

DEMOLITION/EC NOTES:

1. CONTRACTOR TO DEMOLISH & REMOVE EXISTING SEPTIC TANK & DRAIN FIELD IN ACCORDANCE WITH THE HEALTH DEPARTMENT, LOCAL CODES, & THE DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. FIELD

2. ELECTRICAL DEMOLITION SHOWN FOR CONTRACTOR REFERENCE ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR COORDINATION OF DEMOLITION & REROUTING OF EXISTING ELECTRICAL CONNECTIONS, POLES, & WIRING. COORDINATE WITH WAPA PRIOR TO

3. REFER TO LANDSCAPE PLANS FOR TREES TO BE PROTECTED, REMOVED, RELOCATED, & REPLACED.

4. ALL OFF-SITE AREAS AFFECTED BY THE INSTALLATION OF THE DRAINAGE SYSTEM SHALL BE RESTORED IN KIND TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION.

DEMOLITION/EC KEY DATA

- DEMOLISH CONCRETE BULKHEAD*
- DEMOLISH STONE BULKHEAD*
- (G) DEMOLISH WOODEN DOCK & PILINGS*

- * REFER TO STRUCTURAL ENGINEER FOR

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Date
2/10/2021
5/5/2021
1/15/2022
2/15/2022
1

LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

EROSION CONTROL & DEMOLITION PLAN

Project Manager

12/15/2022

C-092





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LATITUDE 18 MARINA

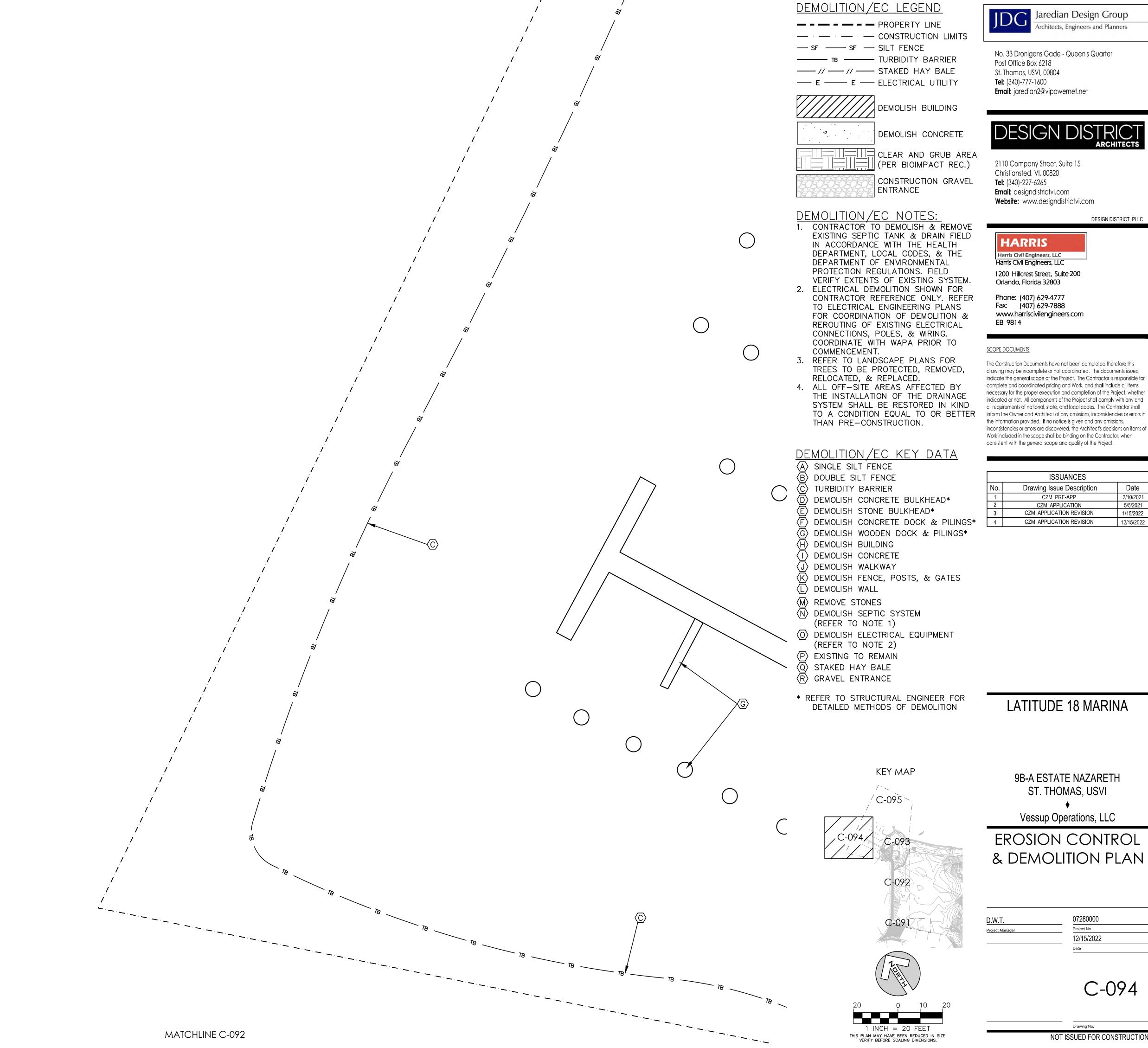
9B-A ESTATE NAZARETH ST. THOMAS, USVI Vessup Operations, LLC

EROSION CONTROL & DEMOLITION PLAN

07280000

12/15/2022

C-093



Architects, Engineers and Planners

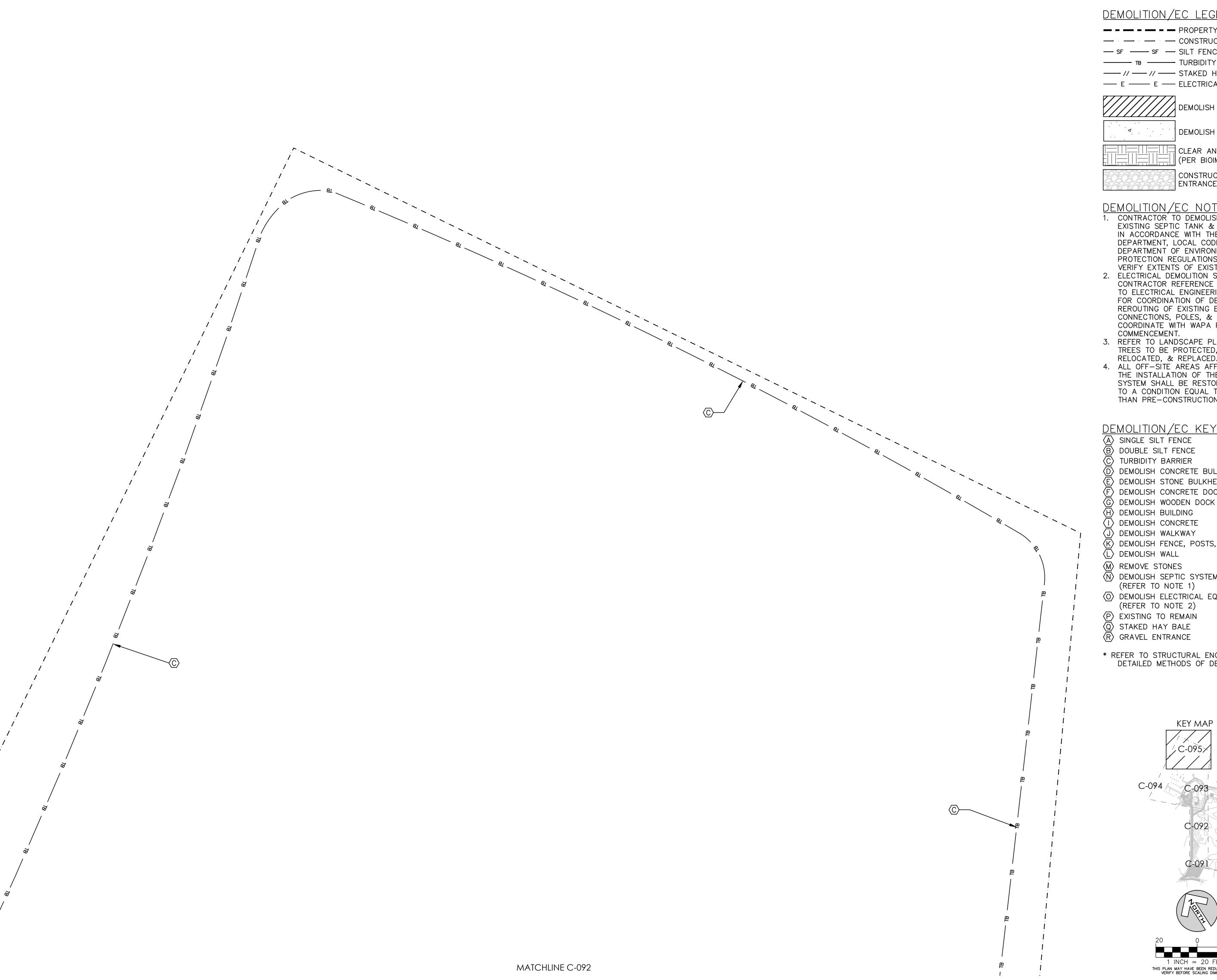
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EROSION CONTROL

C-094

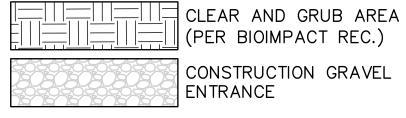


DEMOLITION/EC LEGEND

- - PROPERTY LINE — · — CONSTRUCTION LIMITS —— SF — SILT FENCE TURBIDITY BARRIER —— // —— // —— STAKED HAY BALE — E — E — ELECTRICAL UTILITY



DEMOLISH CONCRETE



DEMOLITION/EC NOTES:

- 1. CONTRACTOR TO DEMOLISH & REMOVE EXISTING SEPTIC TANK & DRAIN FIELD IN ACCORDANCE WITH THE HEALTH DEPARTMENT, LOCAL CODES, & THE DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. FIELD VERIFY EXTENTS OF EXISTING SYSTEM.
- 2. ELECTRICAL DEMOLITION SHOWN FOR CONTRACTOR REFERENCE ONLY. REFER TO ELECTRICAL ENGINEERING PLANS FOR COORDINATION OF DEMOLITION & REROUTING OF EXISTING ELECTRICAL CONNECTIONS, POLES, & WIRING. COORDINATE WITH WAPA PRIOR TO COMMENCEMENT.
- 3. REFER TO LANDSCAPE PLANS FOR TREES TO BE PROTECTED, REMOVED, RELOCATED, & REPLACED.
- 4. ALL OFF-SITE AREAS AFFECTED BY THE INSTALLATION OF THE DRAINAGE SYSTEM SHALL BE RESTORED IN KIND TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION.

DEMOLITION/EC KEY DATA

- $\langle \overline{A} \rangle$ SINGLE SILT FENCE
- B) DOUBLE SILT FENCE
- C> TURBIDITY BARRIER
 - D> DEMOLISH CONCRETE BULKHEAD* DEMOLISH STONE BULKHEAD*
- F) DEMOLISH CONCRETE DOCK & PILINGS*
- (G) DEMOLISH WOODEN DOCK & PILINGS*
- (H) DEMOLISH BUILDING DEMOLISH CONCRETE
- J> DEMOLISH WALKWAY
- (K) DEMOLISH FENCE, POSTS, & GATES
- DEMOLISH WALL
- M REMOVE STONES
- N DEMOLISH SEPTIC SYSTEM (REFER TO NOTE 1)
- O DEMOLISH ELECTRICAL EQUIPMENT (REFER TO NOTE 2)
- (P) EXISTING TO REMAIN
- Q STAKED HAY BALE
- (R) GRAVEL ENTRANCE
- * REFER TO STRUCTURAL ENGINEER FOR DETAILED METHODS OF DEMOLITION

KEY MAP

C-092

1 INCH = 20 FEET

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LATITUDE 18 MARINA



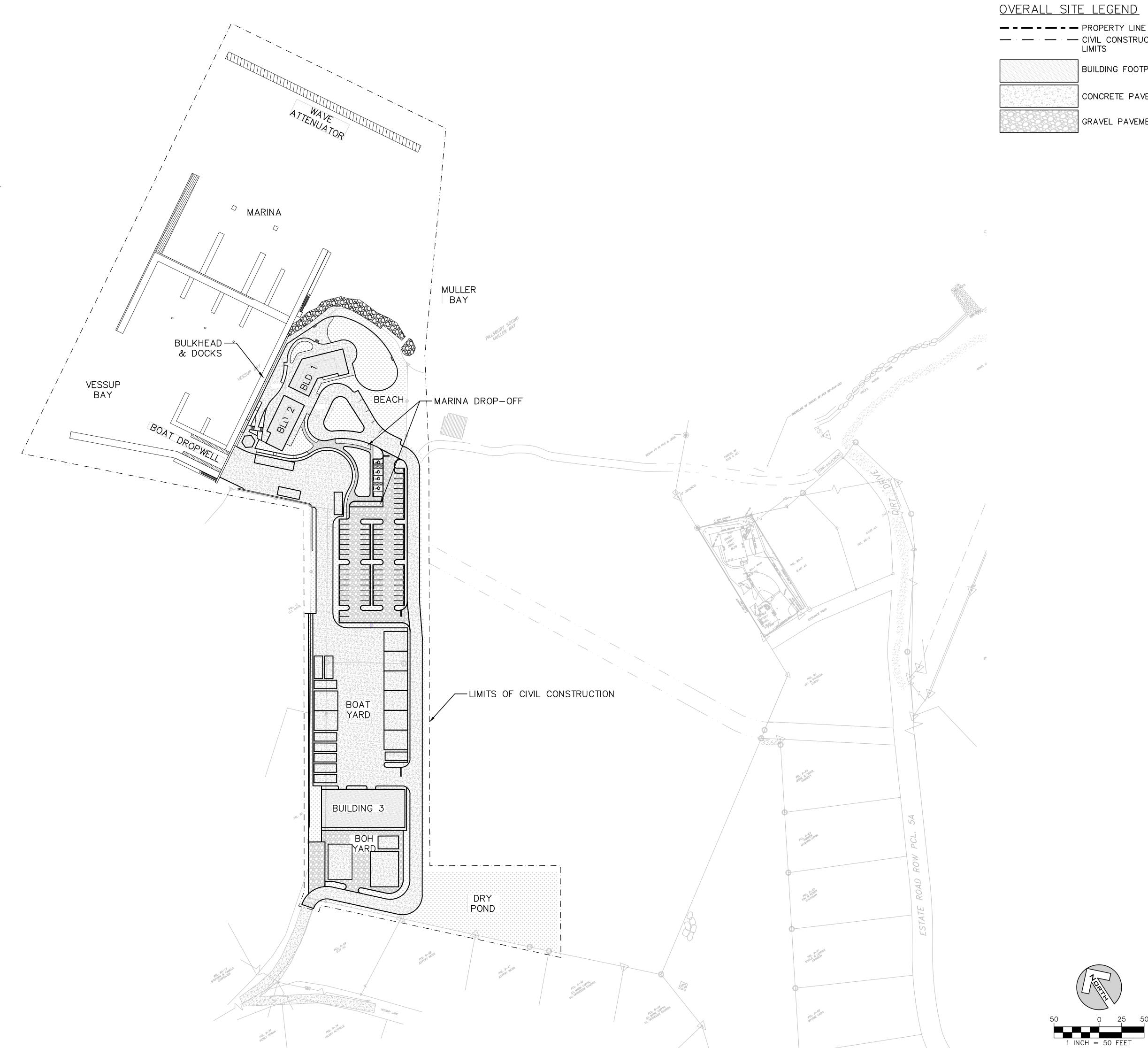
Vessup Operations, LLC

EROSION CONTROL & DEMOLITION PLAN

07280000 Project No. Project Manager 12/15/2022

C-095

SITE DATA **ZONING**: EXISTING: W-1 (WATERFRONT PLEASURE) PROPOSED: W-1 (WATERFRONT PLEASURE) BUILDING DATA **BUILDING HEIGHTS:** MAX. ALLOWABLE: 3 STORIES MAX. PROPOSED: 2 STORIES **SETBACKS:** BUILDING SETBACKS: 25 FEET FRONT: SIDE: 10 FEET REAR: 20 FEET LOT COVERAGE TABLE 18,371 SF (0.422 AC) **BUILDING:** CONCRETE PAVE: 110,816 SF (2.543 AC) GRAVEL PAVE: 35,323 SF (0.811 AC) LANDSCAPE: 52,641 SF (1.208 AC) 25,258 SF (0.579 AC) POND: TOTAL: 242,409 SF (5.565 AC) OPEN SPACE TABLE *MINIMUM 30% OPEN SPACE REQUIRED IMPERVIOUS AREA: 3.769 AC (68%) PERVIOUS AREA: 1.787 AC (32%) <u>UTILITIES</u> POTABLE WATER: PRIVATE FIRE PROTECTION: PRIVATE RECLAIMED WATER: PRIVATE SANITARY SEWER: PRIVATE **ELECTRIC:** WAPA TBD SOLID WASTE: NOT AVAILABLE NATURAL GAS: TELEPHONE: TBD PARKING DATA PARKING STALL CRITERIA: RESTAURANT: 1 PER 10 PATRONS 1 PER 500 GROSS SF RETAIL: OFFICE: 1 PER 500 GROSS SF 1 PER 5 EMPLOYEES STAFF: MARINA SLIPS: 1 PER 5 SLIPS MOORINGS: 1 PER 10 BUOYS DRYSTACKS: 1 PER 4 RACKS ADA PARKING: 1 PER 25 REGULAR STALLS REQUIRED: 72 STALLS STALLS PROVIDED: 80 STALLS ADA REQUIRED: ADA PROVIDED: 4 STALLS 4 STALLS TOTAL REQUIRED: TOTAL PROVIDED: 76 STALLS 84 STALLS





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— · — · CIVIL CONSTRUCTION

LIMITS

BUILDING FOOTPRINT

CONCRETE PAVEMENT

GRAVEL PAVEMENT

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LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

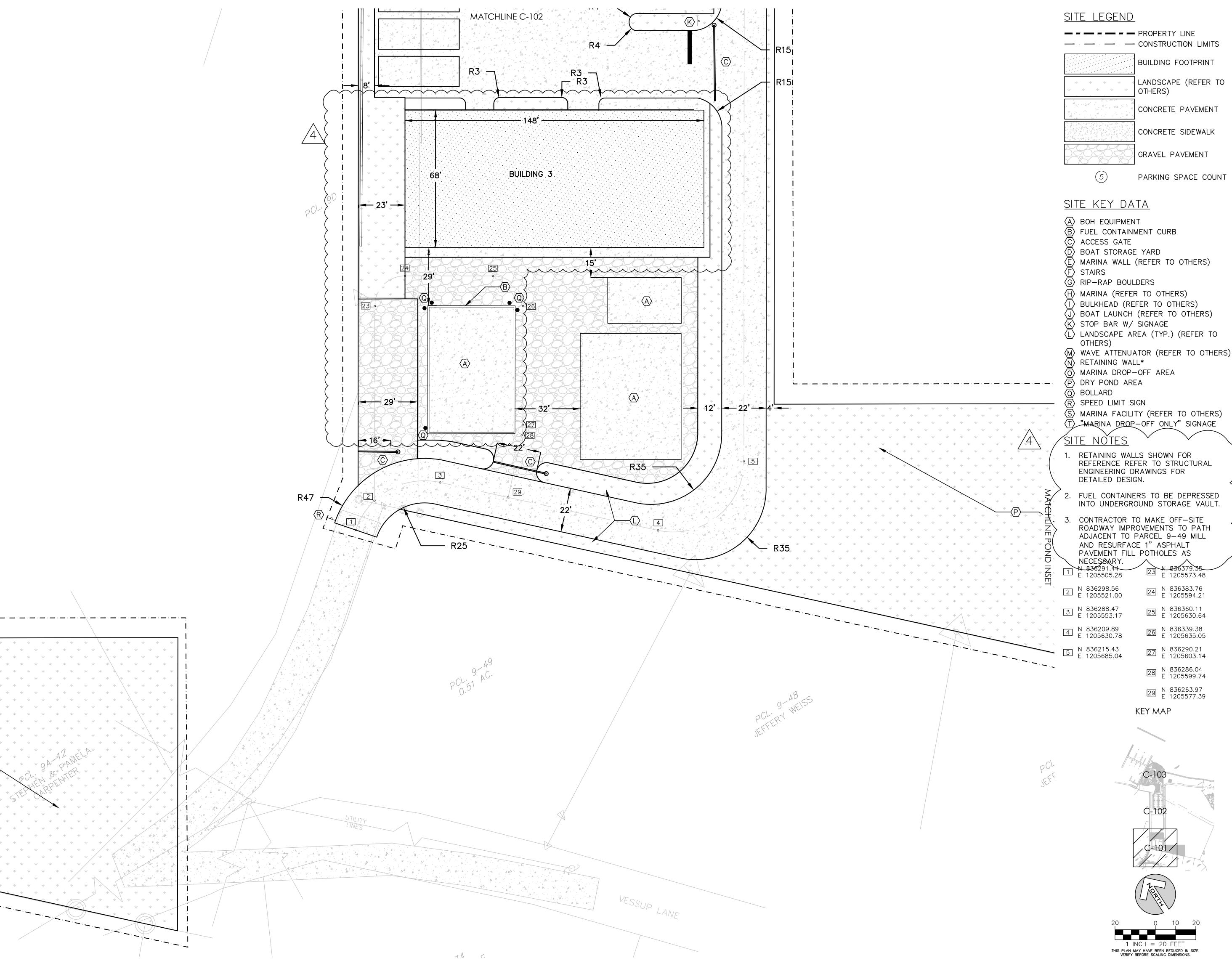
OVERALL SITE PLAN

D.W.T.	07280000	
Project Manager	Project No.	
	12/15/2022	

1 INCH = 50 FEET

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C-100





CONCRETE PAVEMENT

Jaredian Design Group

Architects, Engineers and Planners

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Date

1/15/2022

Drawing Issue Description

CZM PRE-APP

CZM APPLICATION CZM APPLICATION REVISION

CZM APPLICATION REVISION

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complete and coordinated pricing and Work, and shall include all items

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Tel: (340)-777-1600

GRAVEL PAVEMENT

- MARINA WALL (REFER TO OTHERS)

- Work included in the scope shall be binding on the Contractor, when MARINA FACILITY (REFER TO OTHERS) consistent with the general scope and quality of the Project.
- (T) "MARINA DROP-OFF ONLY" SIGNAGE

REFERENCE REFER TO STRUCTURAL

2. FUEL CONTAINERS TO BE DEPRESSED

ROADWAY IMPROVEMENTS TO PATH ADJACENT TO PARCEL 9-49 MILL

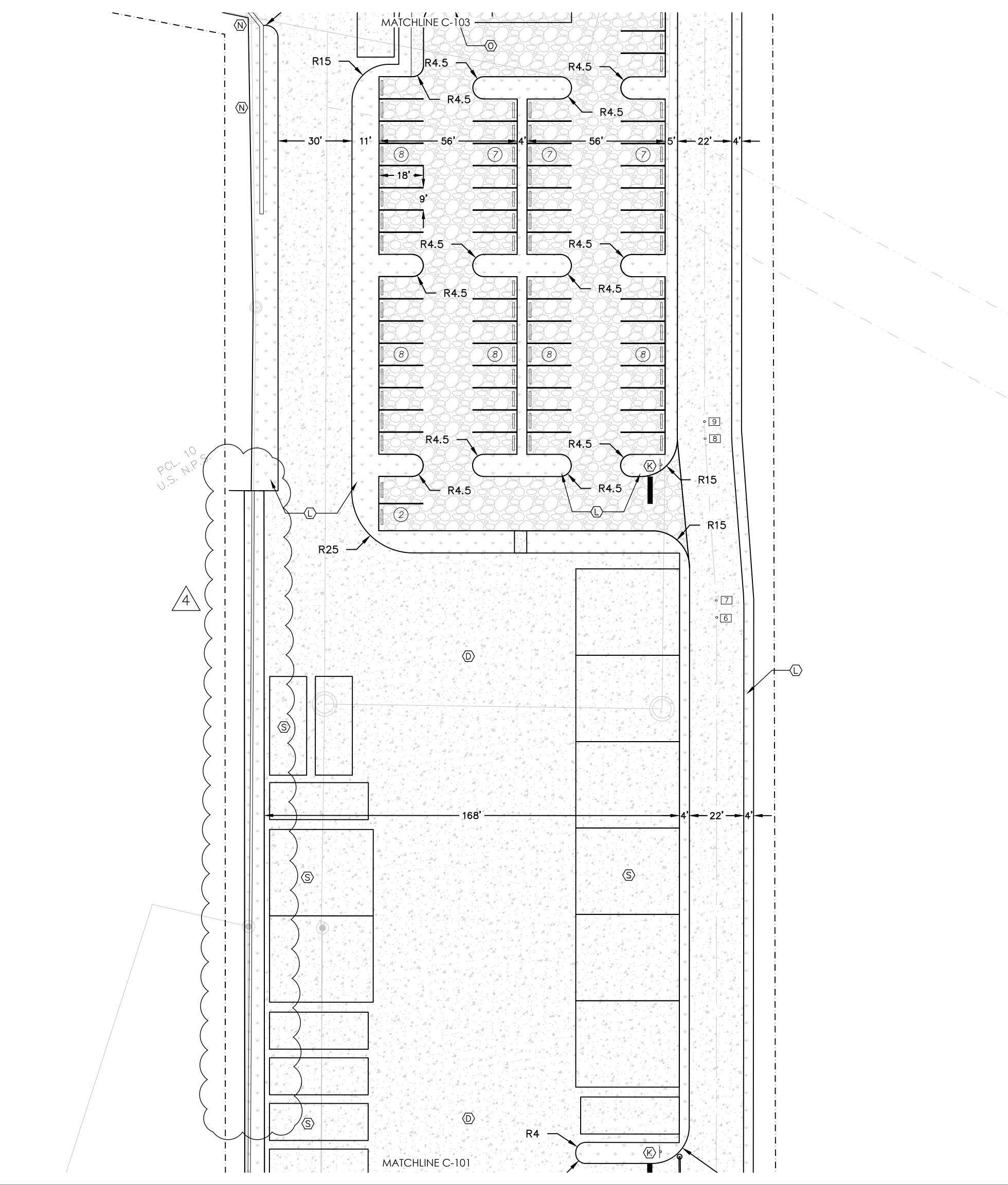
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LATITUDE 18 MARINA

Vessup Operations, LLC

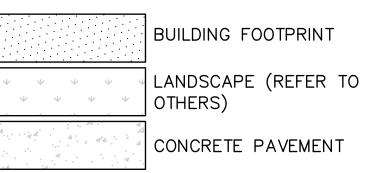
SITE PLAN

C-101



SITE LEGEND

- - PROPERTY LINE — CONSTRUCTION LIMITS



CONCRETE SIDEWALK



PARKING SPACE COUNT

GRAVEL PAVEMENT

SITE KEY DATA

- A BOH EQUIPMENT
- B) FUEL CONTAINMENT CURB
- C ACCESS GATE BOAT STORAGE YARD
- MARINA WALL (REFER TO OTHERS)
- F STAIRS
- (G) RIP-RAP BOULDERS (H) MARINA (REFER TO OTHERS)
- BULKHEAD (REFER TO OTHERS)
- BOAT LAUNCH (REFER TO OTHERS) (K) STOP BAR W/ SIGNAGE
- (L) LANDSCAPE AREA (TYP.) (REFER TO
- WAVE ATTENUATOR (REFER TO OTHERS) indicate the general scope of the Project. The Contractor is responsible for N RETAINING WALL*
- MARINA DROP-OFF AREA
- DRY POND AREA BOLLARD
- SPEED LIMIT SIGN
- MARINA FACILITY (REFER TO OTHERS)
- $\langle \mathsf{T} \rangle$ "MARINA DROP-OFF ONLY" SIGNAGE

RETAINING WALLS SHOWN FOR REFERENCE REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR DETAILED DESIGN.

2. FUEL CONTAINERS TO BE DEPRESSED INTO UNDERGROUND STORAGE VAULT.

3. CONTRACTOR TO MAKE OFF-SITE ROADWAY IMPROVEMENTS TO PATH ADJACENT TO PARCEL 9-49 MILL AND RESURFACE 1" ASPHALT PAVEMENT FILL POTHOLES AS NECESSARY.

SITE LAYOUT COORDINATES

6 N 836579.80 E 1205921.55

8 N 836643.15 E 1205956.98

N 836585.72 E 1205925.11 9 N 836649.07 E 1205960.54

LATITUDE 18 MARINA

9B-A ESTATE NAZARETH

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ISSUANCES

Drawing Issue Description

CZM PRE-APP

CZM APPLICATION CZM APPLICATION REVISION

CZM APPLICATION REVISION

Date

1/15/2022

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consistent with the general scope and quality of the Project.

Work included in the scope shall be binding on the Contractor, when

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Architects, Engineers and Planners

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1 INCH = 20 FEET

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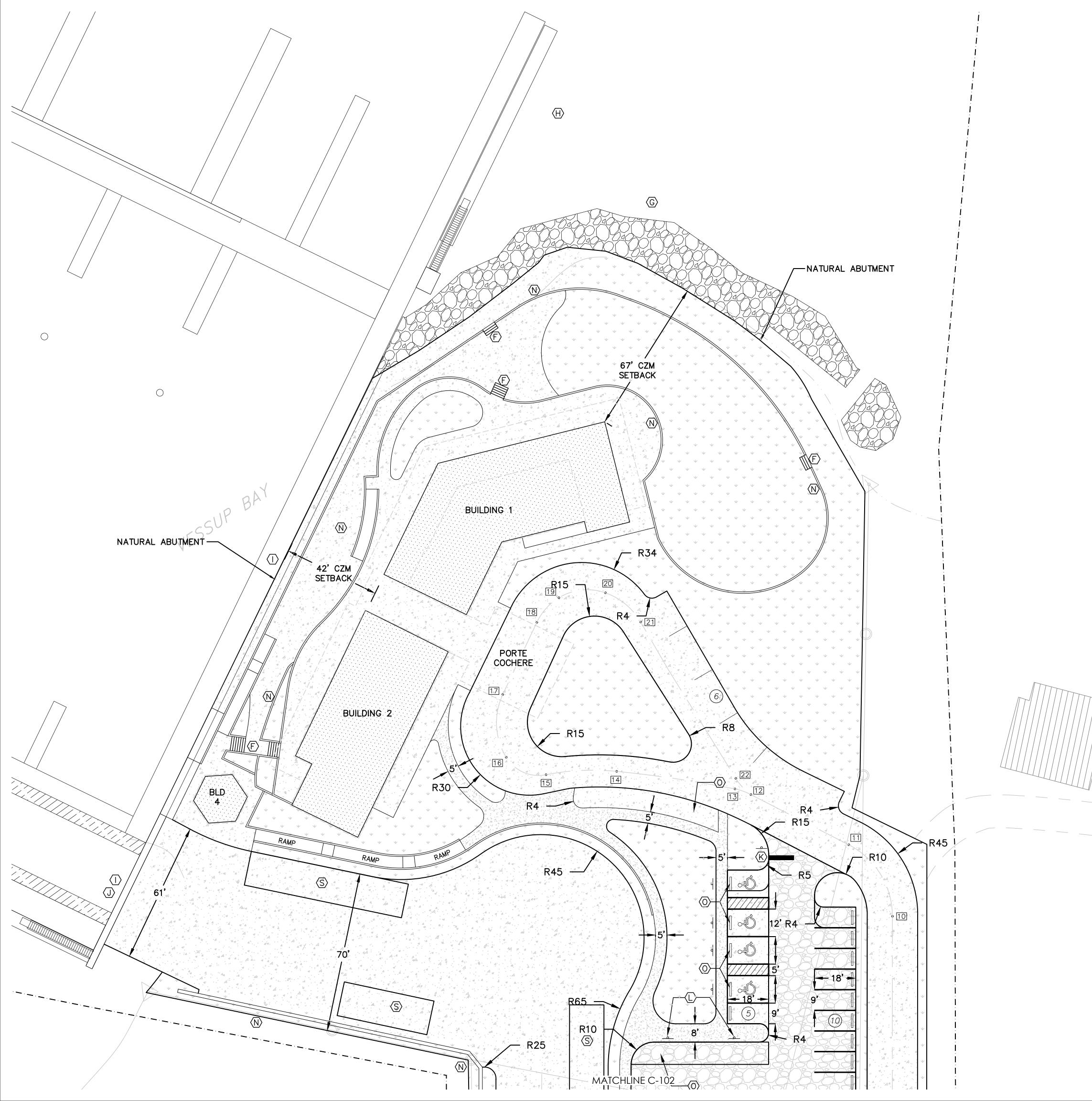
07280000 Project No. 12/15/2022

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C-102

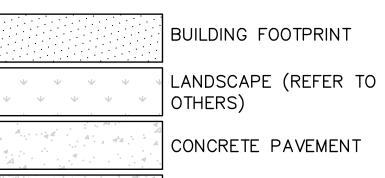
KEY MAP

ST. THOMAS, USVI Vessup Operations, LLC SITE PLAN





- - PROPERTY LINE



CONCRETE SIDEWALK

- B FUEL CONTAINMENT CURB
- BOAT STORAGE YARD
- MARINA WALL (REFER TO OTHERS)

- $\langle I \rangle$ BULKHEAD (REFER TO OTHERS)
- J) BOAT LAUNCH (REFER TO OTHERS)
- K STOP BAR W/ SIGNAGE
- (L) LANDSCAPE AREA (TYP.) (REFER TO
- WAVE ATTENUATOR (REFER TO OTHERS) indicate the general scope of the Project. The Contractor is responsible for
- MARINA DROP-OFF AREA

RETAINING WALLS SHOWN FOR ENGINEERING DRAWINGS FOR

2. FUEL CONTAINERS TO BE DEPRESSED

3. CONTRACTOR TO MAKE OFF-SITE AND RESURFACE 1" ASPHALT PAVEMENT FILL POTHOLES AS

18 N 837030.71 E 1206023.27

N 836922.80 E 1206056.27

N 836957.28 E 1206017.15

20 N 837025.23 E 1206055.39

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

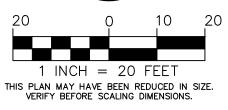
SITE PLAN

LATITUDE 18 MARINA

07280000 12/15/2022

C-103

NOT ISSUED FOR CONSTRUCTION



— CONSTRUCTION LIMITS

CONCRETE PAVEMENT

JDG Jaredian Design Group

No. 33 Dronigens Gade - Queen's Quarter

Email: jaredian2@vipowernet.net

2110 Company Street, Suite 15

Website: www.designdistrictvi.com

Christiansted, VI, 00820

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Orlando, Florida 32803

Phone: (407) 629-4777 Fax: (407) 629-7888

EB 9814

1200 Hillcrest Street, Suite 200

www.harriscivilengineers.com

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inconsistencies or errors are discovered, the Architect's decisions on items of

ISSUANCES

Drawing Issue Description

CZM PRE-APP

CZM APPLICATION

CZM APPLICATION REVISION

CZM APPLICATION REVISION

Date

1/15/2022

the information provided. If no notice is given and any omissions,

Post Office Box 6218 St. Thomas, USVI, 00804

Tel: (340)-777-1600

Architects, Engineers and Planners

DESIGN DISTRICT, PLLC

GRAVEL PAVEMENT

PARKING SPACE COUNT

SITE KEY DATA

- A BOH EQUIPMENT
- ACCESS GATE
- F STAIRS
- (G) RIP-RAP BOULDERS
- (H) MARINA (REFER TO OTHERS)

- N RETAINING WALL*
- DRY POND AREA
- BOLLARD SPEED LIMIT SIGN
- Work included in the scope shall be binding on the Contractor, when MARINA FACILITY (REFER TO OTHERS) consistent with the general scope and quality of the Project.
- T "MARINA DROP-OFF ONLY" SIGNAGE

REFERENCE REFER TO STRUCTURAL DETAILED DESIGN.

INTO UNDERGROUND STORAGE VAULT.

ROADWAY IMPROVEMENTS TO PATH ADJACENT TO PARCEL 9-49 MILL NECESSARY.

16 E 1205980.07 10 E 1206083.71

N 837012.41 E 1205993.73 N 836875.35 E 1206084.69

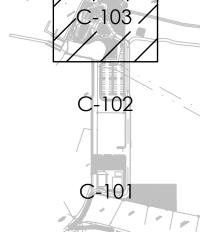
N 836916.92 E 1206060.76

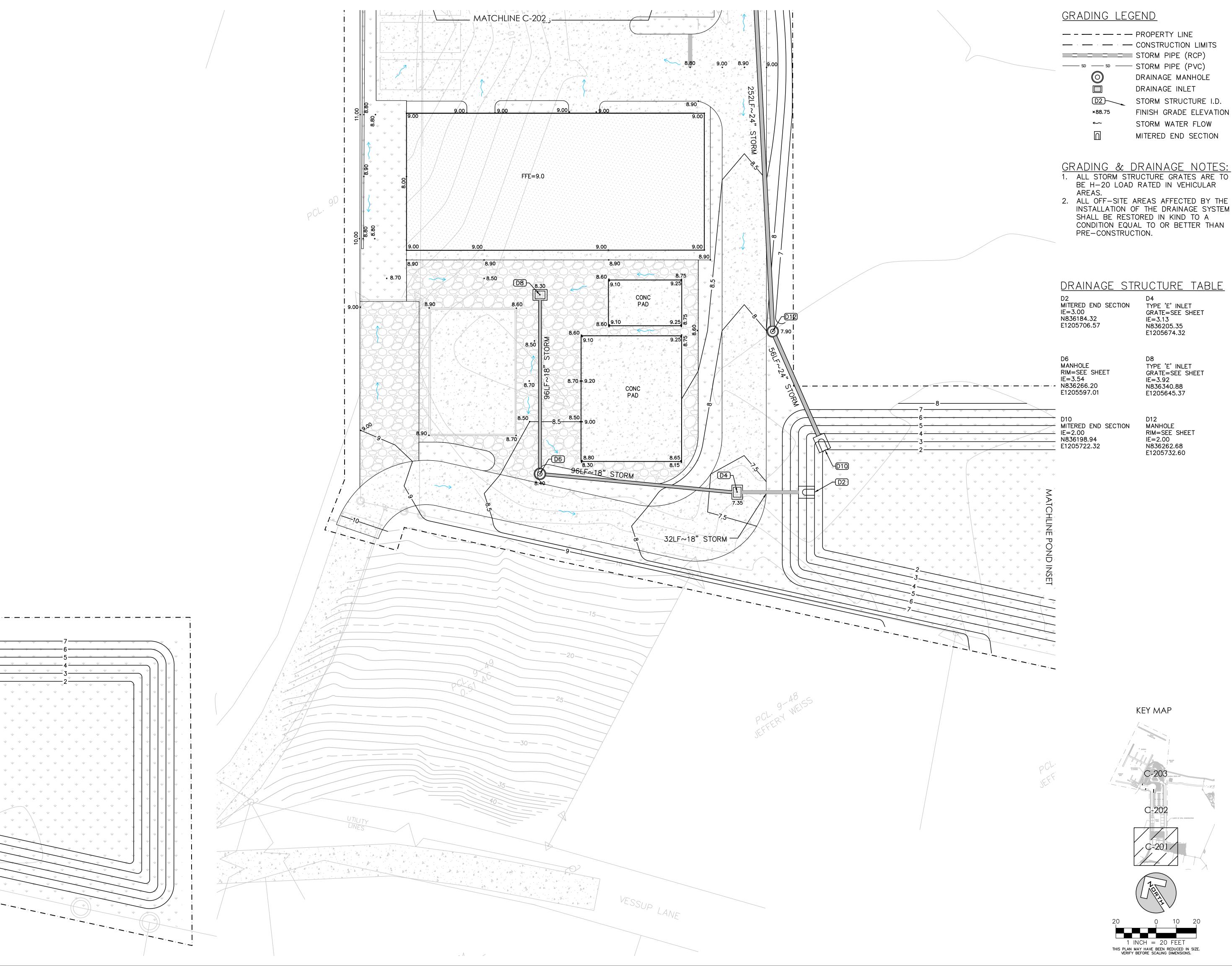
N 837034.49 E 1206037.19

N 836972.80 E 1205990.49

21 N 837006.20 E 1206061.35

N 836926.41 E 1206059.09 KEY MAP





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Architects, Engineers and Planners

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SCOPE DOCUMENTS

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4	CZM APPLICATION REVISION	12/15/2022

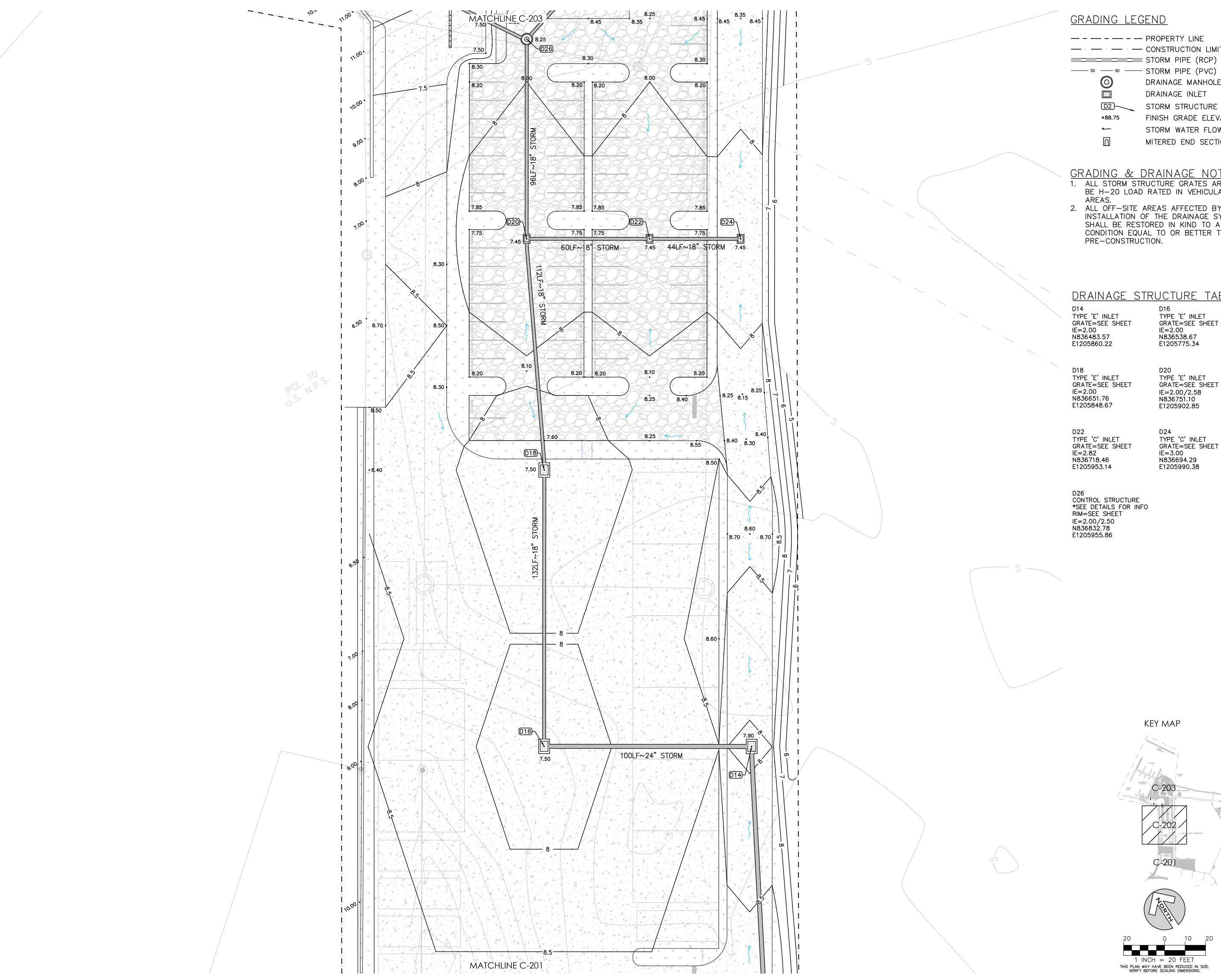
LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

SITE GRADING & DRAINAGE PLAN

C-201



— - — - — PROPERTY LINE — CONSTRUCTION LIMITS STORM PIPE (RCP)

DRAINAGE MANHOLE DRAINAGE INLET

STORM STRUCTURE I.D. FINISH GRADE ELEVATION

STORM WATER FLOW MITERED END SECTION

GRADING & DRAINAGE NOTES: 1. ALL STORM STRUCTURE GRATES ARE TO BE H-20 LOAD RATED IN VEHICULAR

2. ALL OFF-SITE AREAS AFFECTED BY THE INSTALLATION OF THE DRAINAGE SYSTEM SHALL BE RESTORED IN KIND TO A CONDITION EQUAL TO OR BETTER THAN

DRAINAGE STRUCTURE TABLE

GRATE=SEE SHEET IE = 2.00N836538.67 E1205775.34



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4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA



Project No. 12/15/2022

C-202



— - — - — PROPERTY LINE — CONSTRUCTION LIMITS STORM PIPE (RCP)

DRAINAGE MANHOLE DRAINAGE INLET

D2 STORM STRUCTURE I.D. FINISH GRADE ELEVATION STORM WATER FLOW

MITERED END SECTION

GRADING & DRAINAGE NOTES: 1. ALL STORM STRUCTURE GRATES ARE TO BE H-20 LOAD RATED IN VEHICULAR

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DRAINAGE STRUCTURE TABLE

HEADWALL IE = -1.00N837040.67 E1205830.08

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SCOPE DOCUMENTS

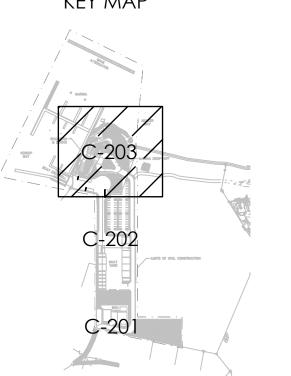
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LATITUDE 18 MARINA



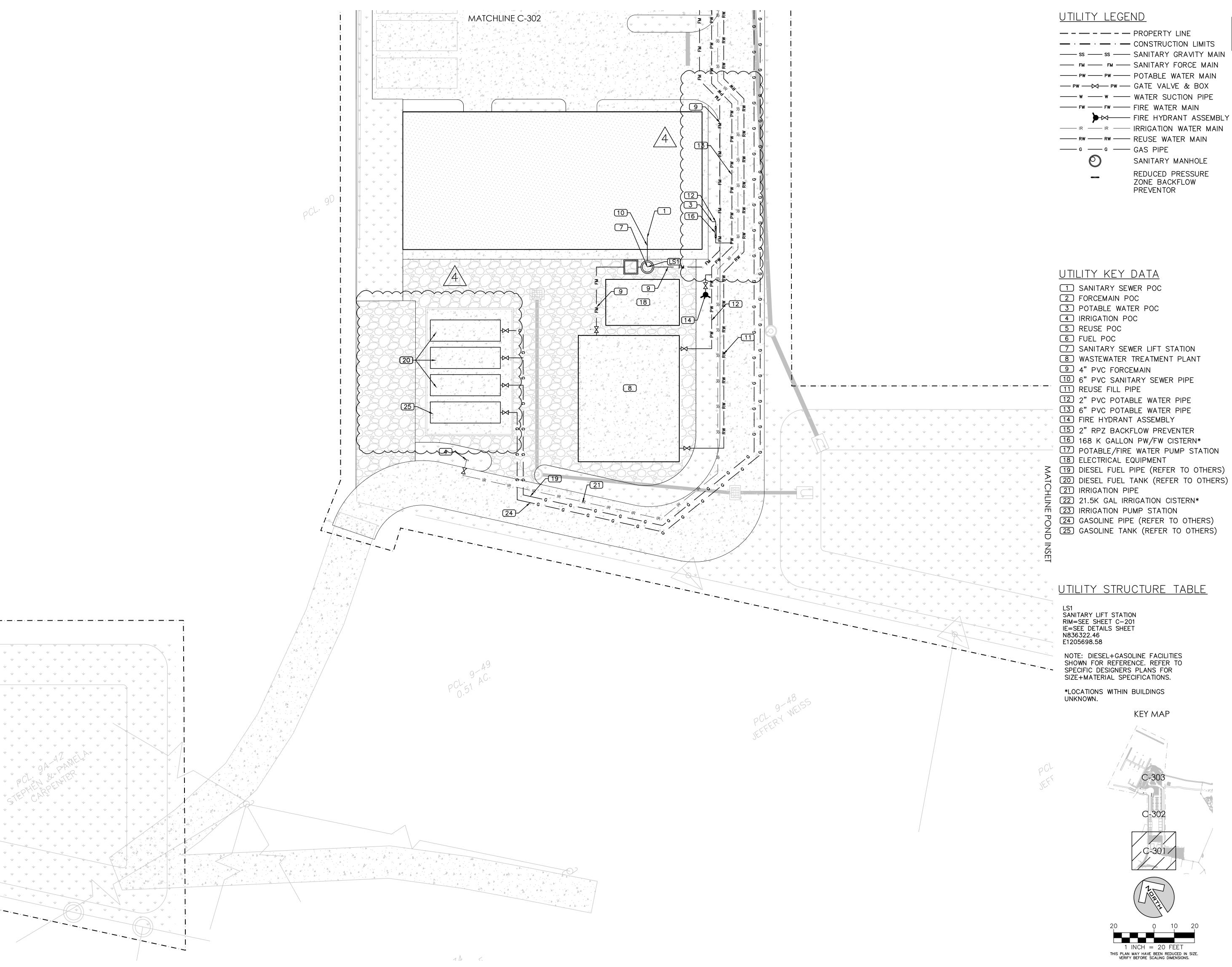
9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

SITE GRADING & DRAINAGE PLAN

07280000 12/15/2022

C-203



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SCOPE DOCUMENTS

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Drawing Issue Description Date CZM PRE-APP CZM APPLICATION CZM APPLICATION REVISION 1/15/2022 CZM APPLICATION REVISION

LATITUDE 18 MARINA

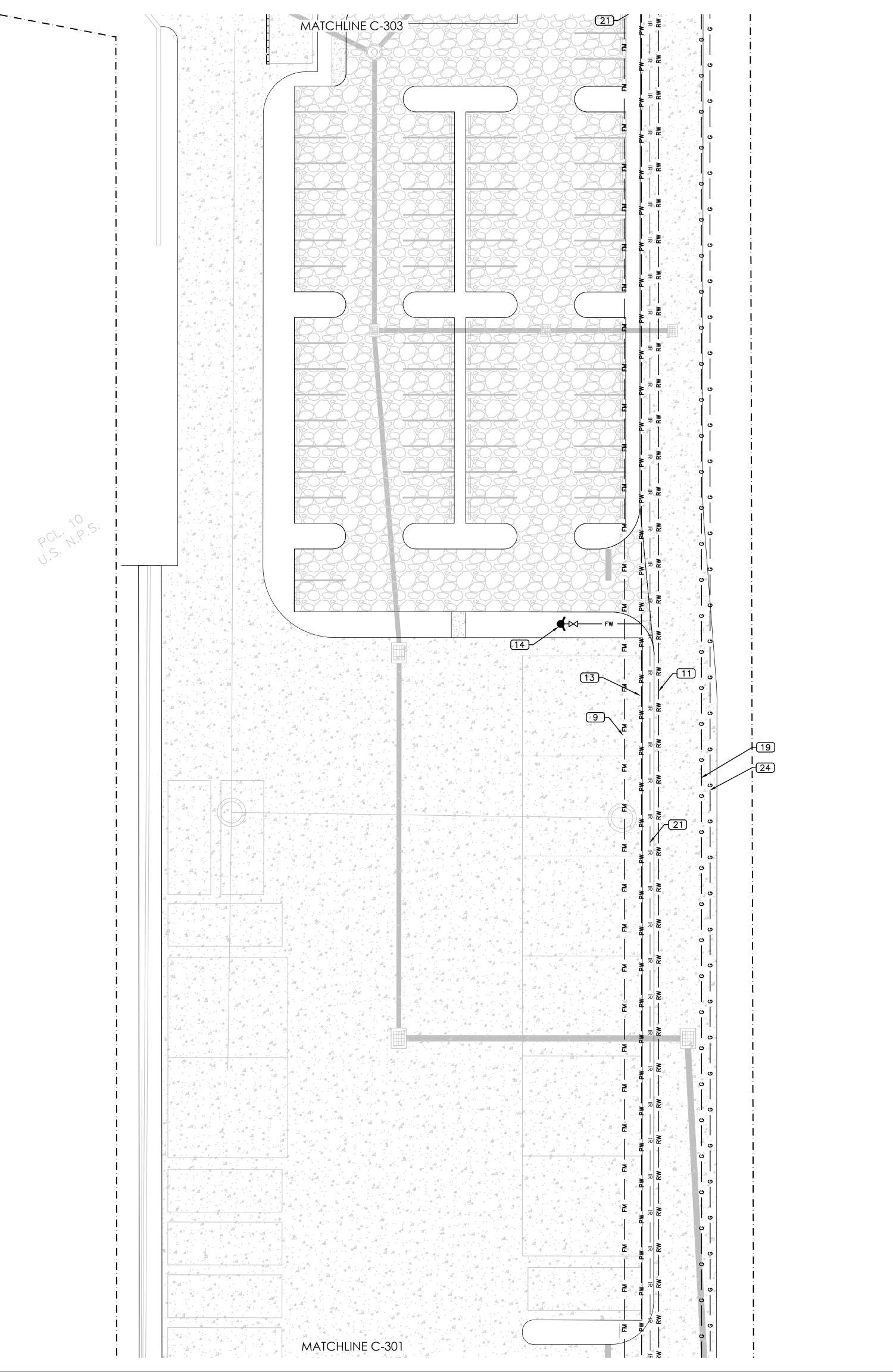
9B-A ESTATE NAZARETH

ST. THOMAS, USVI

Vessup Operations, LLC

UTILITY PLAN

C-301



UTILITY LEGEND

— - — - — - — PROPERTY LINE — · — · — CONSTRUCTION LIMITS — PW — PW — GATE VALVE & BOX ---- w ---- WATER SUCTION PIPE ► FIRE HYDRANT ASSEMBLY

----- IR ----- IRRIGATION WATER MAIN ---- G ---- GAS PIPE

DESIGN DISTRICT

SANITARY MANHOLE REDUCED PRESSURE ZONE BACKFLOW PREVENTOR

2110 Company Street, Suite 15

Jaredian Design Group

Architects, Engineers and Planners

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EB 9814

SCOPE DOCUMENTS

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ISSUANCES

Date

Drawing Issue Description

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Christiansted, VI, 00820 **Tel:** (340)-227-6265 **Email:** designdistrictvi.com **Website:** www.designdistrictvi.com

DESIGN DISTRICT, PLLC

UTILITY KEY DATA

- 1 SANITARY SEWER POC
- 2 FORCEMAIN POC
- 3 POTABLE WATER POC
- 4 IRRIGATION POC
- 5 REUSE POC 6 FUEL POC
- 7 SANITARY SEWER LIFT STATION
- 8 WASTEWATER TREATMENT PLANT
- 9 4" PVC FORCEMAIN
- 10 6" PVC SANITARY SEWER PIPE
- 11 REUSE FILL PIPE
- 12 2" PVC POTABLE WATER PIPE
- 13 6" PVC POTABLE WATER PIPE 14 FIRE HYDRANT ASSEMBLY
- 15 2" RPZ BACKFLOW PREVENTER
- 16 168 K GALLON PW/FW CISTERN*
- 17 POTABLE/FIRE WATER PUMP STATION
- 18 ELECTRICAL EQUIPMENT
- 19 DIESEL FUEL PIPE (REFER TO OTHERS) 20 DIESEL FUEL TANK (REFER TO OTHERS)
- 21 IRRIGATION PIPE
- 22 21.5K GAL IRRIGATION CISTERN*
- 23 IRRIGATION PUMP STATION
- 24 GASOLINE PIPE (REFER TO OTHERS) 25 GASOLINE TANK (REFER TO OTHERS)

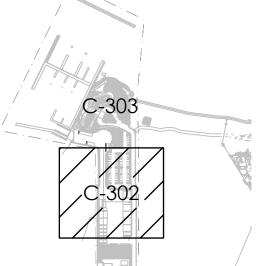
CZM PRE-APP CZM APPLICATION CZM APPLICATION REVISION 1/15/2022 CZM APPLICATION REVISION

NOTE: DIESEL+GASOLINE FACILITIES SHOWN FOR REFERENCE. REFER TO SPECIFIC DESIGNERS PLANS FOR SIZE+MATERIAL SPECIFICATIONS.

*LOCATIONS WITHIN BUILDINGS UNKNOWN.

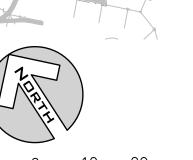
LATITUDE 18 MARINA





KEY MAP

C-301





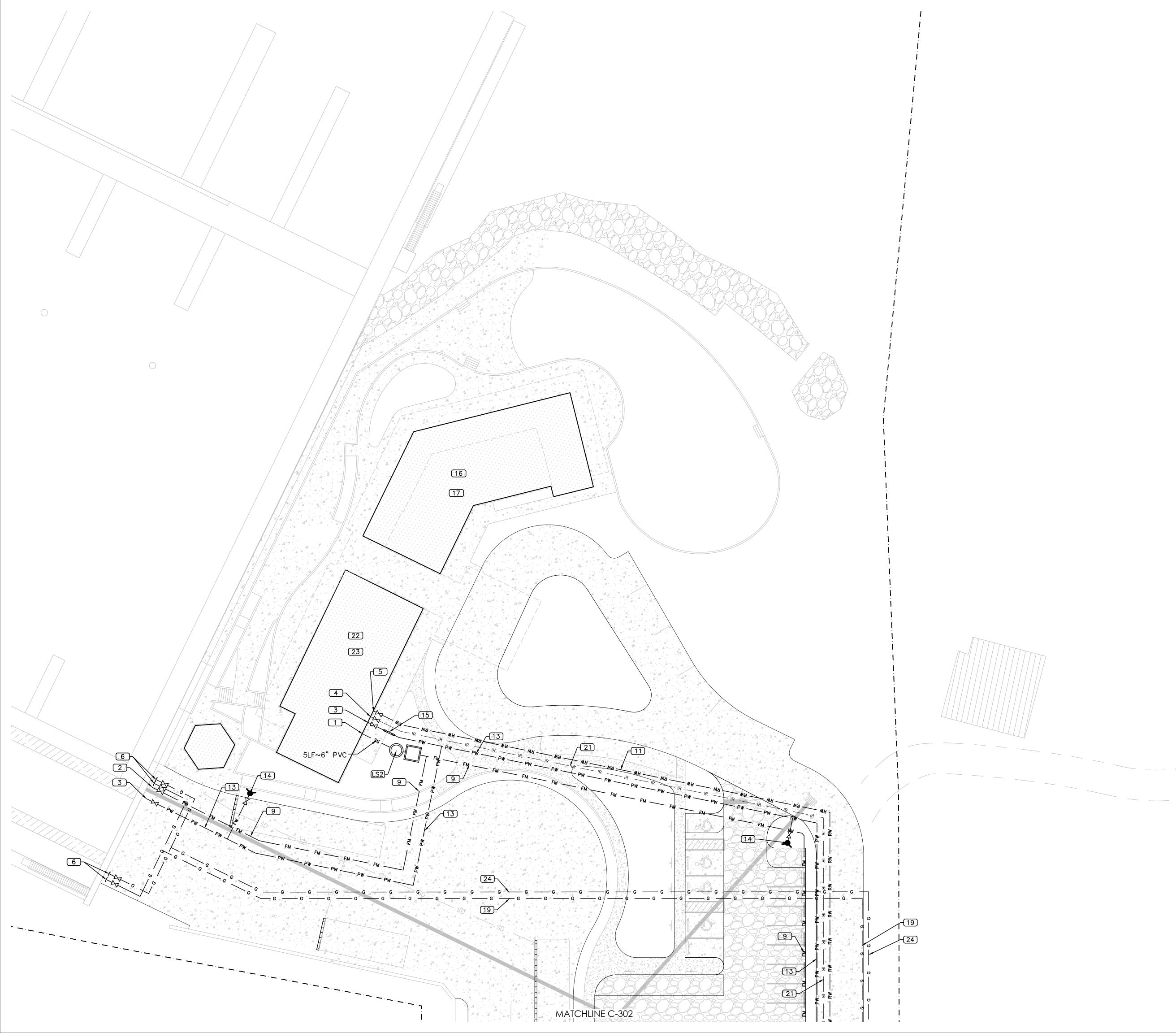
ST. THOMAS, USVI Vessup Operations, LLC

UTILITY PLAN

9B-A ESTATE NAZARETH

07280000 12/15/2022

C-302



UTILITY LEGEND

— - — - — PROPERTY LINE — · — · — CONSTRUCTION LIMITS --- FM --- FM --- SANITARY FORCE MAIN — PW — PW — GATE VALVE & BOX -----FW ------ FIRE WATER MAIN ► FIRE HYDRANT ASSEMBLY

---- IR ----- IRRIGATION WATER MAIN ----- RW ----- REUSE WATER MAIN

---- G ---- GAS PIPE

SANITARY MANHOLE REDUCED PRESSURE ZONE BACKFLOW PREVENTOR

JDG Jaredian Design Group

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DESIGN DISTRICT

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DESIGN DISTRICT, PLLC

1 SANITARY SEWER POC

UTILITY KEY DATA

- 2 FORCEMAIN POC 3 POTABLE WATER POC
- 4 IRRIGATION POC
- 5 REUSE POC
- 6 FUEL POC
- 7 SANITARY SEWER LIFT STATION
- 8 WASTEWATER TREATMENT PLANT
- 9 4" PVC FORCEMAIN 10 6" PVC SANITARY SEWER PIPE
- 11 REUSE FILL PIPE
- 12 2" PVC POTABLE WATER PIPE
- 13 6" PVC POTABLE WATER PIPE 14 FIRE HYDRANT ASSEMBLY
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LATITUDE 18 MARINA

9B-A ESTATE NAZARETH

ST. THOMAS, USVI

Vessup Operations, LLC

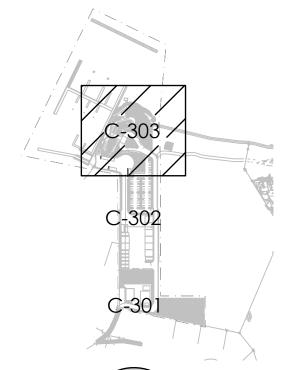
UTILITY PLAN

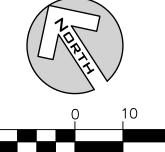
UTILITY STRUCTURE TABLE

LS2
SANITARY LIFT STATION
RIM=SEE SHEET C-201
IE=SEE DETAILS SHEET
N836992.28
E1205937.43

NOTE: DIESEL+GASOLINE FACILITIES SHOWN FOR REFERENCE. REFER TO SPECIFIC DESIGNERS PLANS FOR SIZE+MATERIAL SPECIFICATIONS.

*LOCATIONS WITHIN BUILDINGS UNKNOWN. KEY MAP





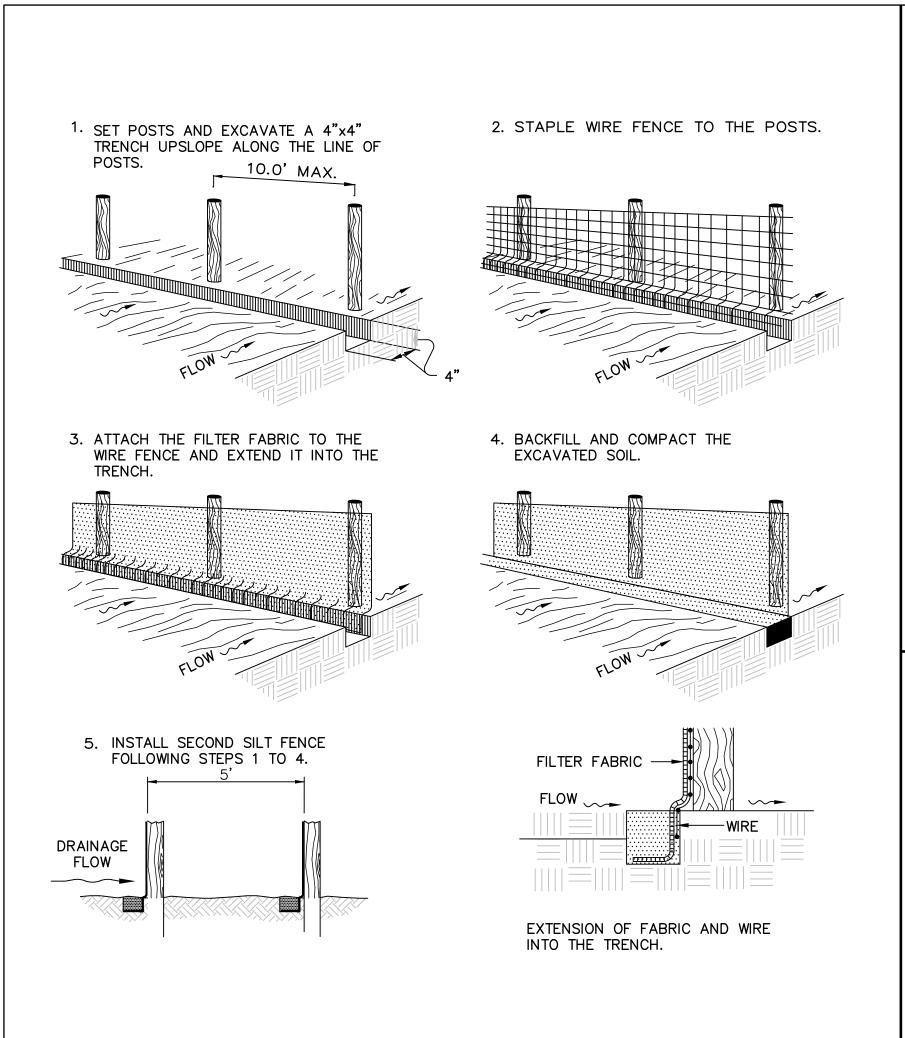
1 INCH = 20 FEET

THIS PLAN MAY HAVE BEEN REDUCED IN SIZE.

VERIFY BEFORE SCALING DIMENSIONS.

C-303

12/15/2022



DOUBLE SILT FENCE DETAIL

6" MINIMUM FDOT #1-COARSE AGGREGATE

REQUIRED TO LIMIT AND DIRECT VEHICULAR EGRESS ACROSS THE CSCE.

GEOTIXTILE UNDERLINER

1. A SOIL TRACKING PREVENTION DEVICE (STPD) SHALL BE CONSTRUCTED AT LOCATIONS DESIGNATED BY THE ENGINEER FOR POINTS OF EGRESS FROM UNSTABILIZED AREAS OF THE PROJECT TO ROADS WHERE OFFSITE TRACKING OF MUD COULD OCCUR. TRAFFIC FROM UNSTABILIZED AREAS OF THE CONSTRUCTION PROJECT SHALL BE DIRECTED THRU A CSCE. BARRIERS. FLAGGING, OR OTHER POSITIVE MEANS SHALL BE USED AS

2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TECHNIQUE TO MINIMIZE OFFSITE TRACKING OF SEDIMENT.

3. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO ROADS (INCLUDING THE CSCE AGGREGATE AND

4. AGGREGATES SHALL BE AS DESCRIBED IN FDOT SECTION 901 EXCLUDING 901-2.3. AGGREGATES SHALL BE FDOT SIZE #1. IF THIS SIZE IS NOT AVAILABLE, THE NEXT AVAILABLE SMALLER SIZE AGGREGATE MAY BE

5. THE CSCE SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION. TO PREVENT OFFSITE TRACKING, THE CSCE SHALL BE RINSED (DAILY WHEN IN USE) TO MOVE ACCUMULATED MUD DOWNWARD THRU THE STONE. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE

6. A CSCE SHALL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR CRUSH STONE CONSTRUCTION ENTRANCE, EA. THE UNIT PRICE SHALL CONSTITUTE FULL COMPENSATION FOR CONSTRUCTION, MAINTENANCE, REPLACEMENT OF MATERIALS, REMOVAL, AND RESTORATION OF THE AREA UTILIZED FOR THE CSCE: INCLUDING BUT NOT LIMITED TO EXCAVATION, GRADING, TEMPORARY PIPE (INCLUDING MES WHEN REQUIRED), FILTER FABRIC, AGGREGATE, PAVED TURNOUT (INCLUDING MES WHEN REQUIRED), FILTER DITCH STABILIZATION,

7. THE NOMINAL SIZE OF A STANDARD CSCE INS 20' x 50' UNLESS OTHERWISE SHOWN IN THE PLANS. IF THE

VOLUME OF ENTERING AND EXITING VEHICLES WARRANT, A 30' WIDTH CSCE MAY BE USED IF APPROVED BY THE ENGINEER. WHEN A DOUBLE WIDTH (30') CSCE IS USED, THE PAY QUANTITY SHALL BE 1.5 FOR EACH

APPROACH REROUTE STABILIZATION, SEDIMENT REMOVAL AND DISPOSAL, GRASSING AND SOD.

CRUSHED STONE

SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE WILL

CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER.

THE ALTERNATIVE MUST BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO USE.

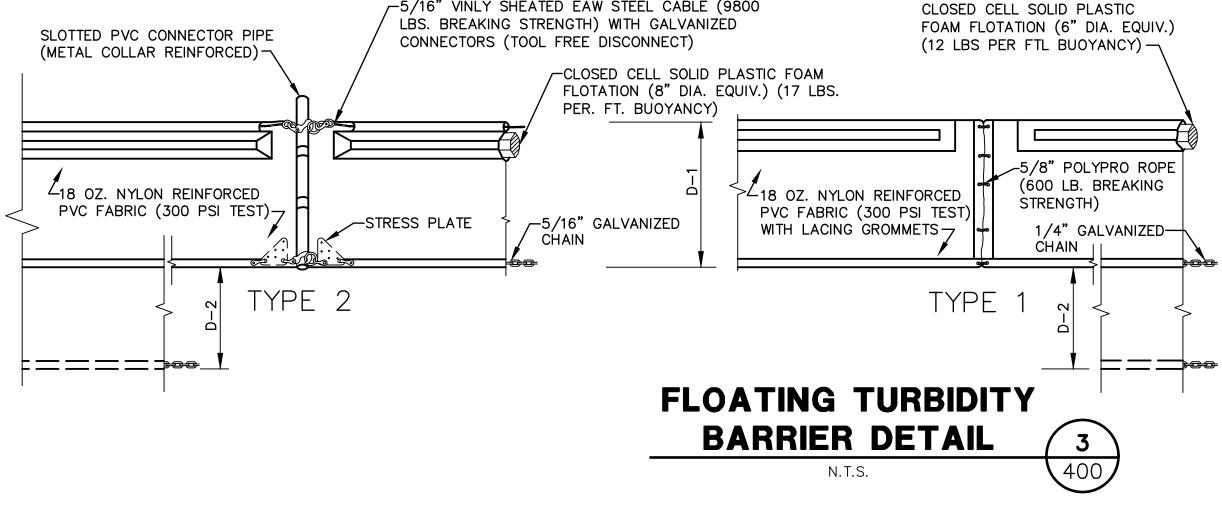
EXISTING HARD SURFACE SERVICE

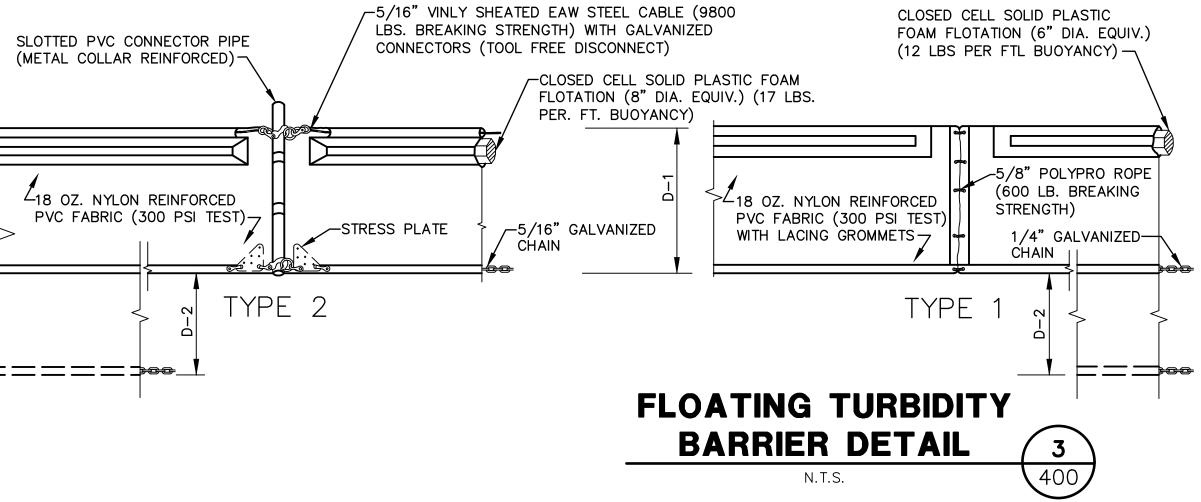
TRACK OFF THE PROJECT AND ARE UNSUITABLE.

LOCATION.

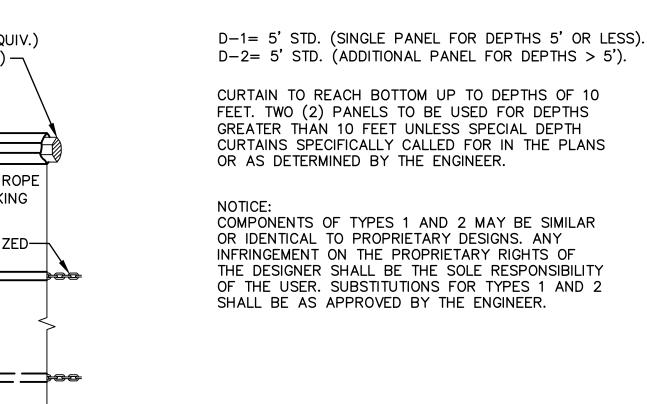
STPD MAY BE REQUIRED TO LIMIT THE MUD TRACKED.

-15' RADIUS





-FILTERED RUNOFF





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LATITUDE 18 MARINA

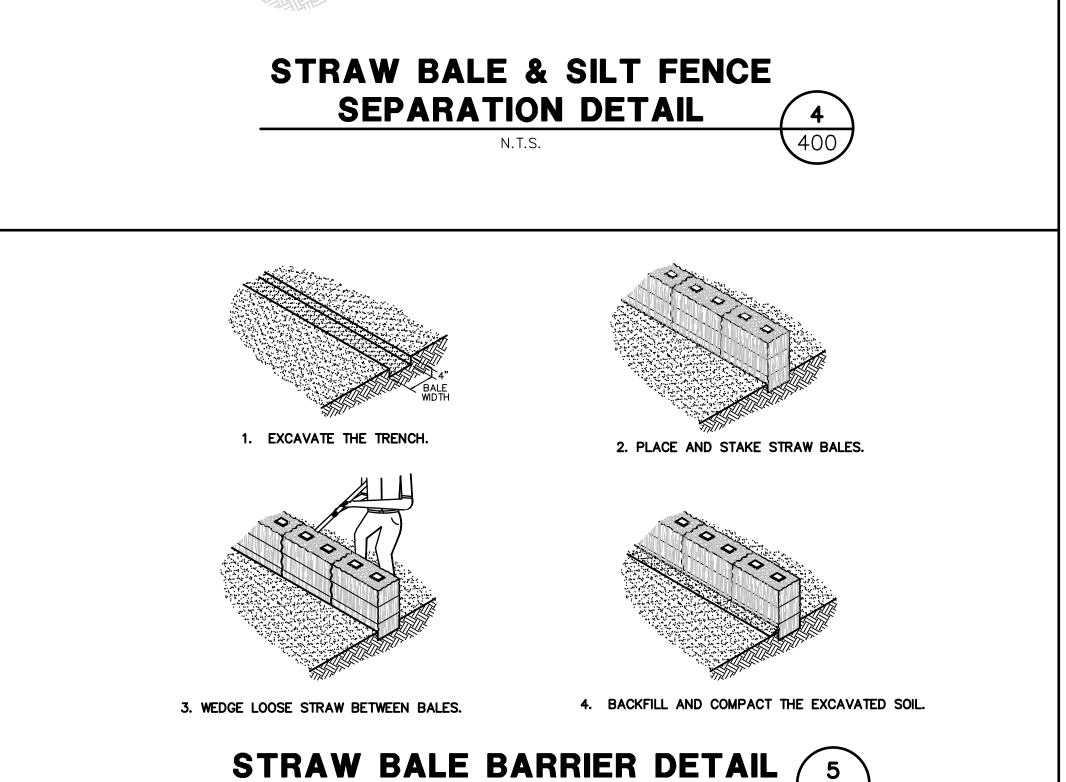
9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

DETAILS

12/15/2022

NOT ISSUED FOR CONSTRUCTION

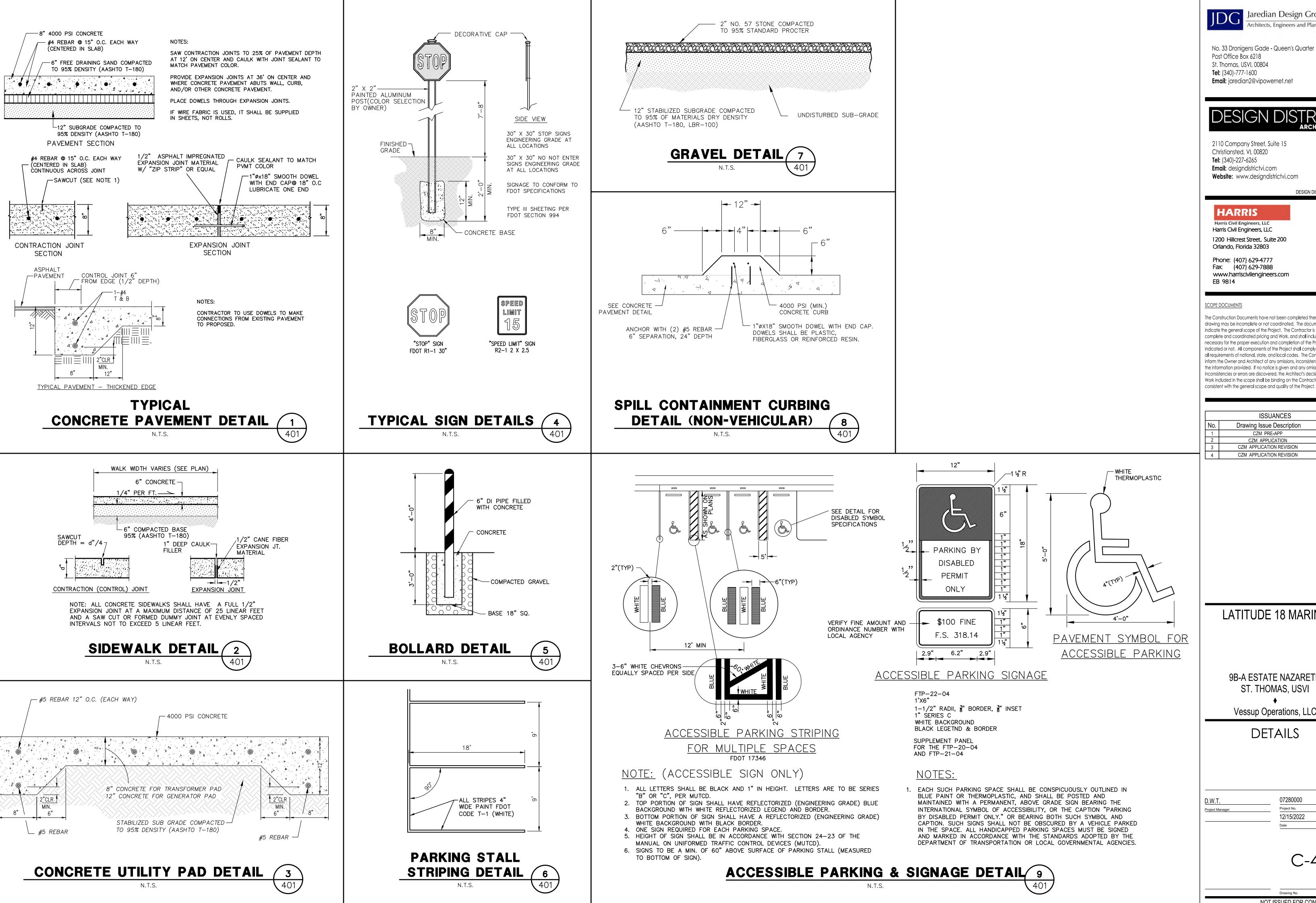


COMPACTED SOIL TO PREVENT PIPING

SEDIMENT LADEN RUNOFF

DRAINAGE FLOW

CONSTRUCTION ENTRANCE DETAIL 2



Jaredian Design Group Architects, Engineers and Planners

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4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

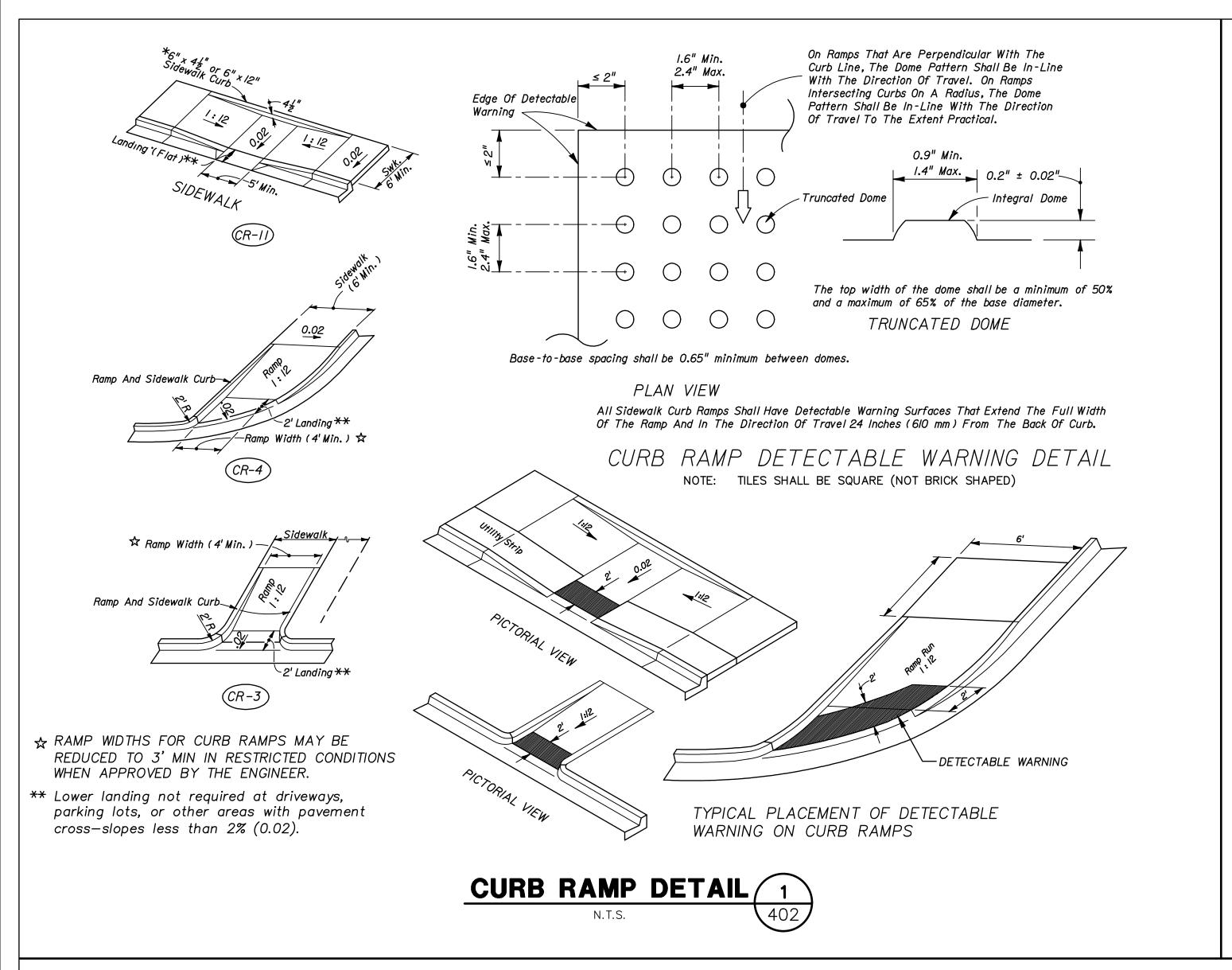
Vessup Operations, LLC

DETAILS

Project No. 12/15/2022

07280000

C-401



JDG Jaredian Design Group
Architects, Engineers and Planners

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SCOPE DOCUMENTS

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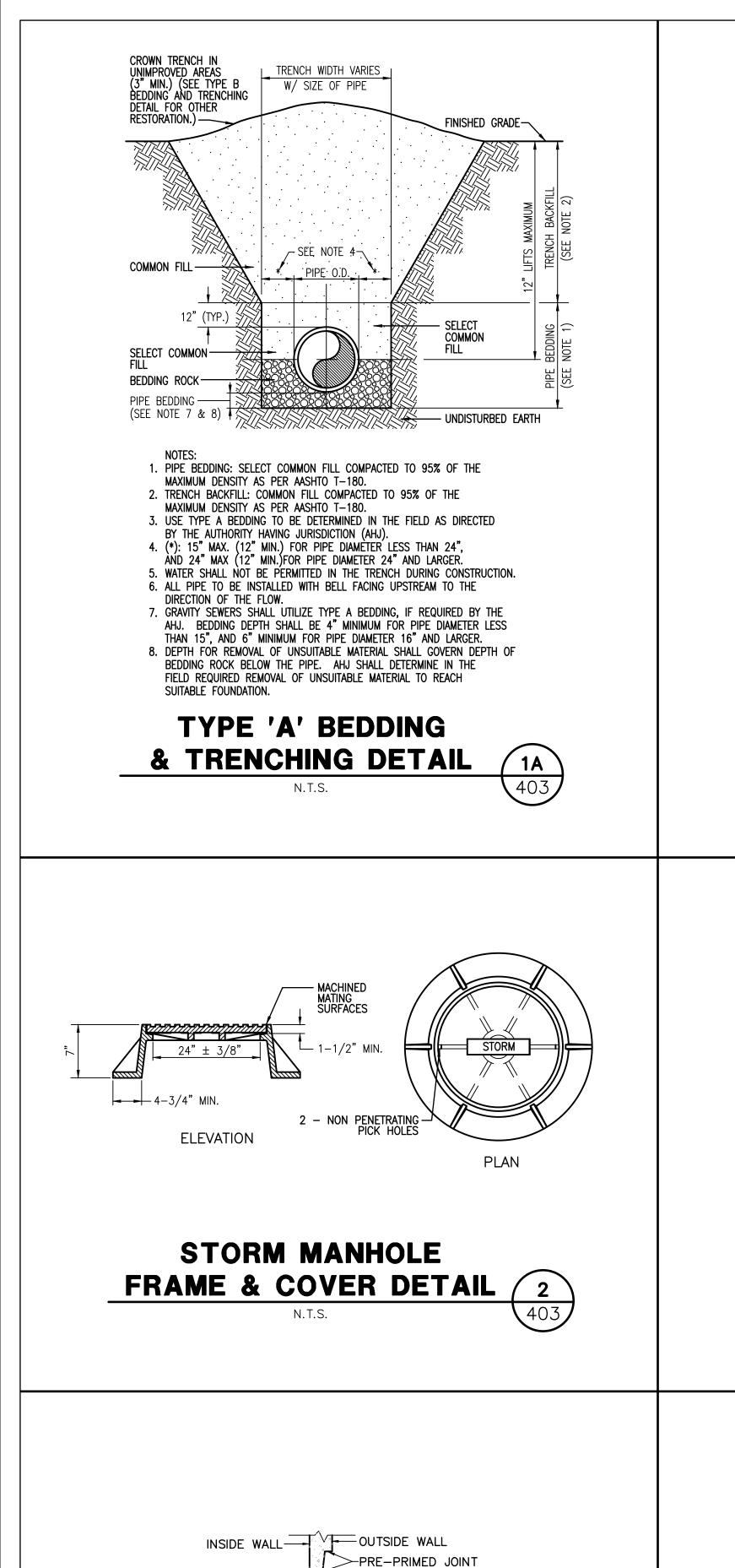
DETAILS

D.W.T. 07280000

Project No. 12/15/2022

C-402

_____ Drawing No.



PRE-MOLDED PLASTIC

PROTECTIVE WRAPPER

JOINT SEALER WITH

(WRAPPER TO BE

`—SQUEEZE—OUT

MANHOLE JOINT DETAIL 3

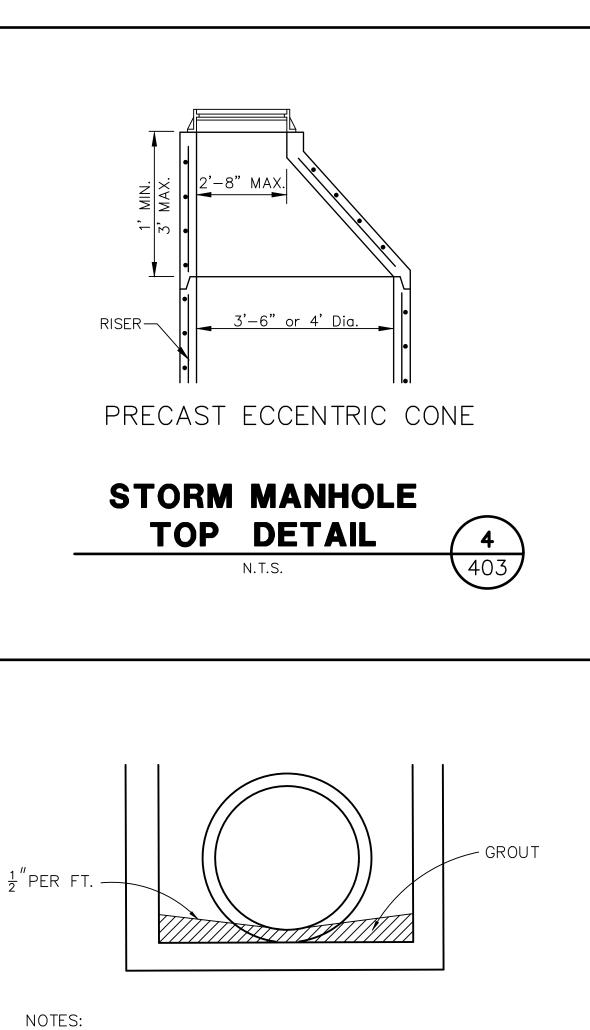
PRE-PRIMED-

JOINT SURFACES

COMPLETED —

SQUEEZE-OUT

JOINT WITH



N.T.S.

rinished grade

COMMON FIL

EARTH (SEE NOTE 3)

12" (TYP.)

TRENCH WIDTH VARIES I

(3" MIN.) (SEE NOTE 7)

1B

W/ SIZE OF PIPE

PIPE O.D.

1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE

3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN

ÀND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.

6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE

5. WATER SHALL NOT BE PÉRMITTED IN THE TRENCH DURING CONSTRUCTION.

7. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH

ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE

2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE

4. (*): 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24",

ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES.

TYPE 'B' BEDDING

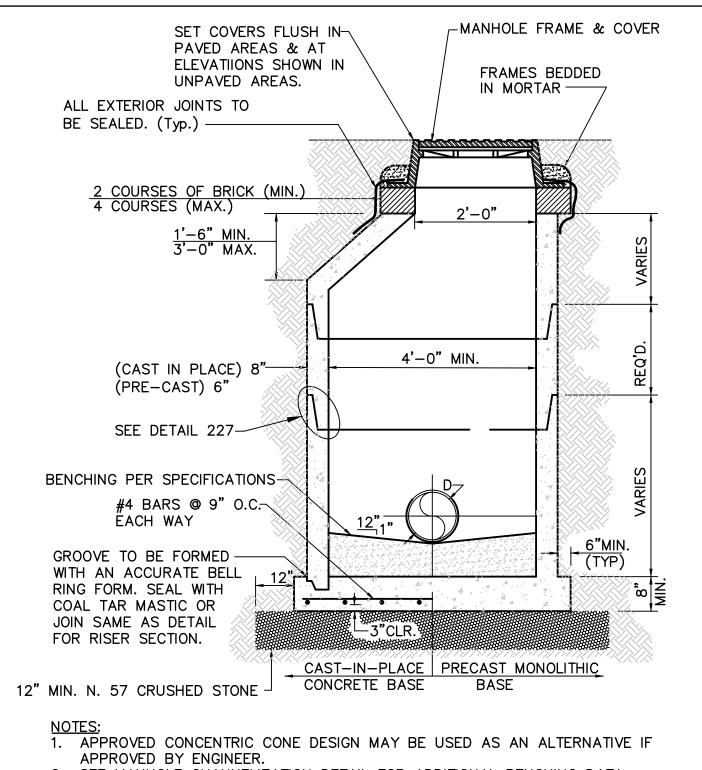
& TRENCHING DETAIL

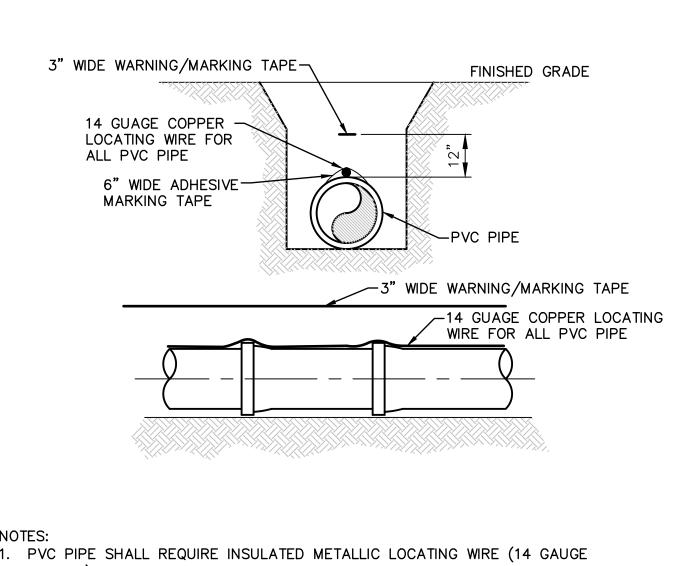
MAXIMUM DENSITY AS PER AASHTO T-180.

MAXIMUM DENSITY AS PER AASHTO T-180.

REQUIRED AS DIRECTED BY THE AHJ.

DIRECTION OF THE FLOW.



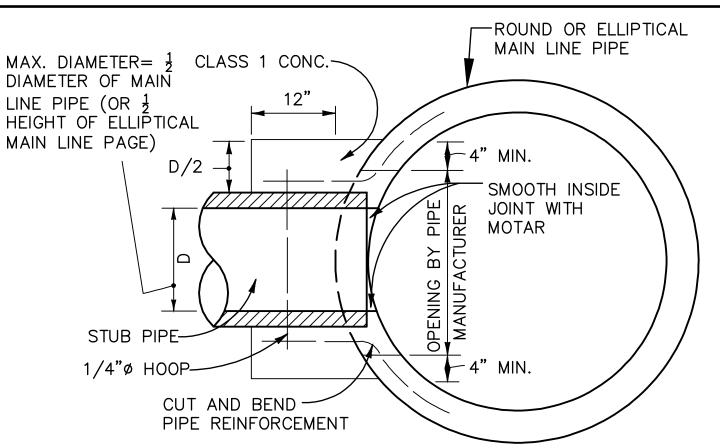


1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (14 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR.

2. LOCATING WIRE SHALL BE BURIED DIRECTLY ON TOP OF THE CENTERLINE OF THE PIPE. LOCATING WIRE SHALL COIL AROUND AND TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.

3. USE 6" WIDE MARKING TAPE TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.

PVC PIPE LOCATION WIRE DETAIL



CONCRETE COLLAR FOR JOINING MAINLINE PIPE & STUB PIPE

LATITUDE 18 MARINA 403

> 9B-A ESTATE NAZARETH ST. THOMAS, USVI

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Architects, Engineers and Planners

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SCOPE DOCUMENTS

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ISSUANCES

Drawing Issue Description

CZM PRE-APP

CZM APPLICATION

CZM APPLICATION REVISION

CZM APPLICATION REVISION

Date

1/15/2022

all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors i the information provided. If no notice is given and any omissions,

Vessup Operations, LLC

DETAILS

07280000 12/15/2022

C-403

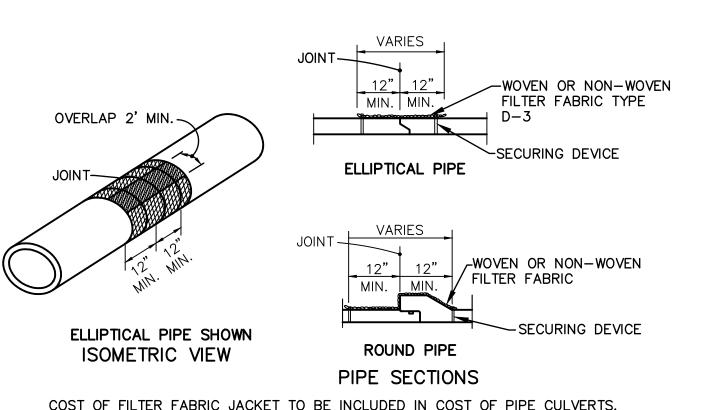
24" (MIN)

WATER MAIN



FINISHED GRADE

STORM DRAIN



FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

FILTER FABRIC PIPE JACKET (8) N.T.S. FDOT INDEX No.280

NOT ISSUED FOR CONSTRUCTION

SEE MANHOLE CHANNELIZATION DETAIL FOR ADDITIONAL BENCHING DATA.

REINFORCING STEEL PER ASTM C-478-88a. 4. PRECAST CONCRETE PER ASTM C478.

MANHOLE STRUCTURE

KORBAND (OR EQUAL)

FLEXIBLE CONNECTOR

PIPE ——

TYPICAL

MANHOLE CONNECTION

CONCRETE STORM

SEWER MANHOLE DETAIL

WATER MAIN

22 1/2" BEND, TYP. -

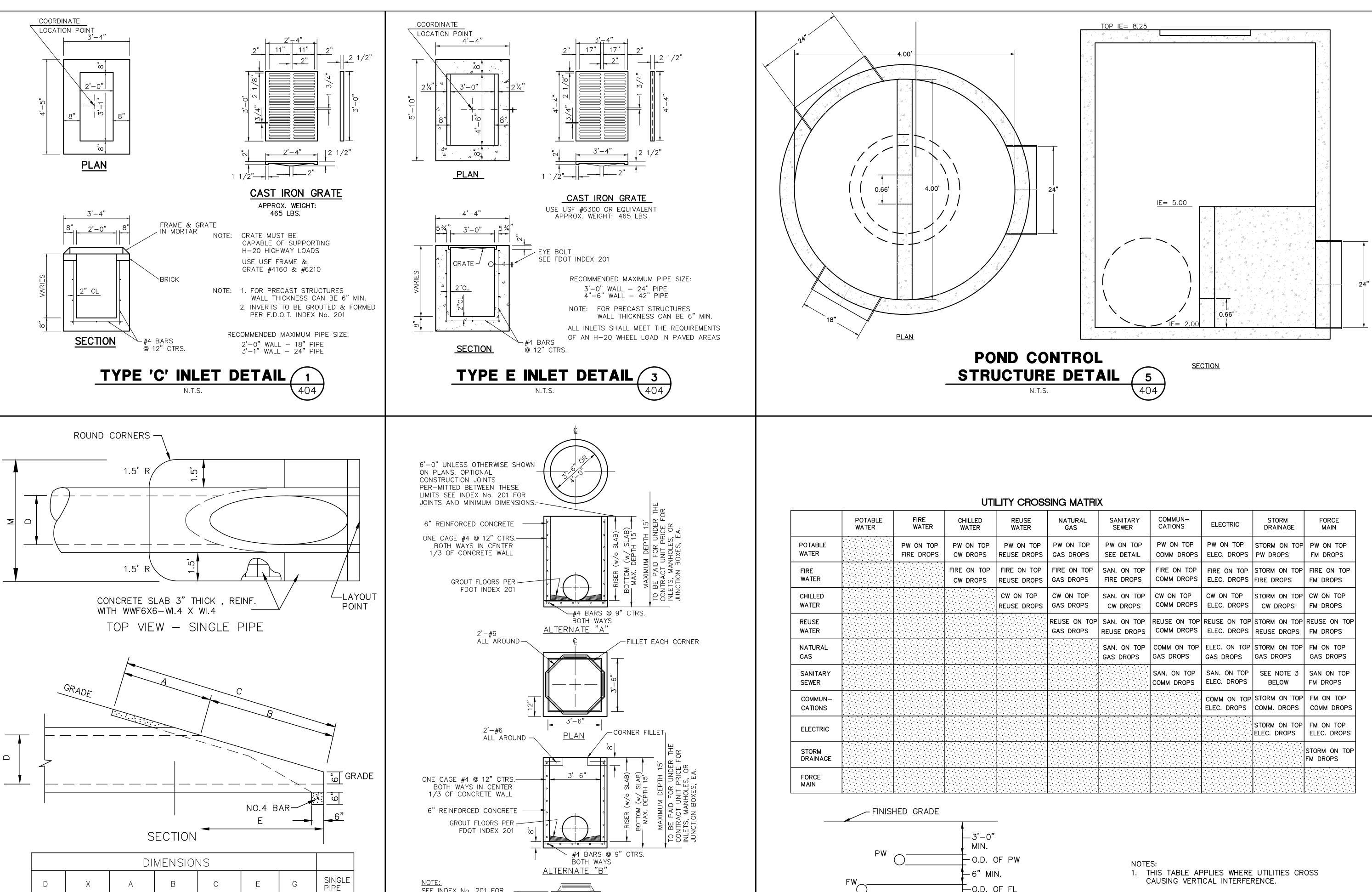
1) GROUT TO CONSIST OF 3:1 SAND-CEMENT MIXTURE OR

2) FOR ALL STRUCTURES UNLESS EXCLUDED BY SPECIAL DETAIL

DRAINAGE STRUCTURE INVERT DETAIL

N.T.S.

- MAINTAIN 18-INCH SEPARATION



<u>NOTE:</u> SEE INDEX No. 201 FOR

2'-8" Max.

3'-<u>6" Or 4' Dia</u>

PRECAST CONCENTRIC CONE

TYPE "P" STRUCTURE

N.T.S.

Tongue & Groove

Joint To Match

Riser

JOINTS AND MINIMUM

DIMENSIONS

4.03' 1.22'

11.03' | 2.24'

4.09'

MITERED END DETAIL

2.87' | 11.31''

FDOT INDEX NO. 273

7.48'

14.81

6'-0" | 3.05' | 13.37' | 16.42' | 13.03' | 2.45' | 7.25'



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SCOPE DOCUMENTS

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LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

DETAILS

	12/15/2022
Project Manager	Project No.
D.W.T.	07280000

C-404

NOT ISSUED FOR CONSTRUCTION

UTILITY CORRIDOR CROSSINGS DETAIL 6

-O.D. OF FL

-O.D. OF COMM

_6" MIN.

−6" MIN.

COMM

GAS

SECTION

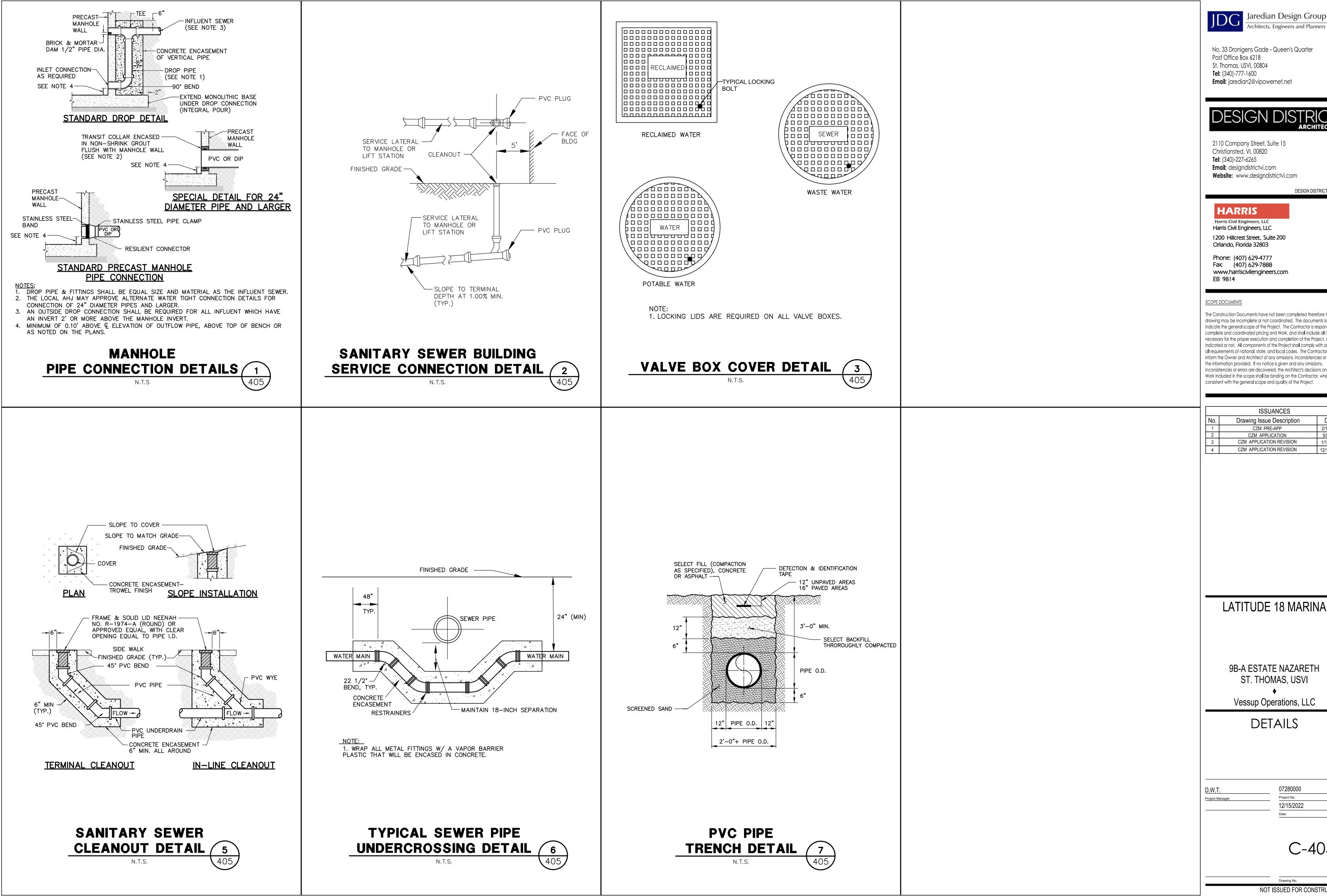
2. PROVIDE A MINIMUM OF 12 INCHES OF CLEARANCE

3. CONTACT THE ENGINEER FOR QUESTIONS ON STORM

BETWEEN THE TOP AND BOTTOM

AND SANITARY CROSSINGS.

OF UTILITY.



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	Drawing Issue Description CZM PRE-APP CZM APPLICATION CZM APPLICATION REVISION

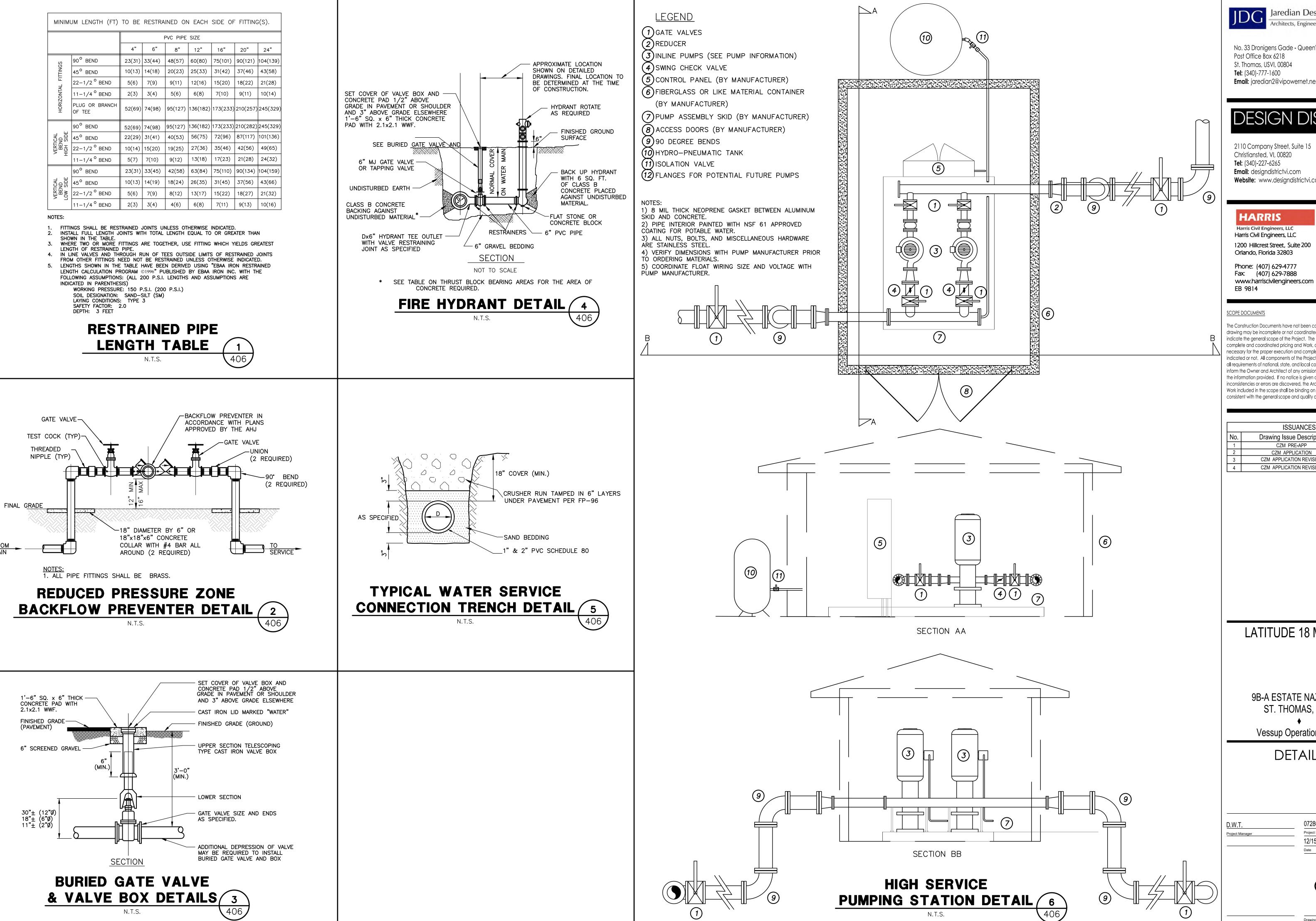
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9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

Project No. 12/15/2022

C-405



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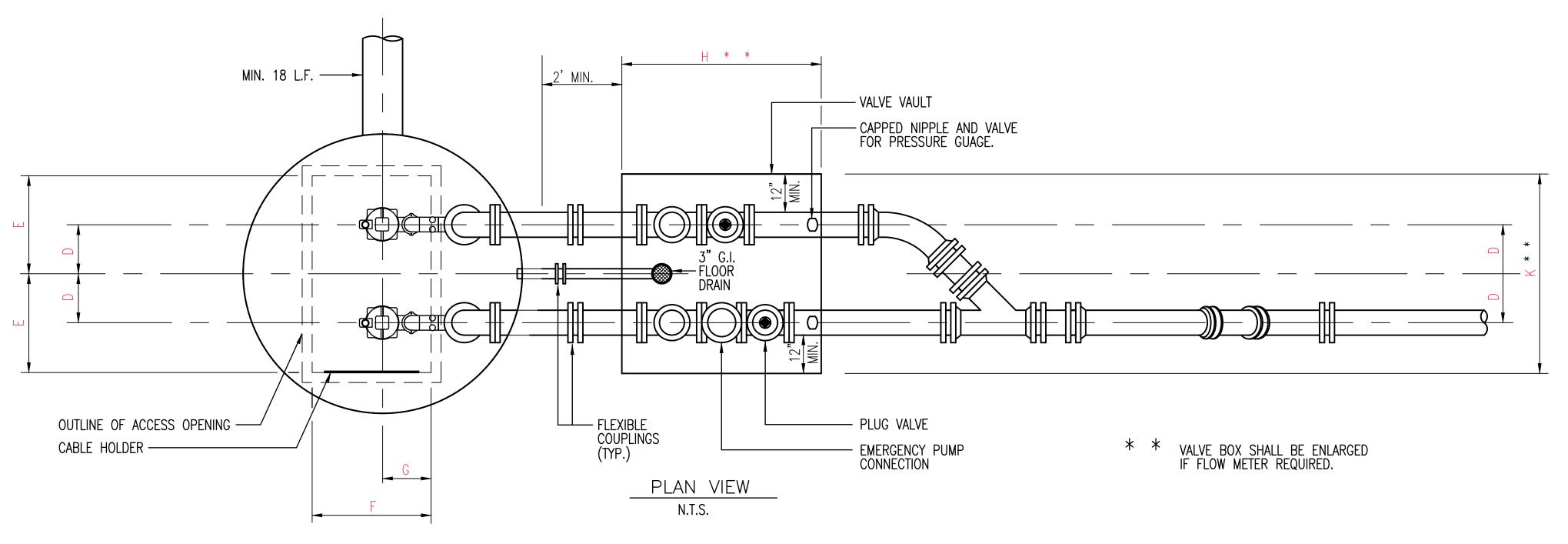
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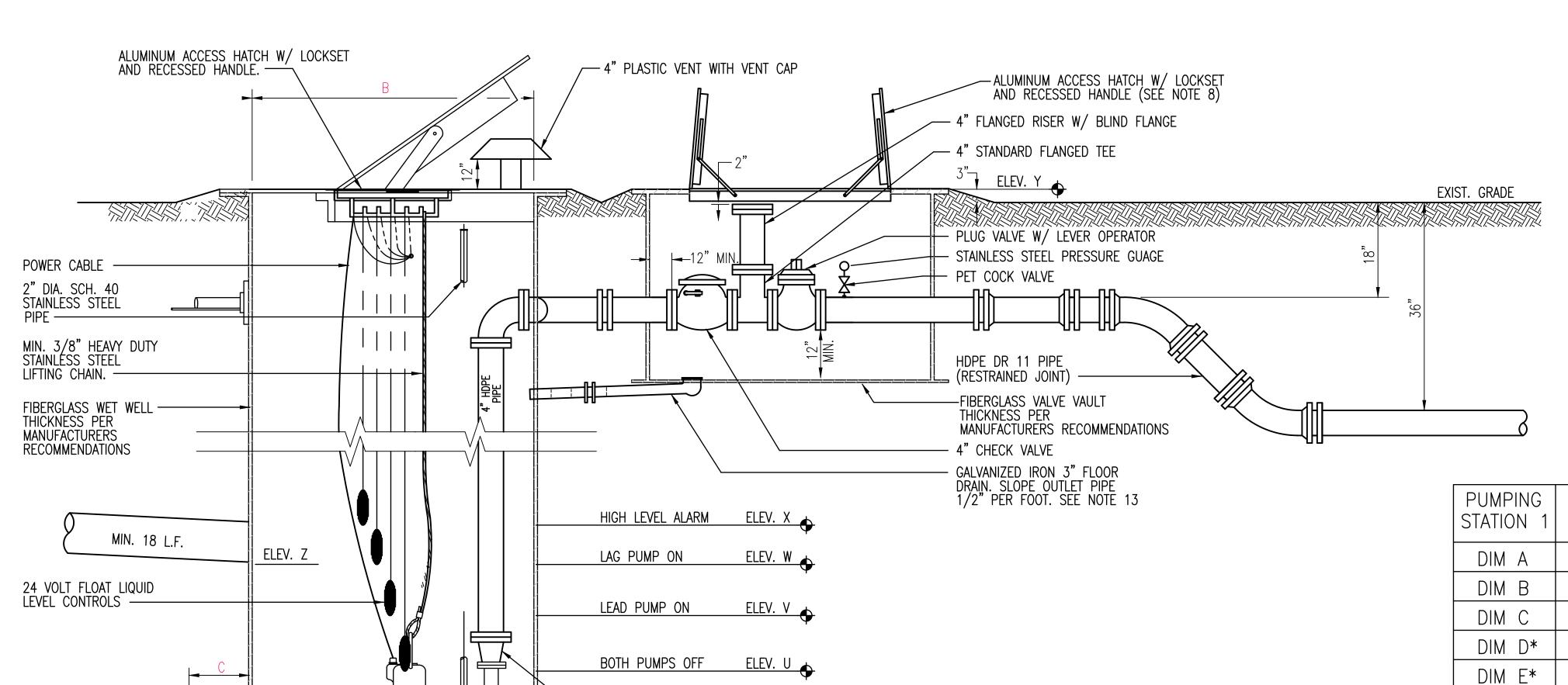
Vessup Operations, LLC

DETAILS

07280000 Project No. 12/15/2022

C-406





- REDUCER IF NECCESARY

ELEV. T

GRAVEL

SECTION VIEW

N.T.S.

MASTER SANITARY SEWER LIFT STATION DETAIL

408

GENERAL NOTES:

- 1. ALL EXPOSED METAL SHALL BE PRINTED WITH TWO (2) COATS OF EXTERIOR ENAMEL PAINT.
- 2. RESERVED.

10. PUMPS SHALL BE:

- 3. RESERVED.
- 4. VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE
- 5. VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
- 6. ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT.
- 7. THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN THE WET WELL.
- 8. WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWIRE AND LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER.
- 9. FLEXIBLE COUPLING SHALL BE SLEEVE TYPE.

MANUFACTURER:; MODEL:; IMP:;
DIA:; MM, SPEED: RPM;
DISCHARGE SIZE:;
HZ.:; PHASE:; H.P.:;
MIN. SOLID SIZE: IN.; CURVE:

- 11. OPERATING CONDITIONS SHALL BE XX GPM AT XX FEET TDH.
- 12. ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
- 13. CONTRACTOR MAY INSTALL A "P" TRAP BETWEEN THE VALVE VAULT AND WET WELL AS AN ALTERNATIVE TO THE FLOOR DRAIN SHOWN.
- 14. OTHER PUMPS WILL BE CONSIDERED DURING SHOP DRAWING REVIEW. ALL SUBSTITUTES ARE SUBJECT TO DENIAL AT THE DISCRETION OF THE ENGINEER.
- 15. CONTRACTOR TO PROVIDE MANUFACTURER'S DOCUMENTATION OF WET WELL AND VALVE VAULT H-20 LOADING CAPABILITY AT SHOP DRAWING REVIEW. SHOP DRAWINGS WILL NOT BE APPROVED OTHERWISE.

PUMPING STATION 1	DIMENSIONS	ELEV. AT CONST.	PUMPING STATION 2	
DIM A			DIM A	
DIM B			DIM B	
DIM C			DIM C	
DIM D*			DIM D*	
DIM E*			DIM E*	
DIM F*			DIM F*	
DIM G*			DIM G*	
DIM H			DIM H	
DIM J			DIM J	
DIM K			DIM K	
ELEV T			ELEV T	
ELEV U			ELEV U	
ELEV V			ELEV V	
ELEV W			ELEV W	
ELEV X			ELEV X	
ELEV Y			ELEV Y	
ELEV Z			ELEV Z	
* PER PUMI	P MANUFACTURER	REQUIREMENT	* PER PUM	Ρ

PUMPING STATION 2	DIMENSIONS	ELEV. AT CONST.
DIM A		
DIM B		
DIM C		
DIM D*		
DIM E*		
DIM F*		
DIM G*		
DIM H		
DIM J		
DIM K		
ELEV T		
ELEV U		
ELEV V		
ELEV W		
ELEV X		
ELEV Y		
ELEV Z		
* PER PUM	P MANUFACTURER	S REQUIREMENT



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LATITUDE 18 MARINA

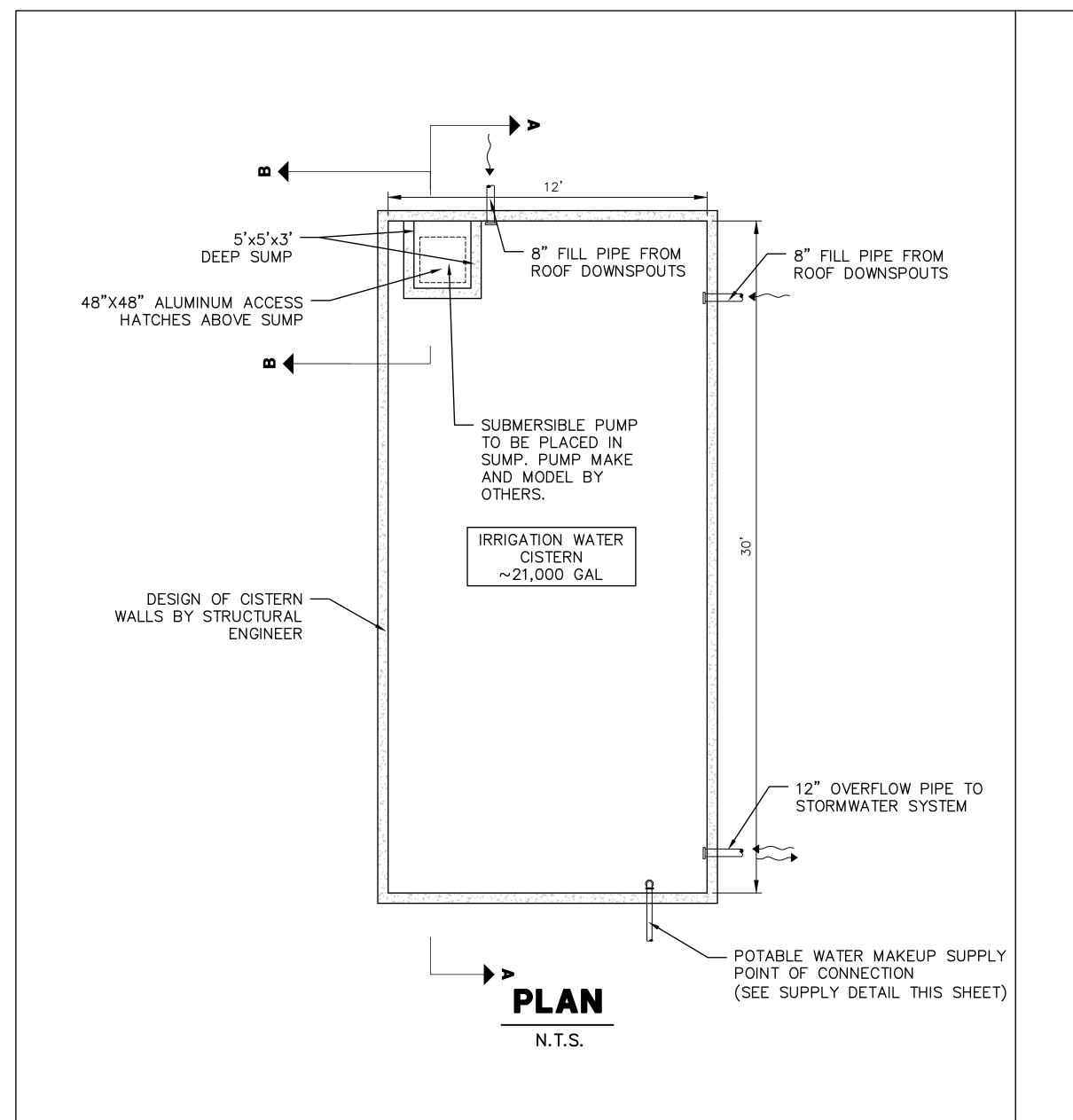
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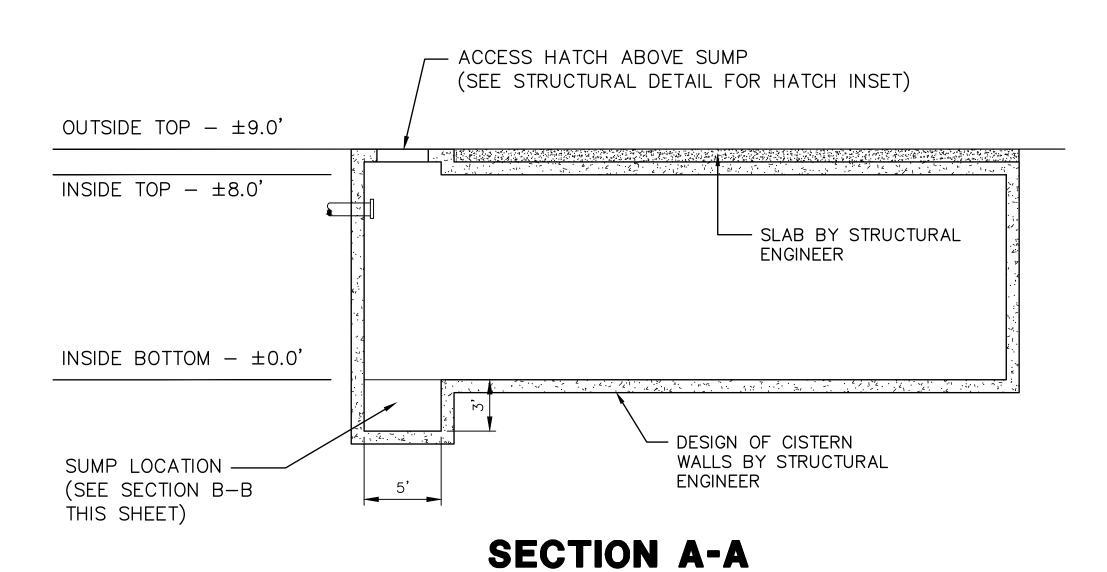
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DETAILS

07280000 Project No. 12/15/2022

C-407

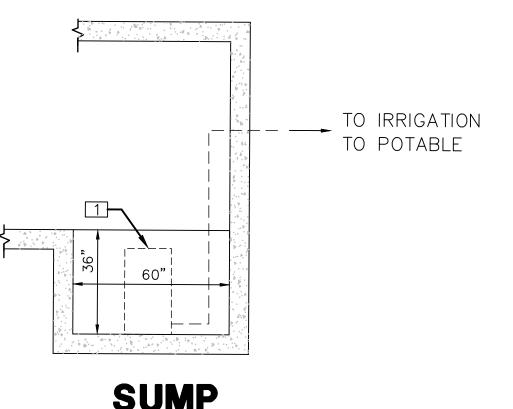




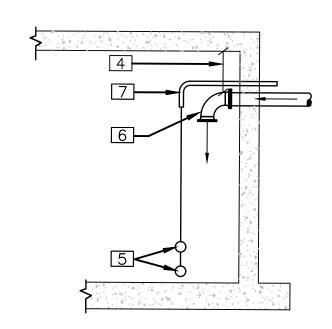
IRRIGATION WATER CONCRETE CISTERN DETAILS

N.T.S.

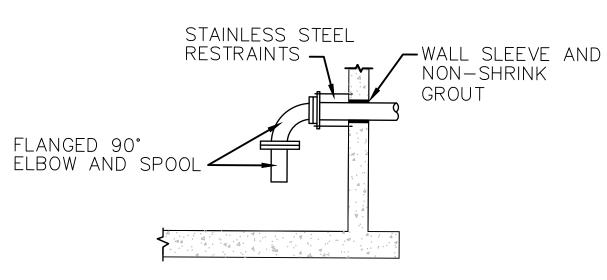
N.T.S.



SUMP **SECTION B-B** N.T.S.



SUPPLY DETAIL N.T.S.



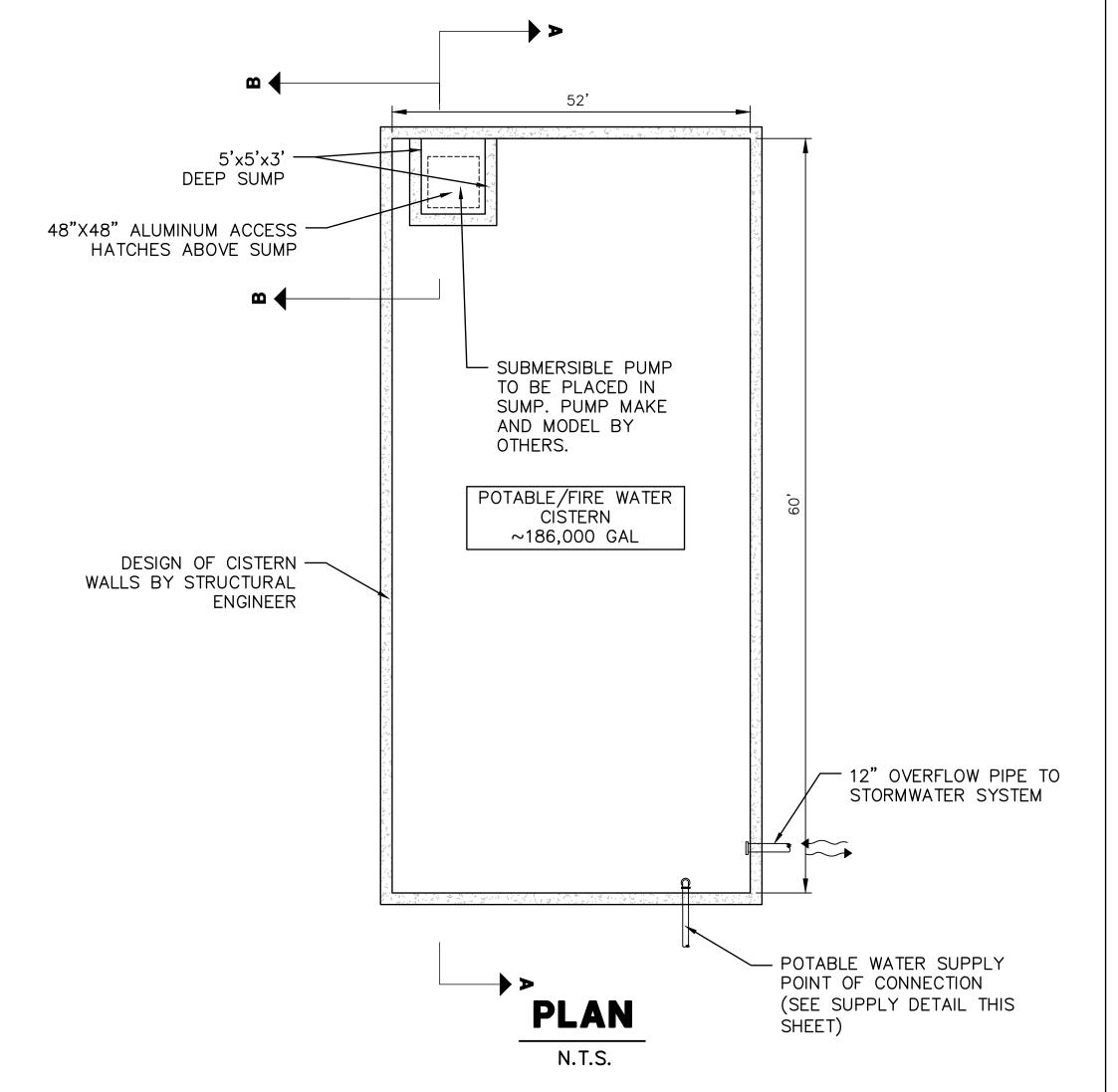
WALL PENETRATION DETAIL

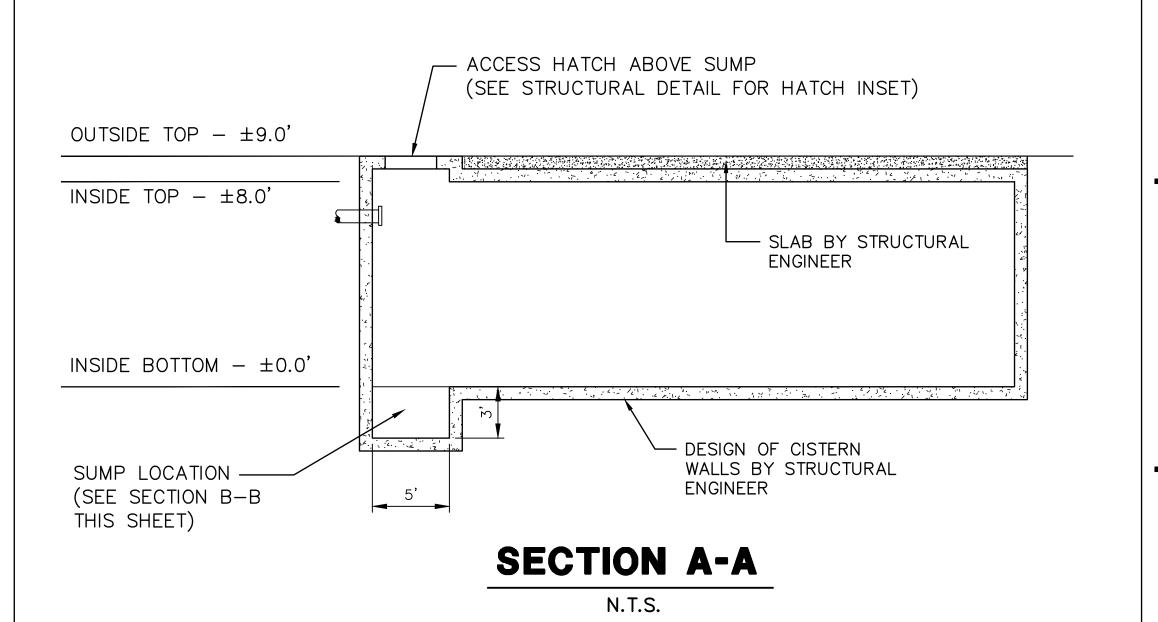
N.T.S.

KEY NOTES

- 1 SUBMERSIBLE PUMP, RAILS, PIPE AND FLOATS TO BE DESIGNED BY OTHERS.
- 2 RESERVED
- 3 RESERVED
- 4 12" SEPARATION BETWEEN TOP OF SUPPLY PIPE AND UNDERSIDE OF TOP SLAB.
- 5 ACTUATING VALVE FLOAT SWITCHES
- 6 CISTERN FEED FROM POTABLE WATER SUPPLY POINT OF CONNECTION
- 7 2" CONDUIT W/ 90° ELBOW TO BE ROUTED TO ACTUATING VALVE CONTROL PANEL.







POTABLE/FIRE WATER CONCRETE CISTERN DETAILS 407 N.T.S.



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LATITUDE 18 MARINA

9B-A ESTATE NAZARETH ST. THOMAS, USVI

Vessup Operations, LLC

DETAILS

12/15/2022

C-408



DESIGN DISTRICT ARCHITECTS

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PAUL FERRERAS, PE

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Email: ebiondi@appliedtm.com

	ISSUANCES	
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4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

VICINITY PLAN

VICINITY PLAN
SCALE: 1" = 80'-0"

2021002 Project No. 11/27/22 Date

A110





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No.	Drawing Issue Description	Date	
2	CZM APPLICATION	5/5/2021	
3	CZM APPLICATION REVISION	1/15/2022	
4	CZM APPLICATION REVISION	12/15/2022	

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

SITE PLAN

C.B.	2021002
Project Architect	Project No.
	05.03.2021
	 Date

A111



RETENTION POND PLANTED
WITH NATIVE WETLAND VEGETATION

PROPERTY LINE

TREE LEGEND				
SYMBOL	QTY.	CATEGORY	COMMON	BOTANICAL
	LEGACY TREES	MAMPOO		
		MAHOGANY		
			TURP	
		SHADE TREES	SEA GRAPE	
		SHADE IREES	LIGNUM VITAE	
			SEA LAVENDER	ARGUSIA GNAPHALODES
	FLOWERING TREES OR PLANTS	JAMAICAN CAPER	CAPARIS CYNOPHALLAPHORA	
		FLOWERING TREES OR FLAINTS	WHITE FRANGIPANI	PLUMERIA ALBA
			COCO PLUM	CHRYSOBALANUS ICACO
		PALMS	QUEEN PALMS	
			ROYAL PALMS	
		CONSERVATION AREA (PRUNED AND MAINTAINED NATURAL VEGETATION)		

TREE LEGEND

1" = 40'-0"





No. 33 Dronigens Gade - Queen's Quarter Post Office Box 6218 St. Thomas, USVI, 00804 **Tel:** (340)-777-1600 Email: jaredian2@vipowernet.net

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Contact: Esteban Biondi
Phone:561-472-2145
Email: ebiondi@appliedtm.com

	ISSUANCES	
No.	Drawing Issue Description	Date
1	CZM PRE-APP	2/10/2021
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

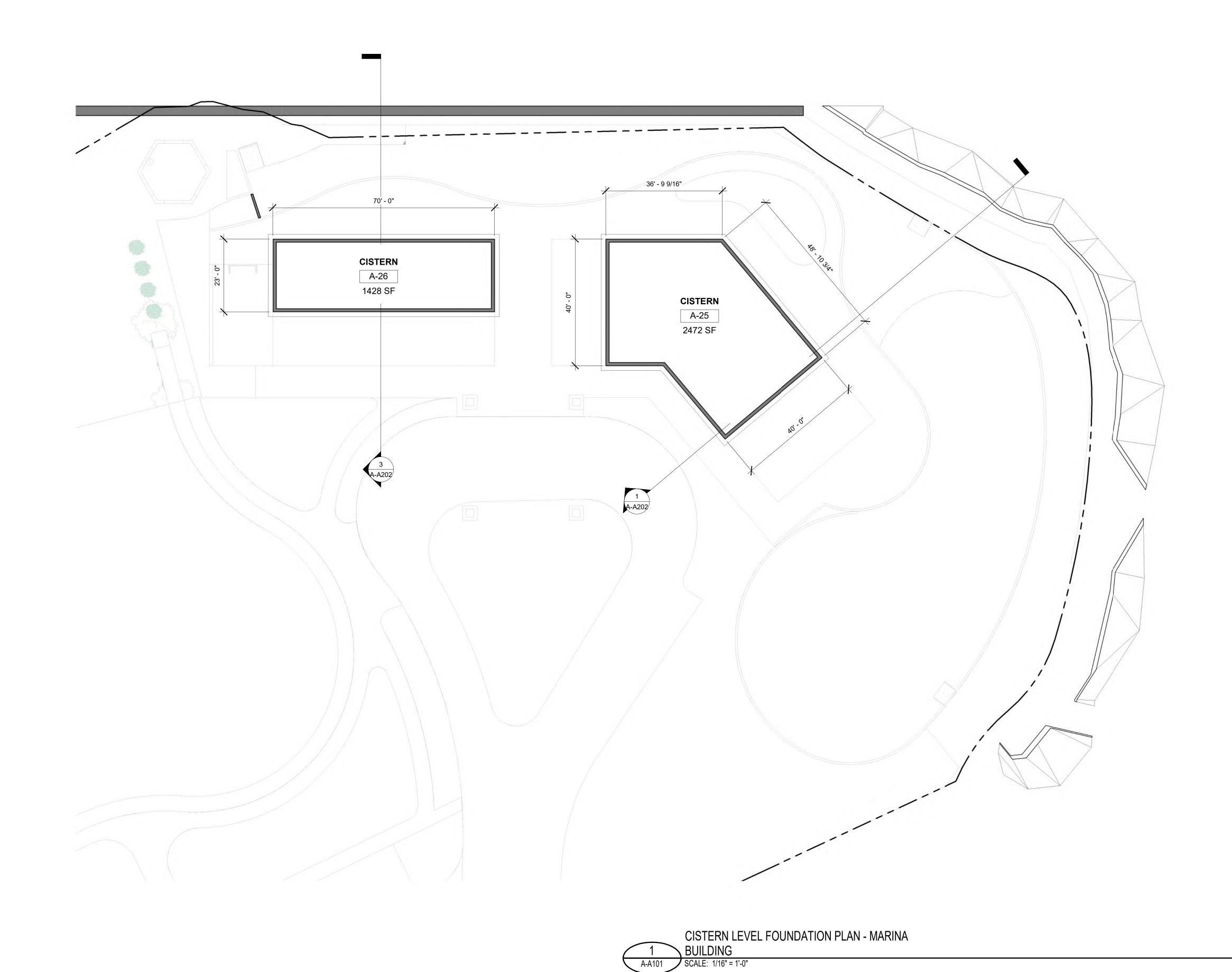
JACK ROCK B-A C LLC

LANSCAPE & IRRIGATION PLAN

2021002 05.03.2021

A112

Drawing No.





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ISSUANCES		
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING - FLOOR PLAN - CISTERN LEVEL

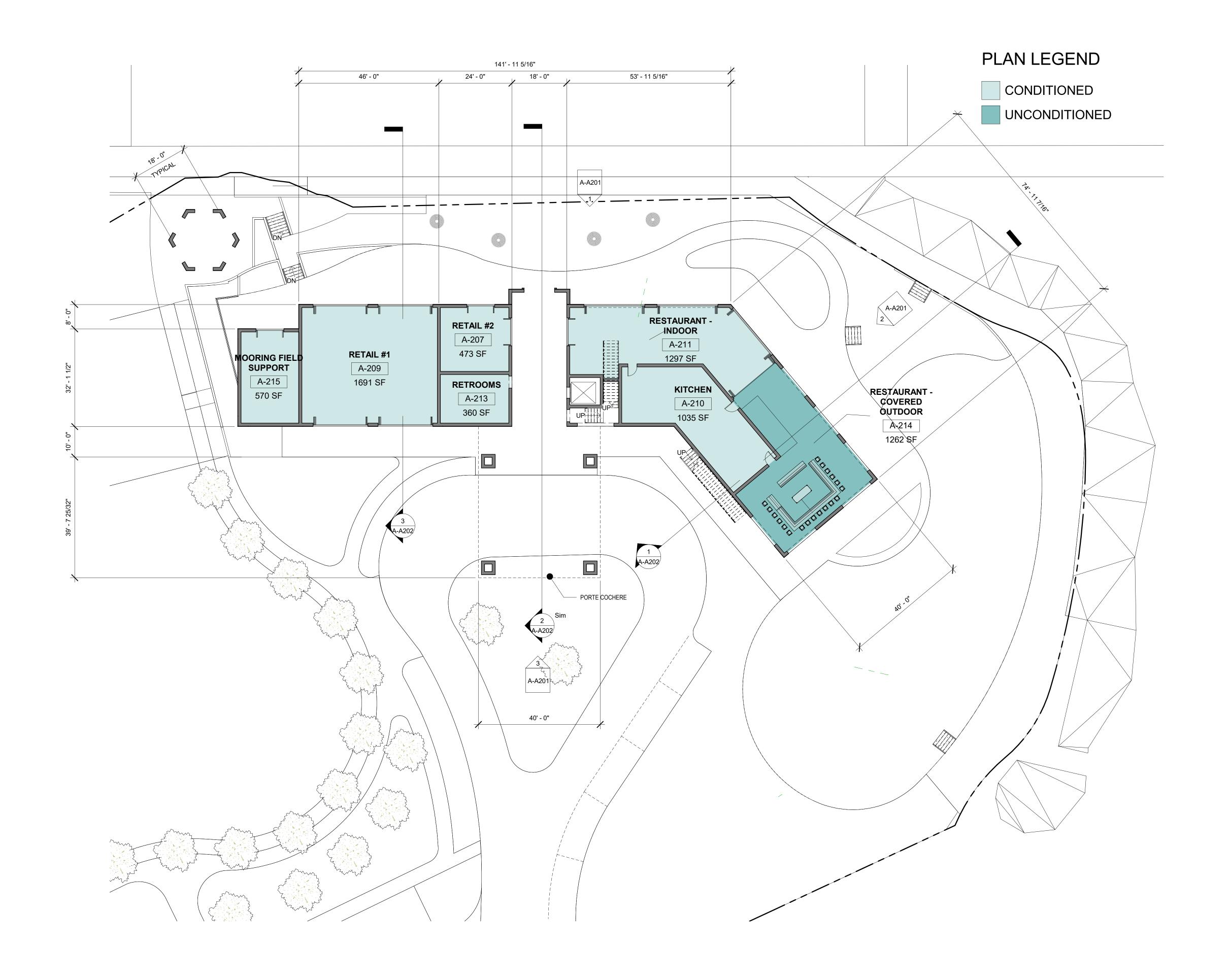
 Checker
 2021002

 Project Architect
 Project No.

 05.03.2021
 Date

A-A101

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	ISSUANCES	
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

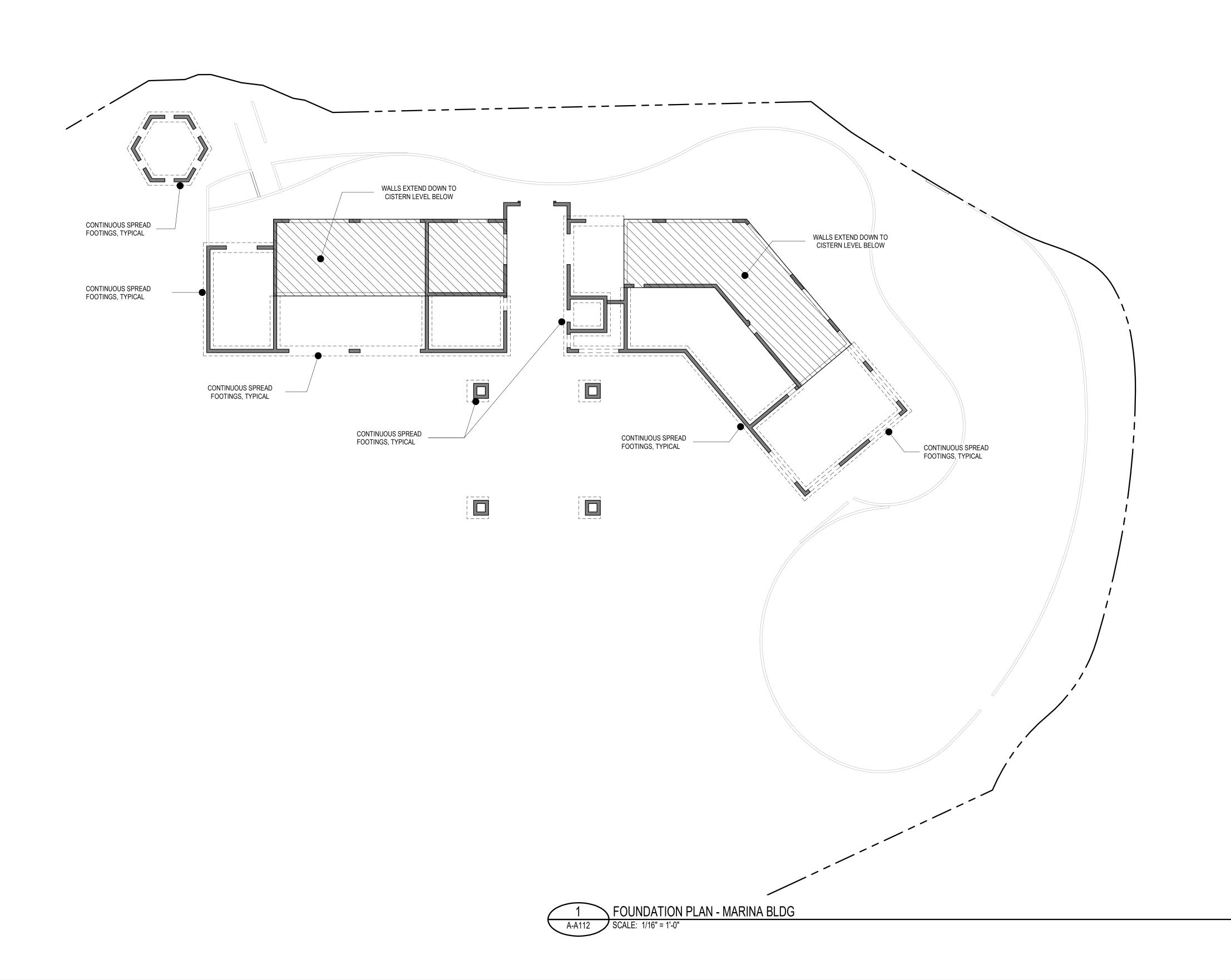
REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING - FLOOR PLAN - FIRST FLOOR

(Checker	2021002
F	Project Architect	Project No.
_		05.03.2021
_		Date

A-A111





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	ISSUANCES	
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING -FOUNDATION PLAN - FIRST FLOOR

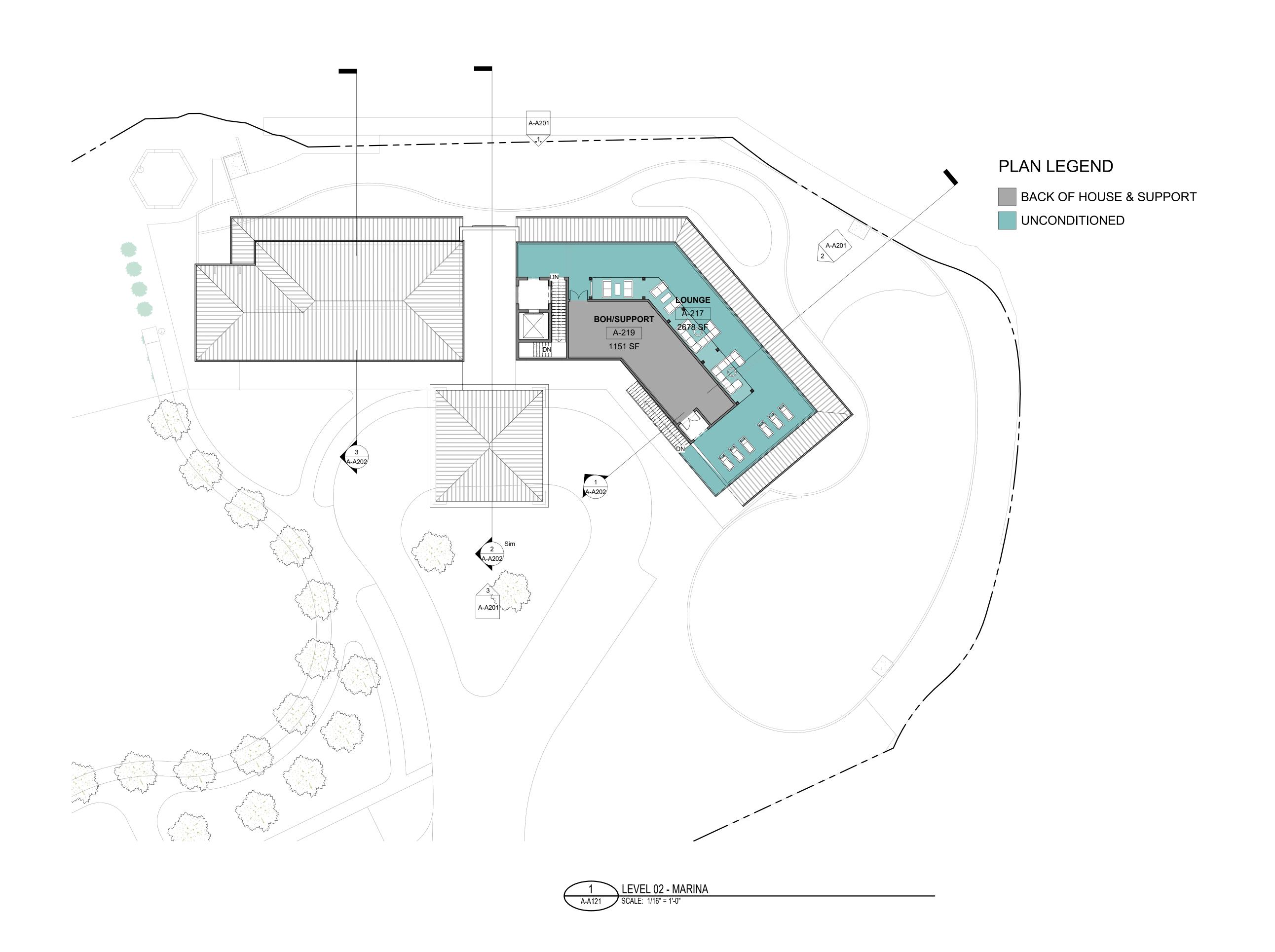
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 2021002

 Project Architect
 Project No.

 05.03.2021

 Date

A-A112





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3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

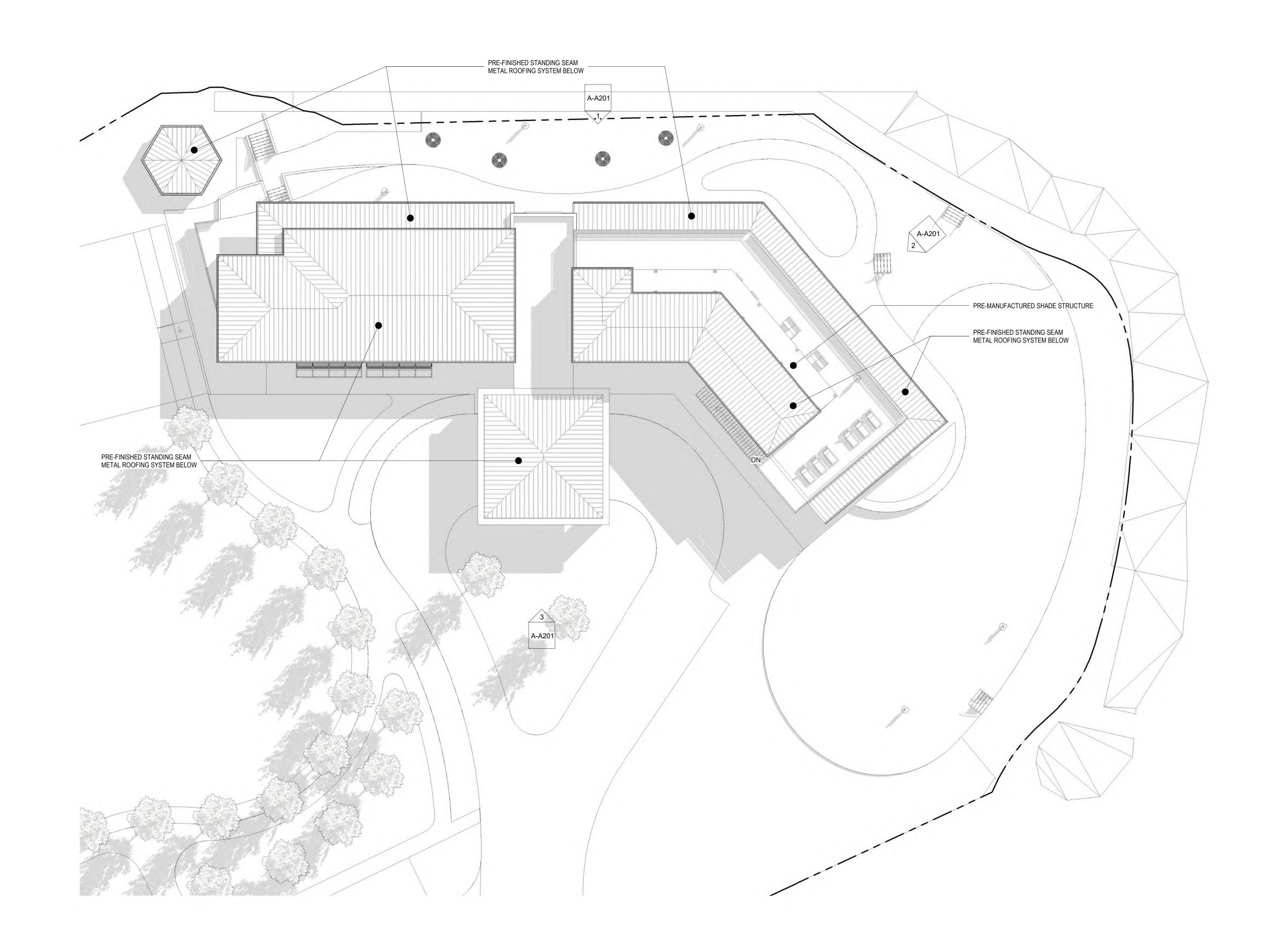
REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING - FLOOR PLAN - SECOND FLOOR

Checker	2021002
Project Architect	Project No.
	05.03.202

A-A121







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No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING - ROOF PLAN

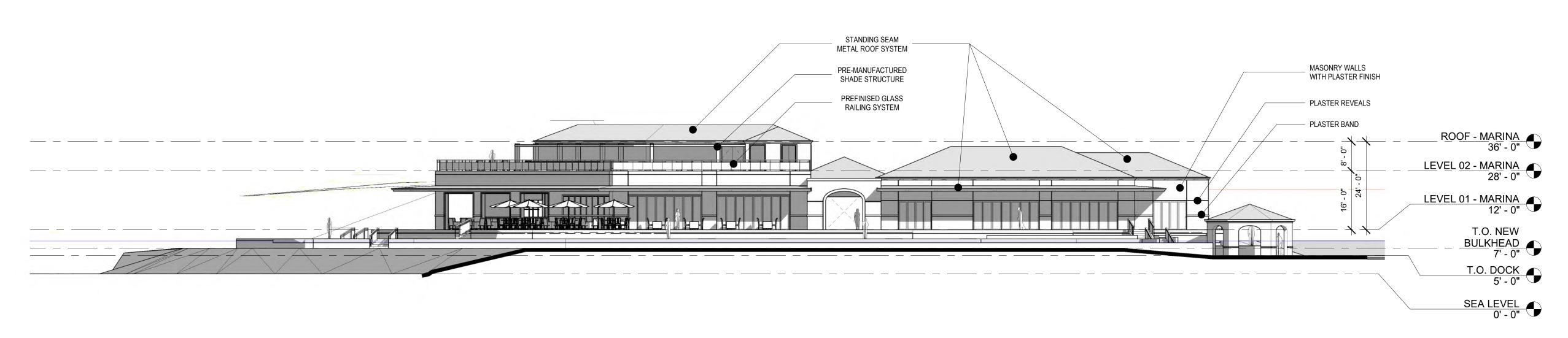
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 Project Architect
 Project No.

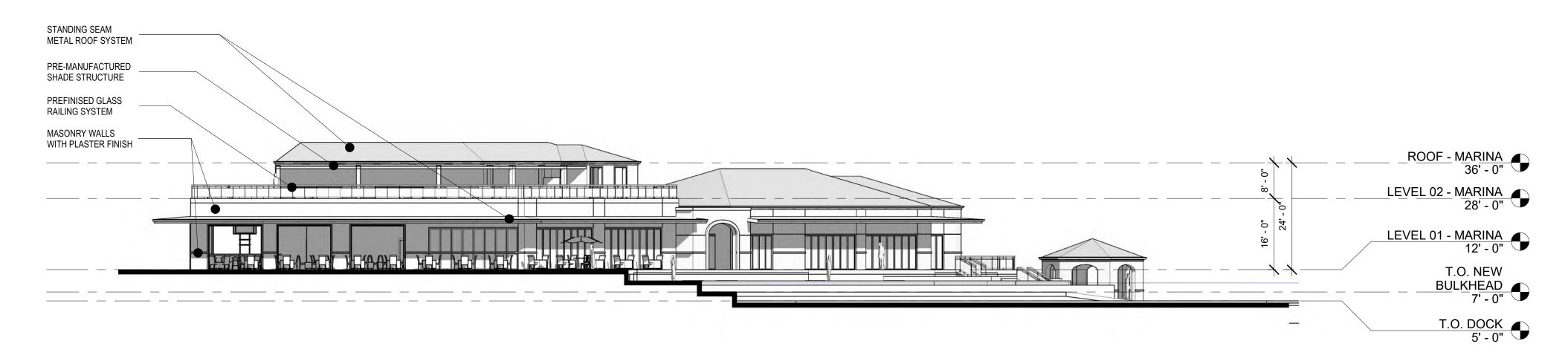
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A-A122

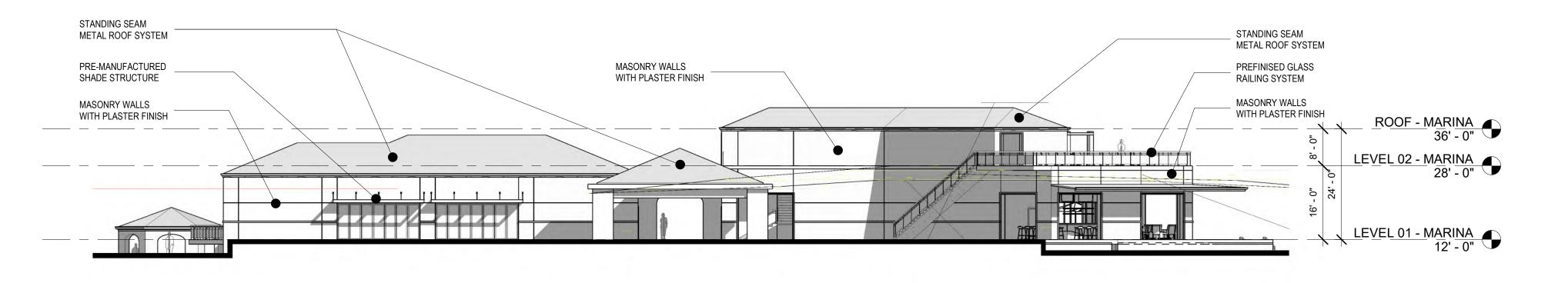
Drawing No.











3 ELEVATION - EAST - MARINA BUILDING
A-A201 SCALE: 1/16" = 1'-0"



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No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING -ELEVATIONS

Date

 Checker
 2021002

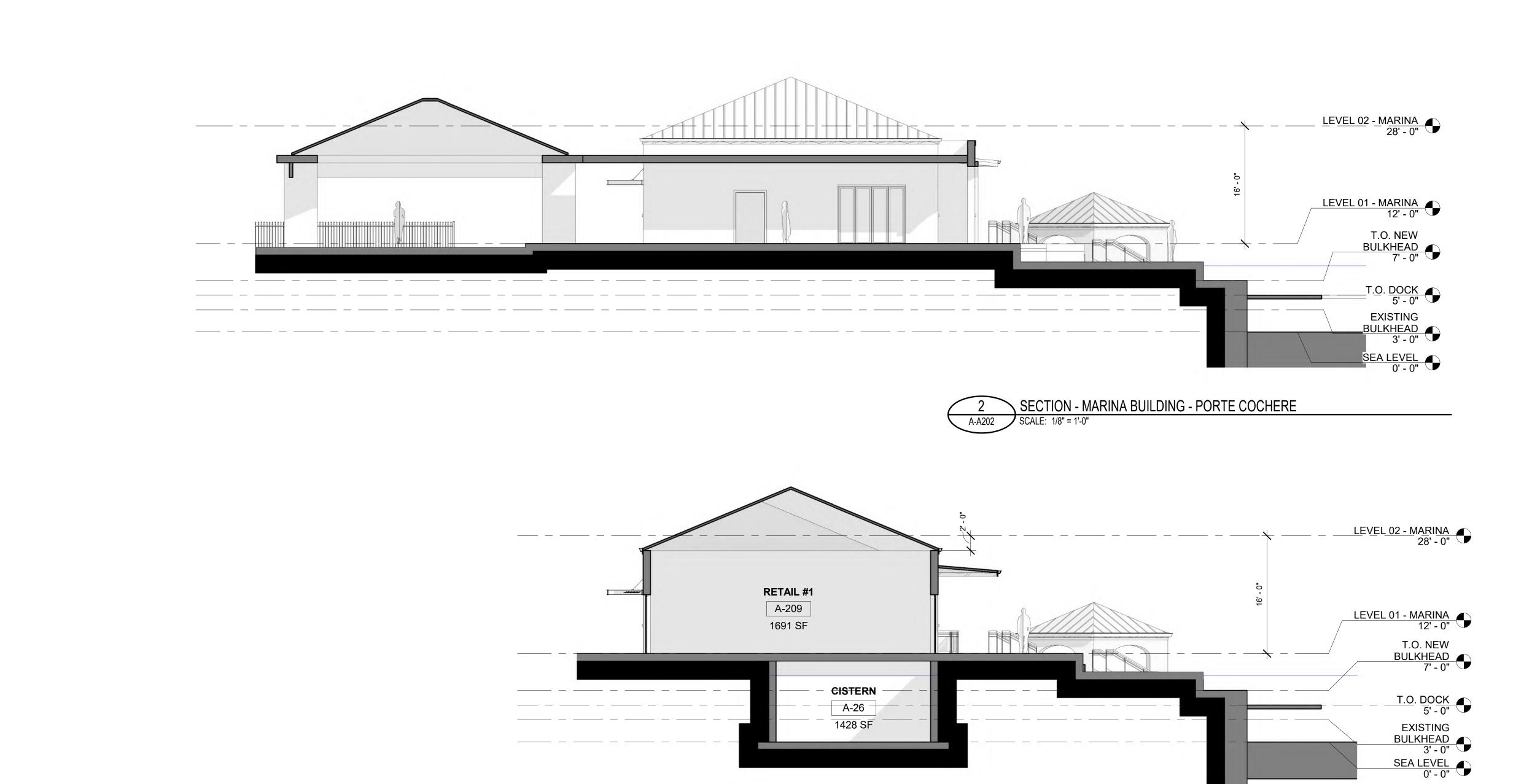
 Project Architect
 Project No.

 05.03.2021

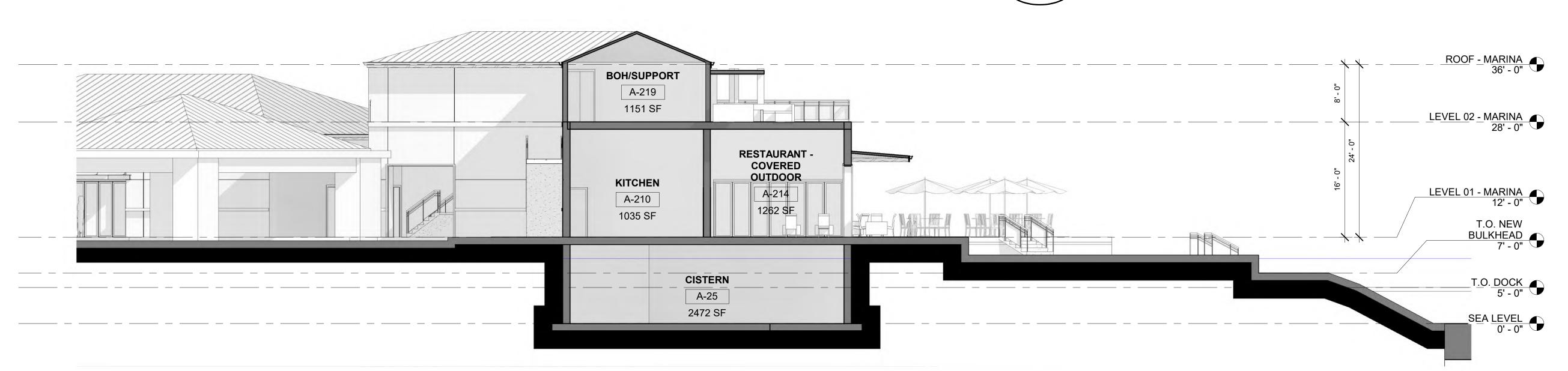
A-A201

Drawing No.

NOT ISSUED FOR CONSTRUCTION



3 SECTION - MARINA BUILDING - RETAIL
SCALE: 1/8" = 1'-0"



1 SECTION - MARINA BUILIDNG - RESTAURANT

A-A202 SCALE: 1/8" = 1'-0"



No. 33 Dronigens Gade - Queen's Quarter Post Office Box 6218 St. Thomas, USVI, 00804 **Tel:** (340)-777-1600 **Email:** jaredian2@vipowernet.net

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	ISSUANCES	
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

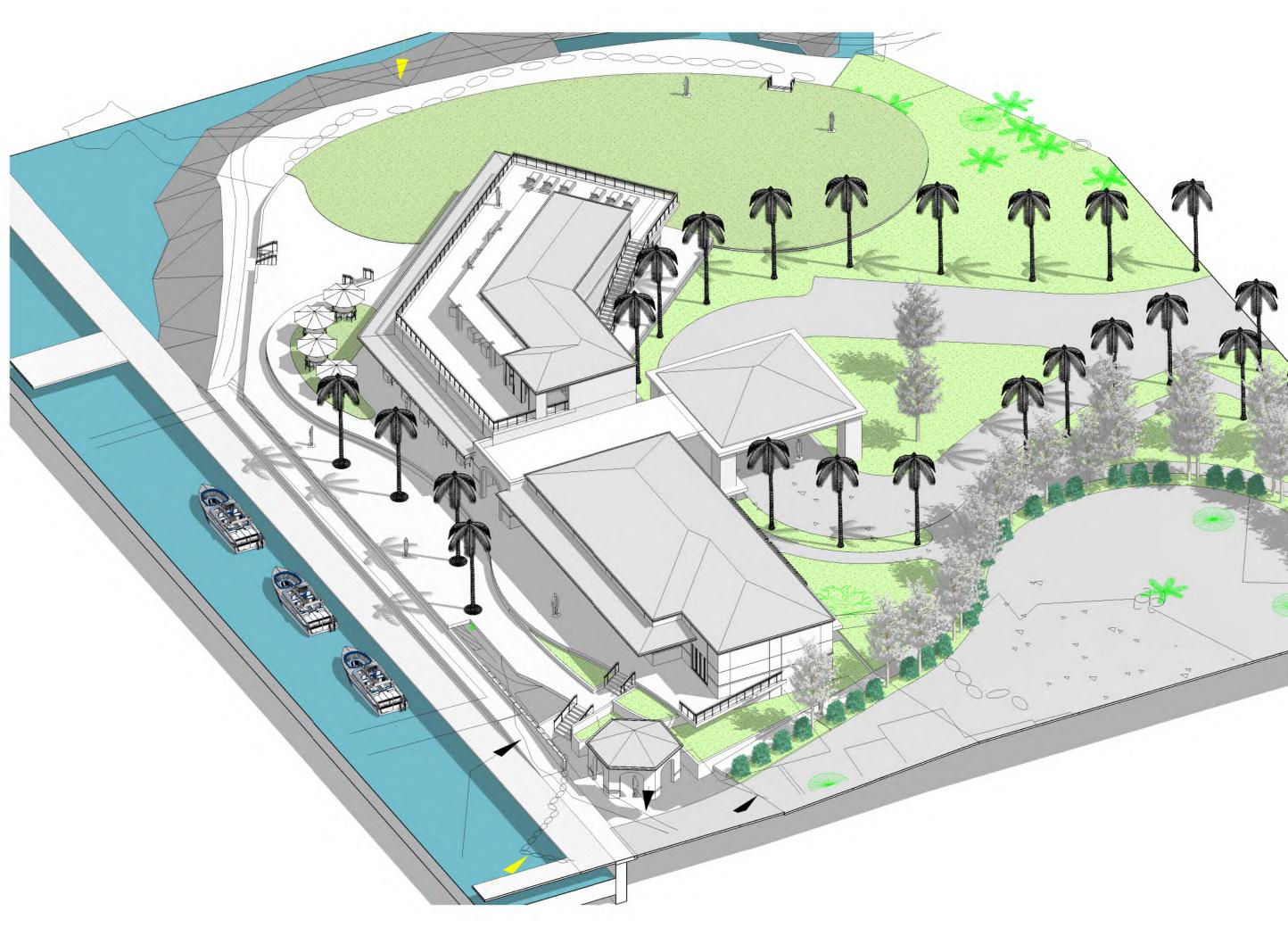
MARINA BUILDING -SECTIONS

 Checker
 2021002

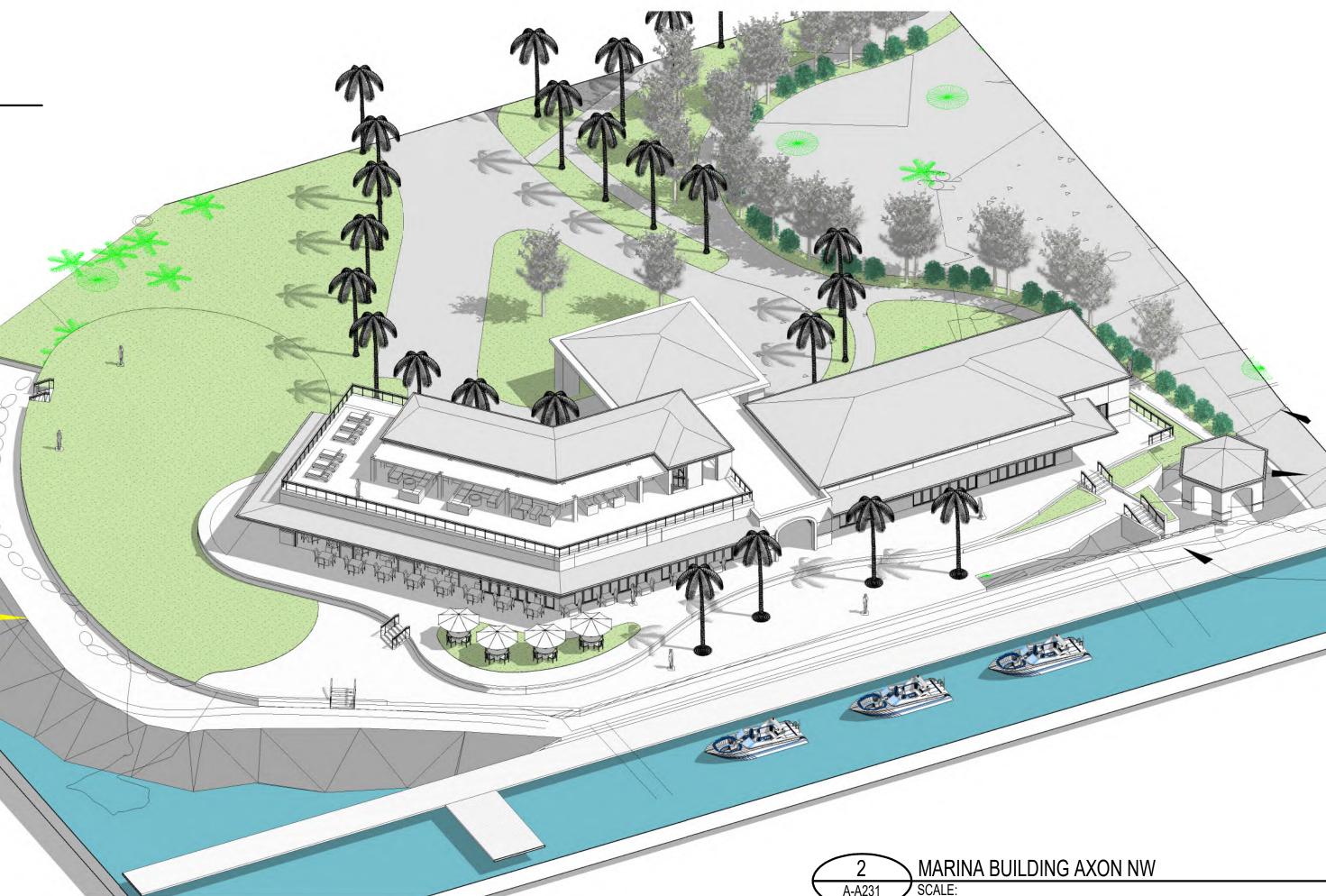
 Project No.
 05.03.2021

A-A202

Drawing No.



1 MARINA BUILDING AXON NE





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	ISSUANCES	
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA BUILDING -AXONOMETRIC VIEWS

	Checker	2021002
	Project Architect	Project No.
_		05.03.2021
		 Date

A-A231

Drawing No.





DESIGN DISTRICT

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	ISSUANCES	
No.	Drawing Issue Description	Date

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

OVERALL SITE AXON

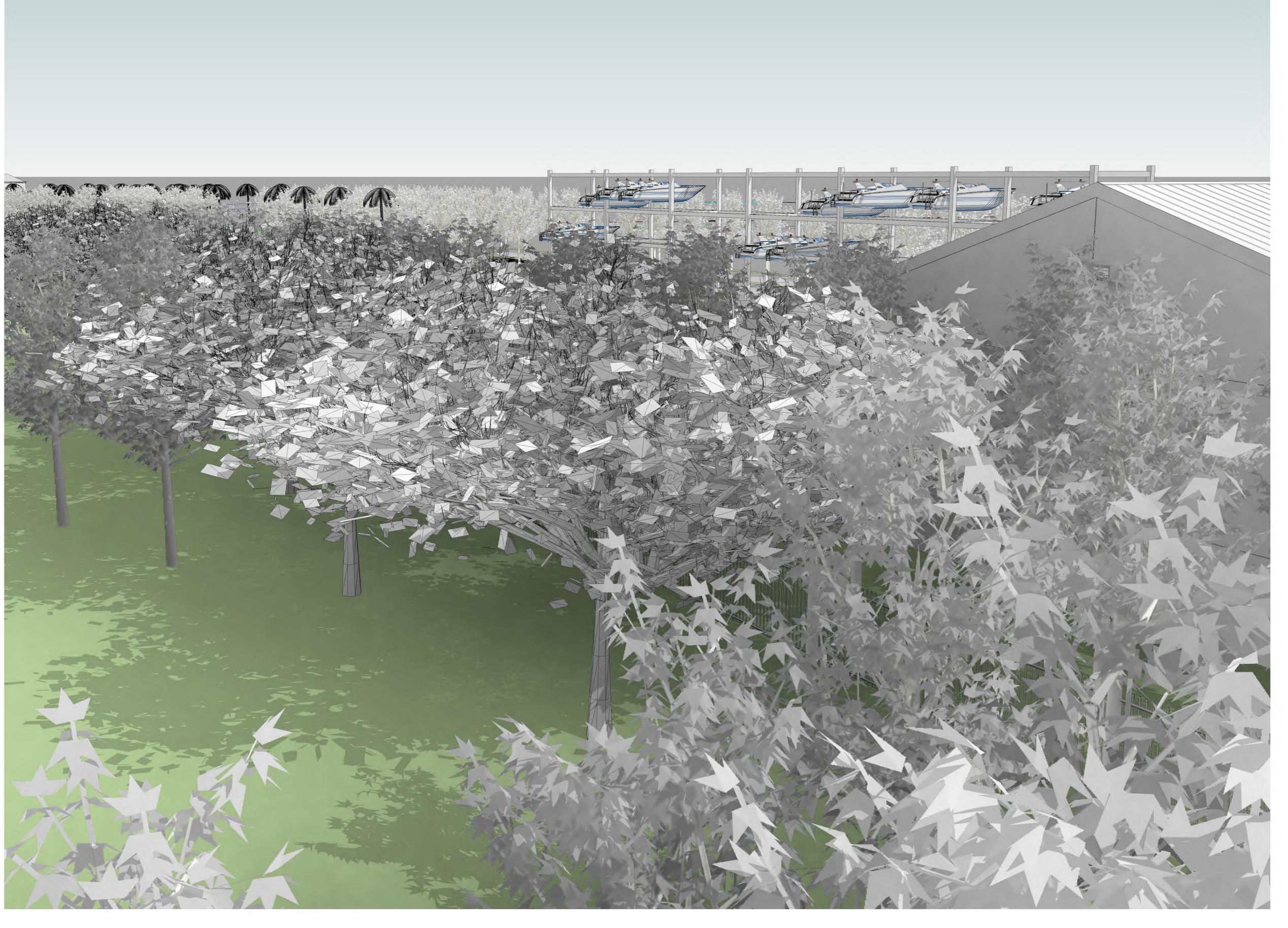
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 2021002

 Project Architect
 Project No.

 06/22/22

A-A232

Drawing No.







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	ISSUANCES	
No.	Drawing Issue Description	Date
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

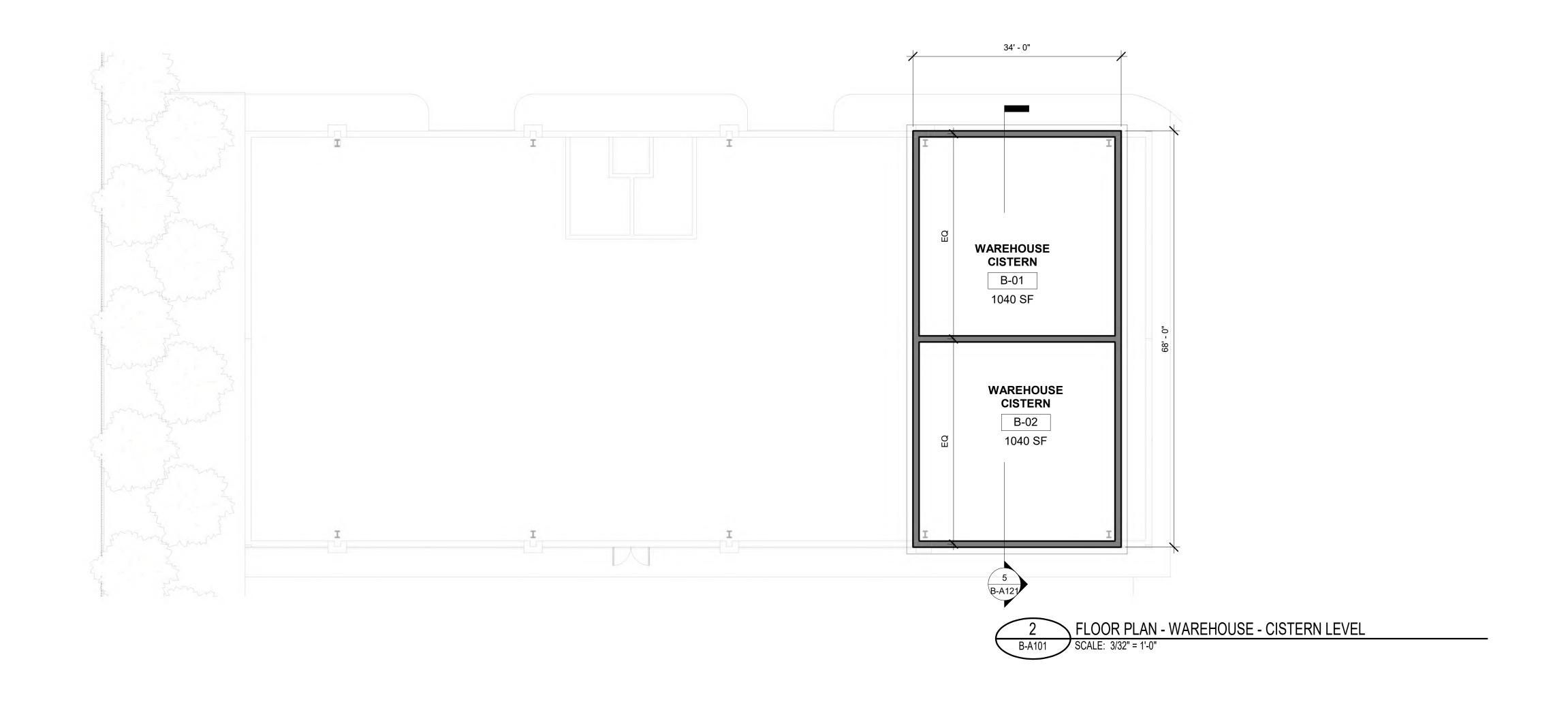
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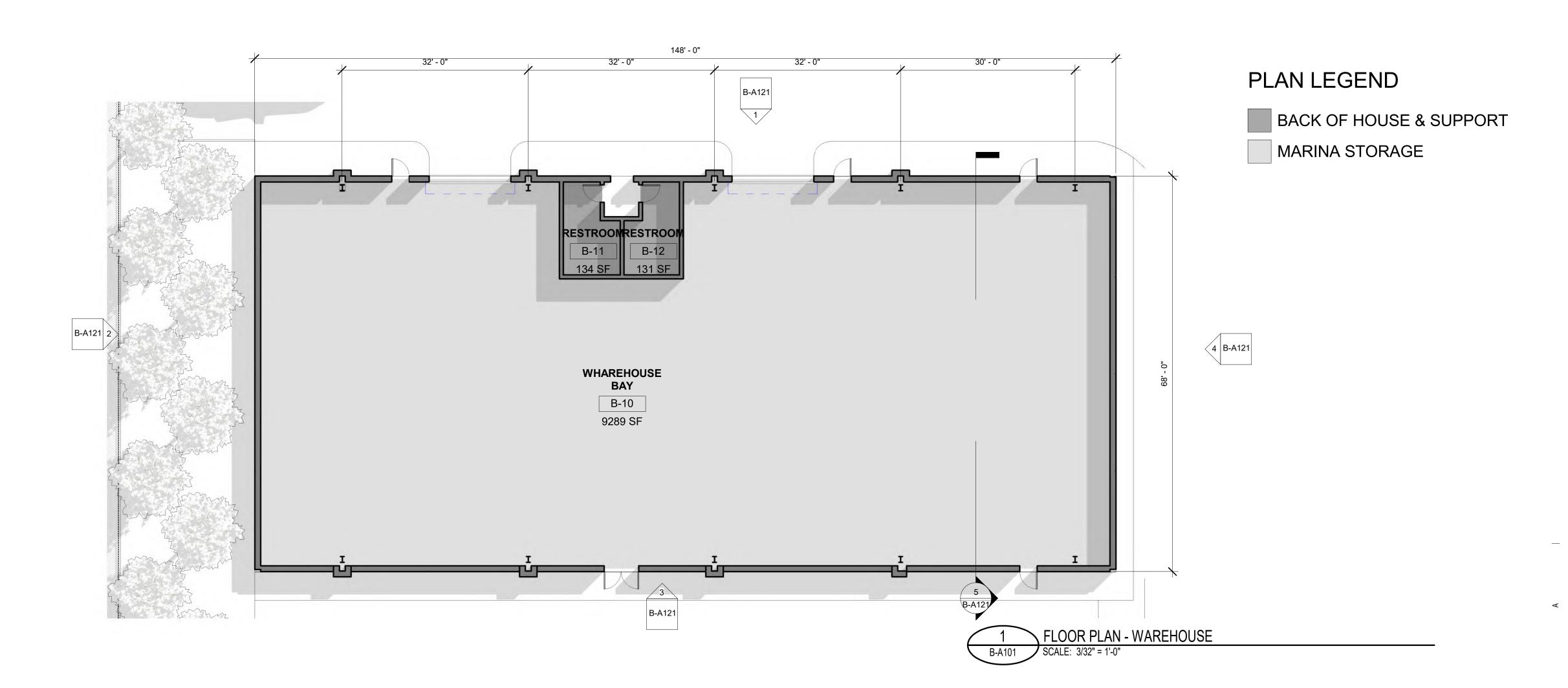
JACK ROCK B-A C LLC

VIEW FROM APARTMENT NEXT DOOR

2021002 Project No. 09/15/22 Date

A-A233







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	ISSUANCES	
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

WAREHOUSE - FLOOR PLANS

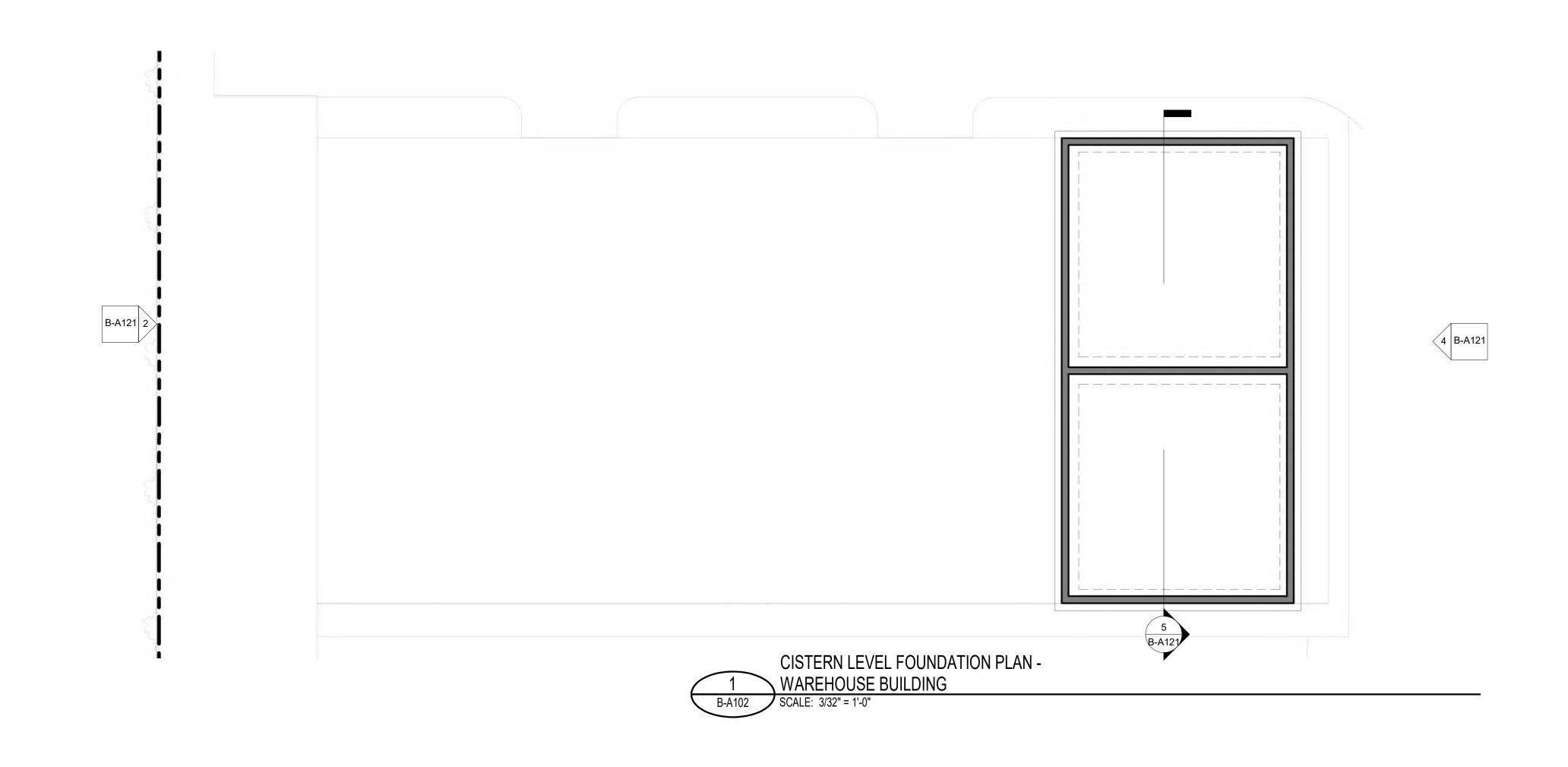
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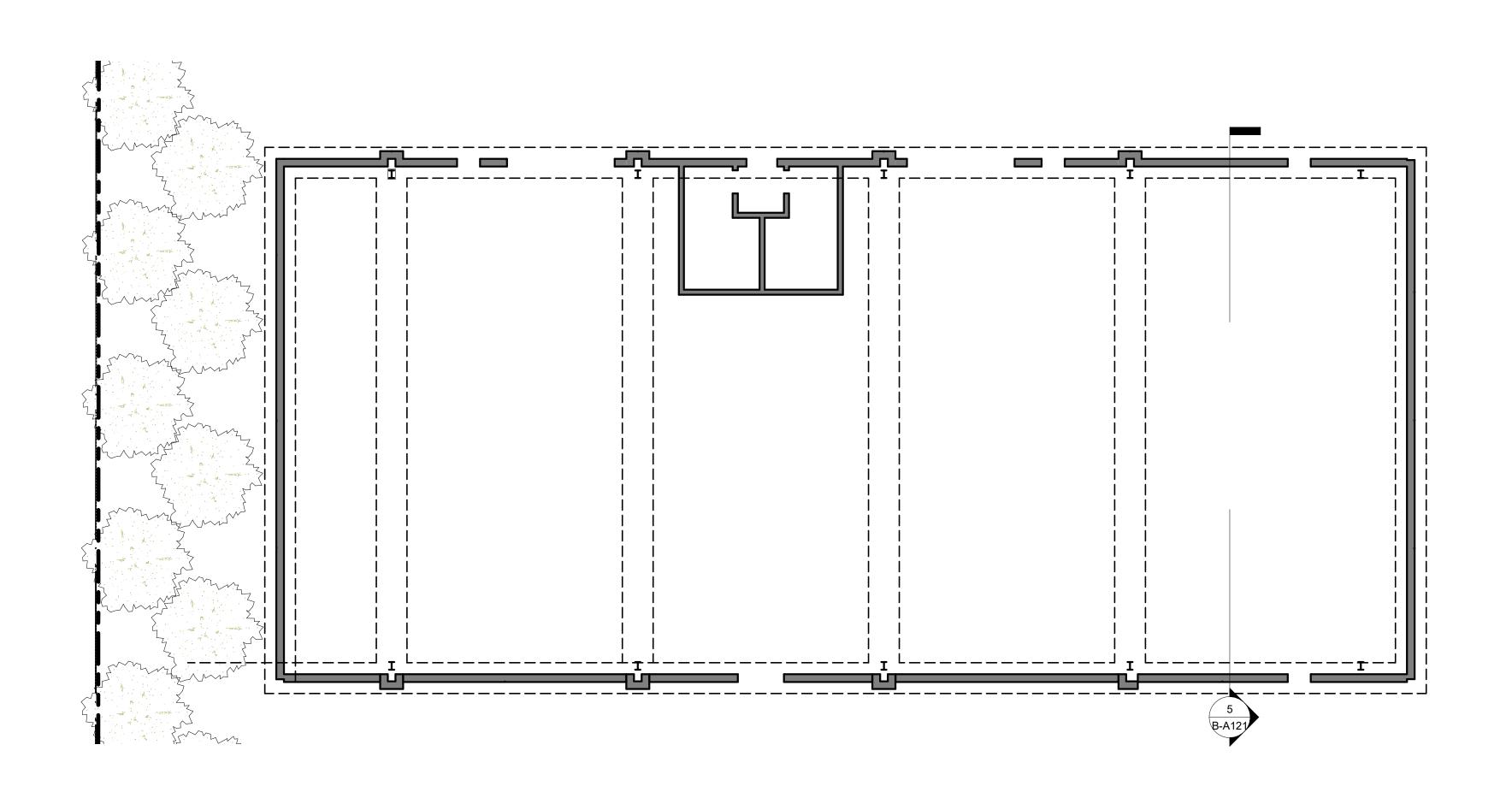
 Project Architect
 Project No.

 05.03.2021
 Date

B-A101

Drawing No.









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2	CZM APPLICATION	5/5/2021
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LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

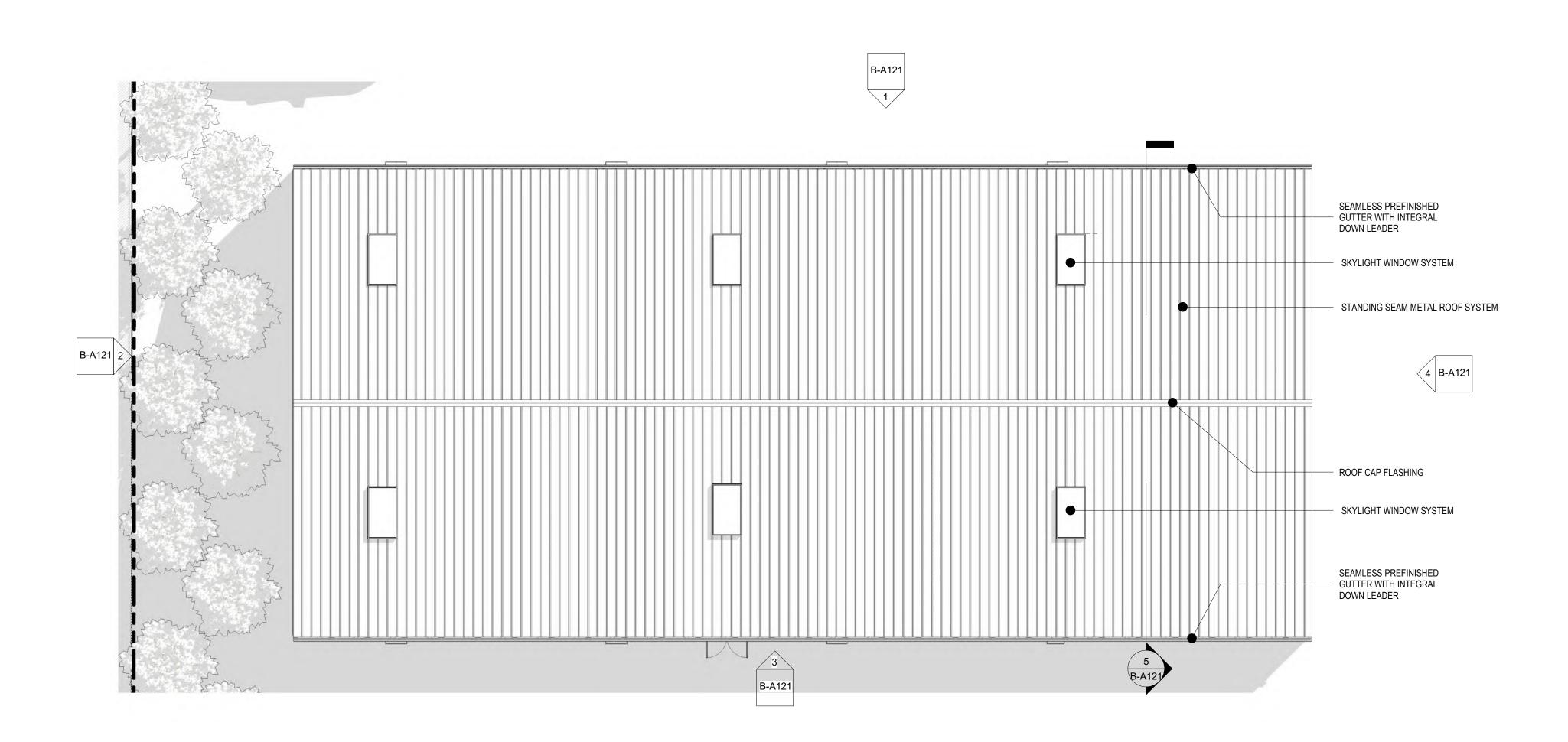
JACK ROCK B-A C LLC

WAREHOUSE - FOUNDATION PLANS

Checker	2021002
Project Architect	Project No.
	05.03.2021
	Dete

B-A102

Drawing No.







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4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

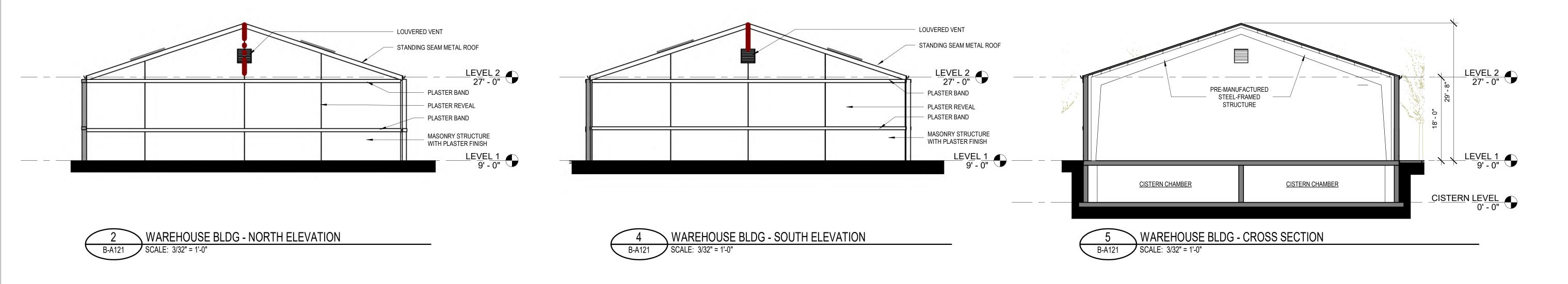
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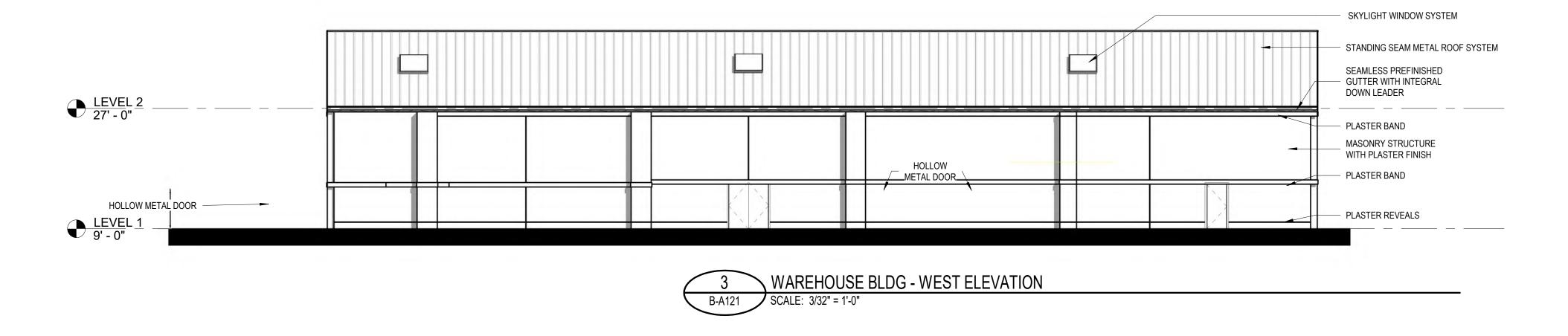
WAREHOUSE - ROOF PLAN

Checker	2021002
Project Architect	Project No.
	05.03.2021
	Date

B-A103

Drawing No.







1 WAREHOUSE BLDG - EAST ELEVATION

B-A121 SCALE: 3/32" = 1'-0"



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LATITUDE 18 MARINA

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JACK ROCK B-A C LLC

WAREHOUSE - ELEVATIONS

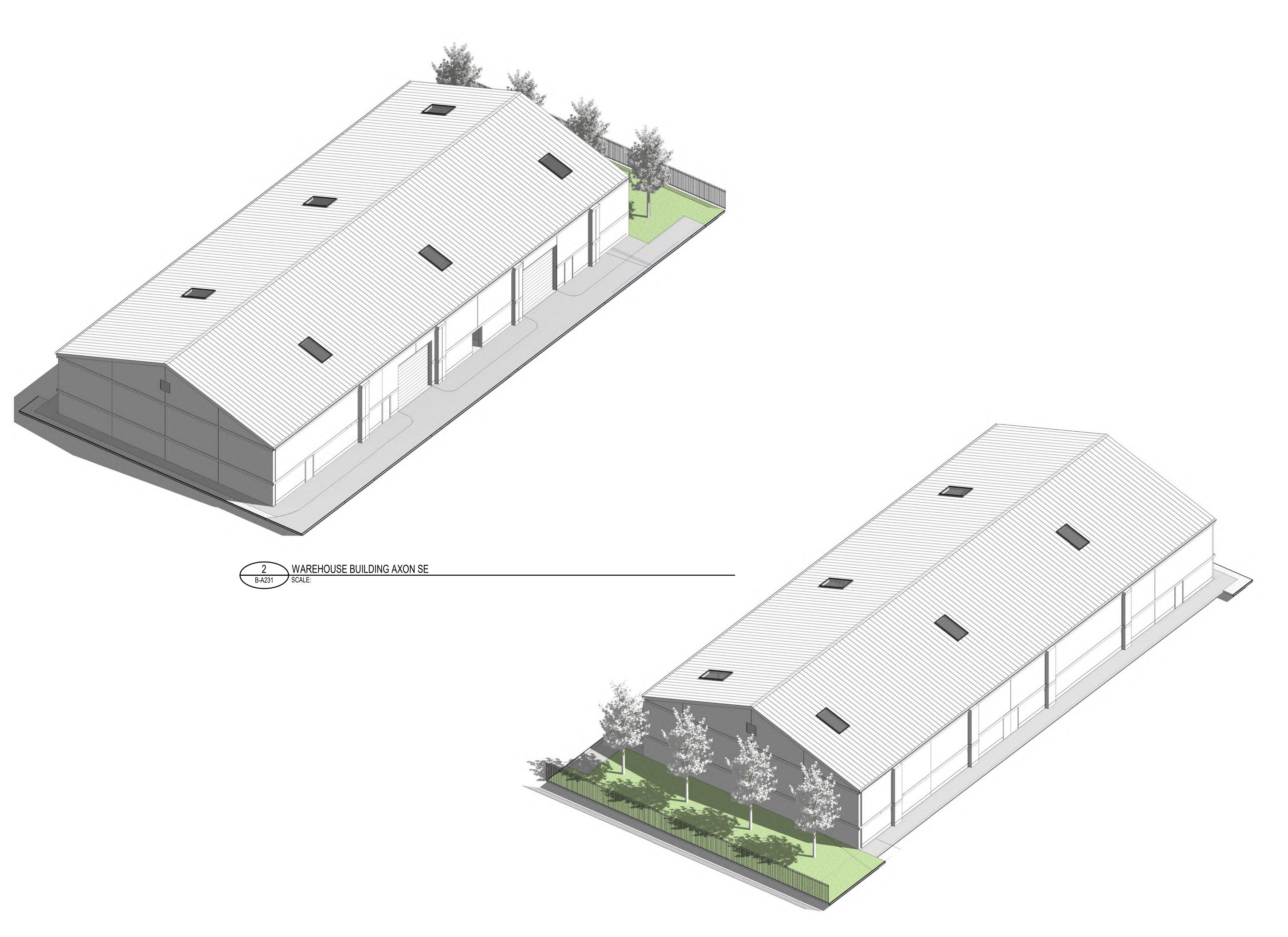
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 2021002

 Project No.
 05.03.2021

B-A121

Drawing No.

NOT ISSUED FOR CONSTRUCTION



WAREHOUSE BUILDING AXON NW

Jaredian Design Group

Architects, Engineers and Planners

No. 33 Dronigens Gade - Queen's Quarter Post Office Box 6218 St. Thomas, USVI, 00804 **Tel:** (340)-777-1600 **Email:** jaredian2@vipowernet.net

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1200 Hillcrest Street, Suite 200 Orlando, FL, 32803 Phone: (407)-629-4777 Email: info@harriscivilengineers.com



2047 Vista Parkway, Suite 101 West Palm Beach, FL, 33411 Contact: Esteban Biondi Phone:561-472-2145 Email: ebiondi@appliedtm.com

	ISSUANCES	
No.	Drawing Issue Description	Date
2	CZM APPLICATION	5/5/2021
3	CZM APPLICATION REVISION	1/15/2022
4	CZM APPLICATION REVISION	12/15/2022

LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

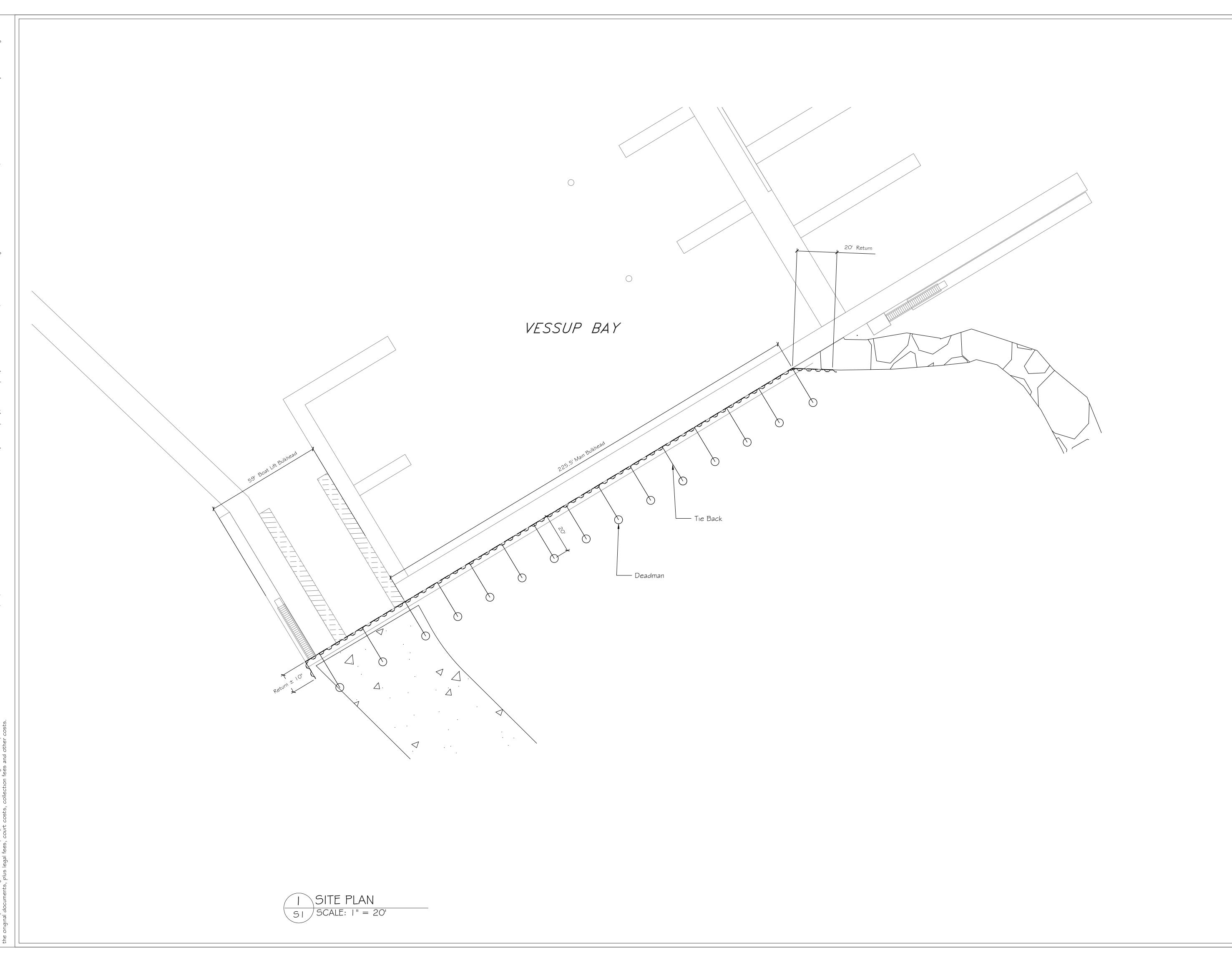
JACK ROCK B-A C LLC

WAREHOUSE BUILDING - AXONOMETRIC VIEWS

Checker	2021002
Project Architect	Project No.
	05.03.2021
	 Date

B-A231

______ Drawing No



PROPERTY

LATITUDE 18 MARINA 9B-A ESTATE NAZRETH ST.THOMAS, USVI

SITE PLAN

	REVISIONS	
No	DESCRIPTION	DATE

PAUL FERRERAS, PE

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SCALE
As Shown

DATE

SCALE
1 OF 2

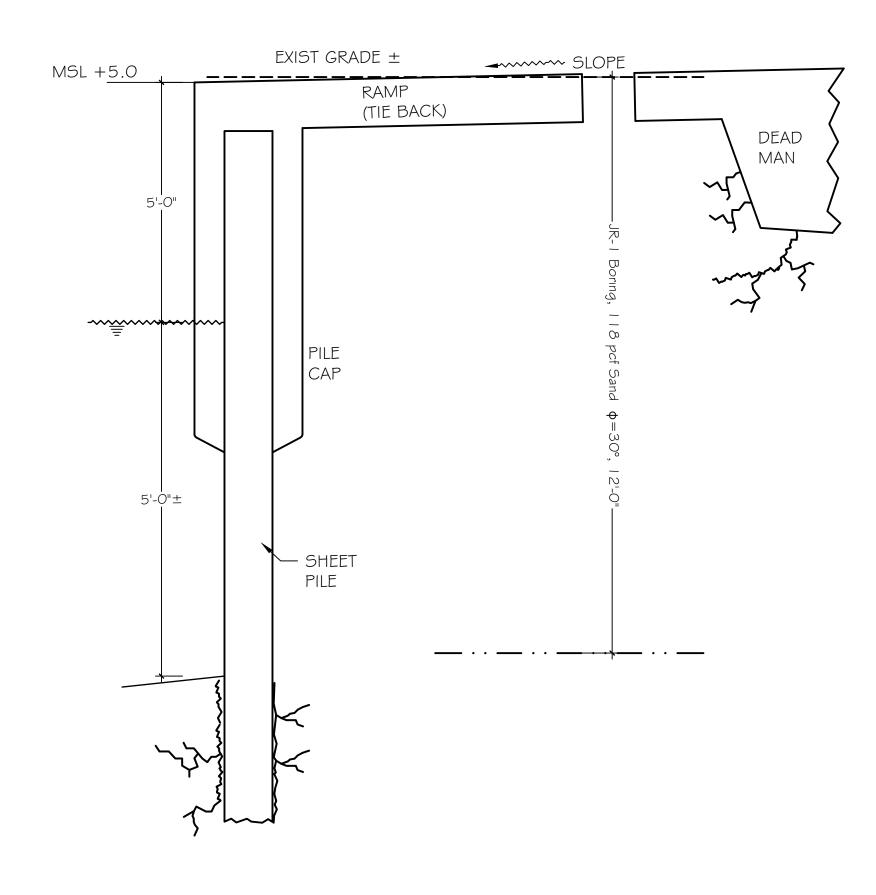
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BULKHEAD SECTION (A)

S2 SCALE: 1/2" = 1'-0"

EMBEDMENT

DROP BULKHEAD FOR BOAT LIFT



2 BULKHEAD SECTION B 52 SCALE: 1/2" = 1'-0" PROPERTY

LATITUDE 18 MARINA 9B-A ESTATE NAZRETH ST.THOMAS, USVI

BULKHEAD SECTIONS

REVISIONS	
DESCRIPTION	DATE

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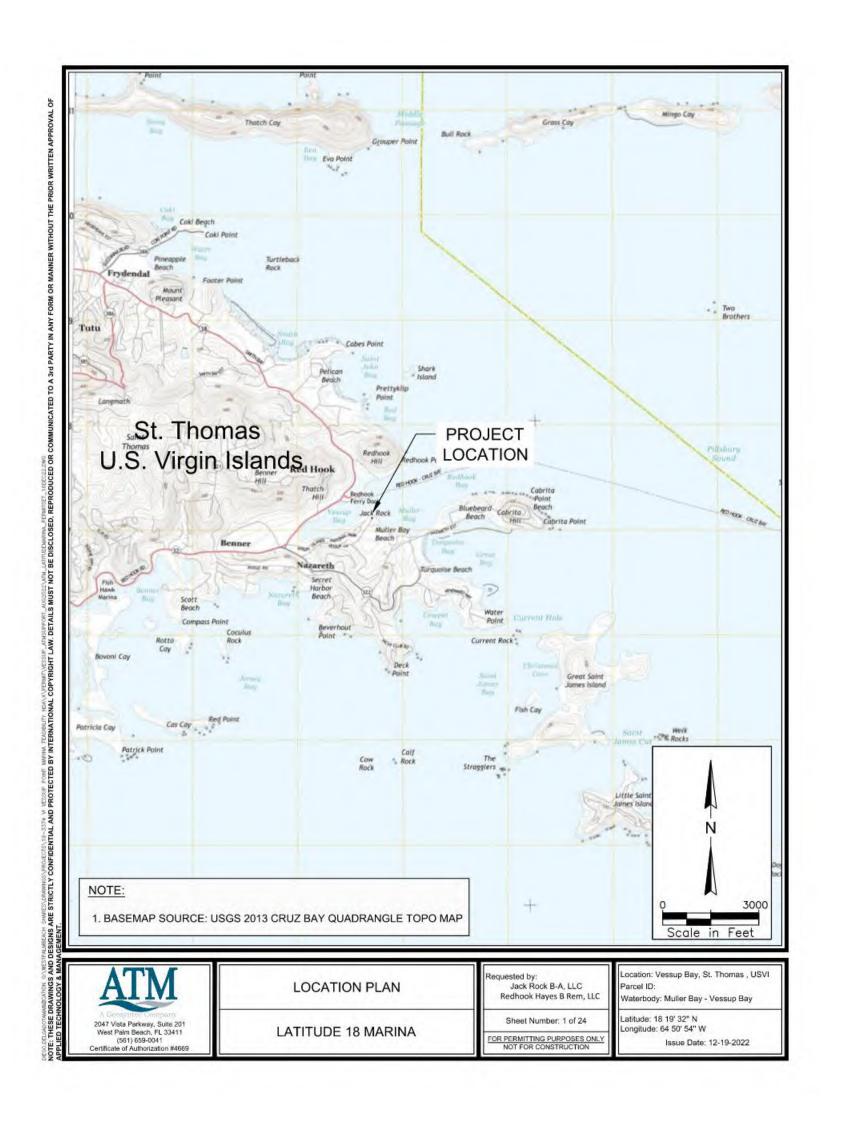
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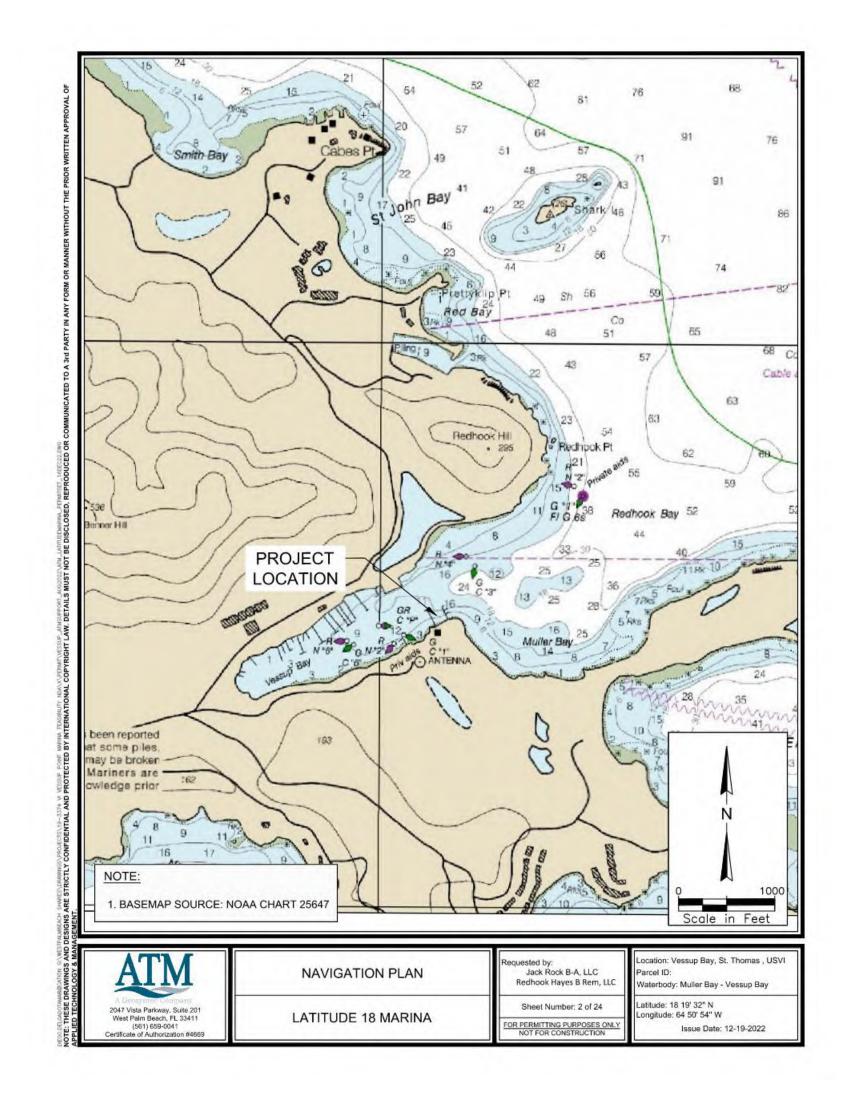
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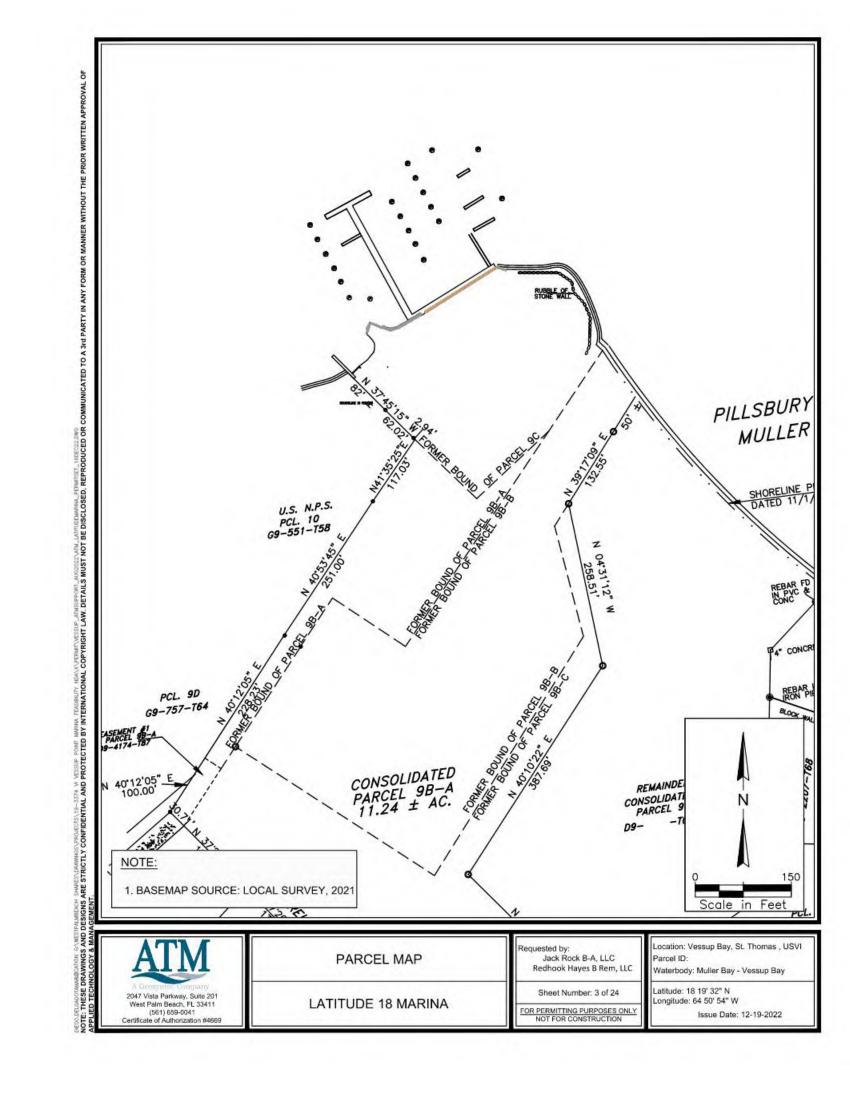
April 26th 2021

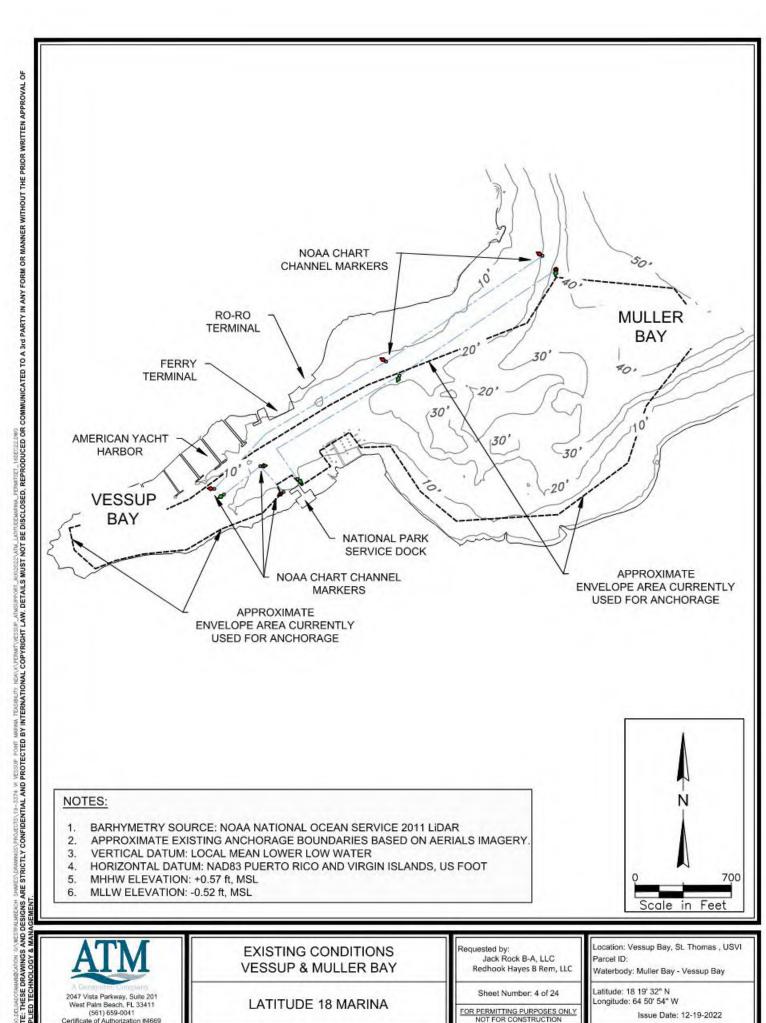
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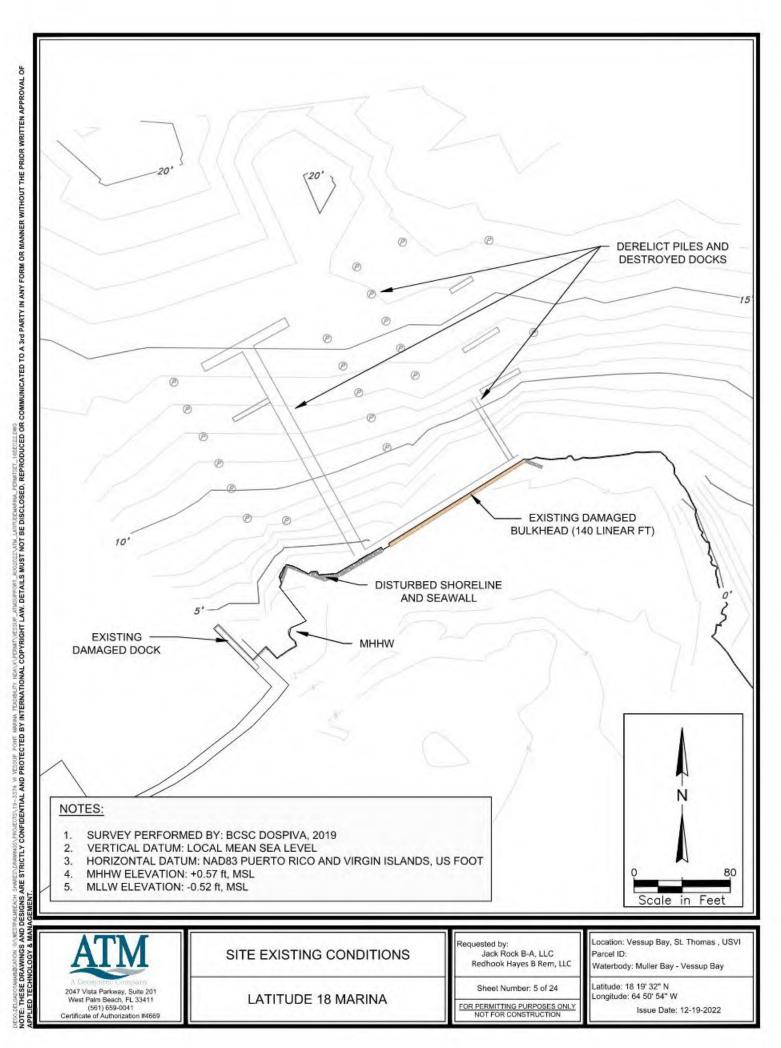
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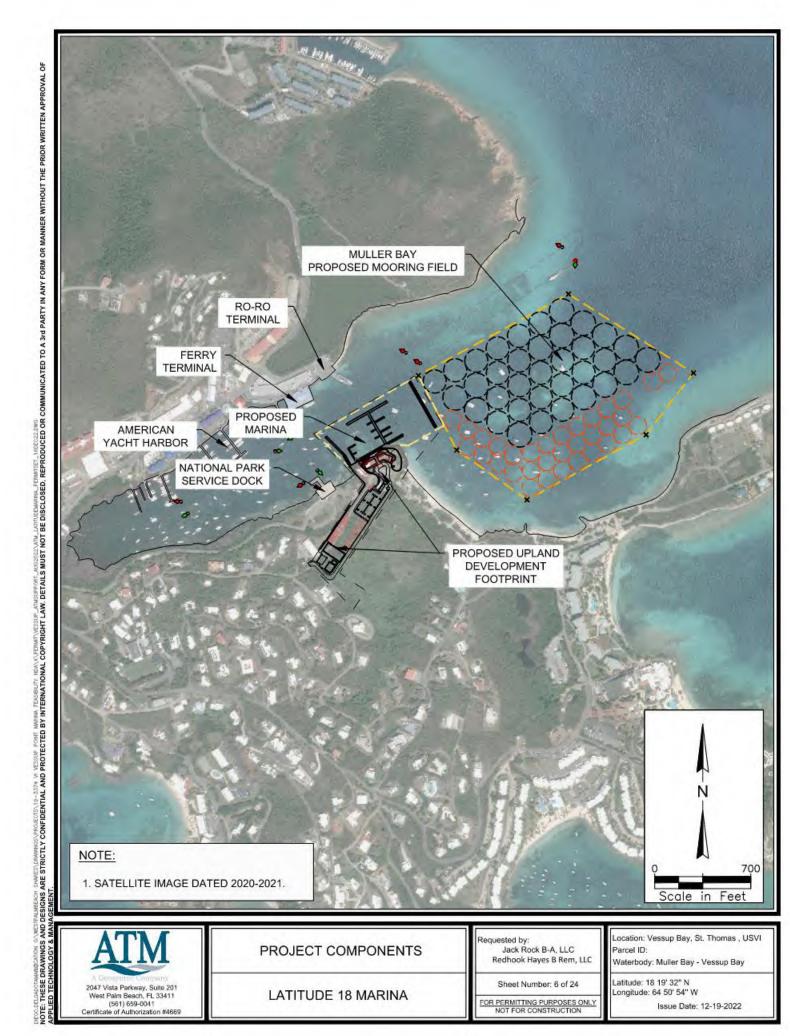














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LATITUDE 18 MARINA

REM. CONSOLIDATED 9B-A NAZARETH ST. THOMAS, USVI

JACK ROCK B-A C LLC

MARINA & MOORING EXHIBITS

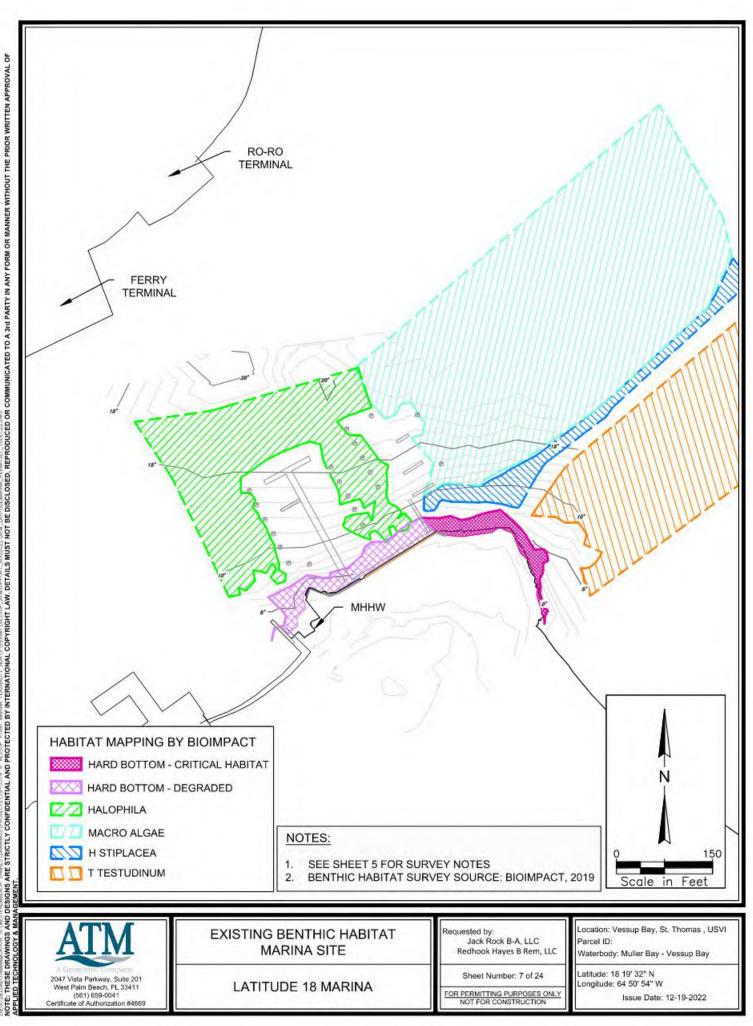
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 2021002

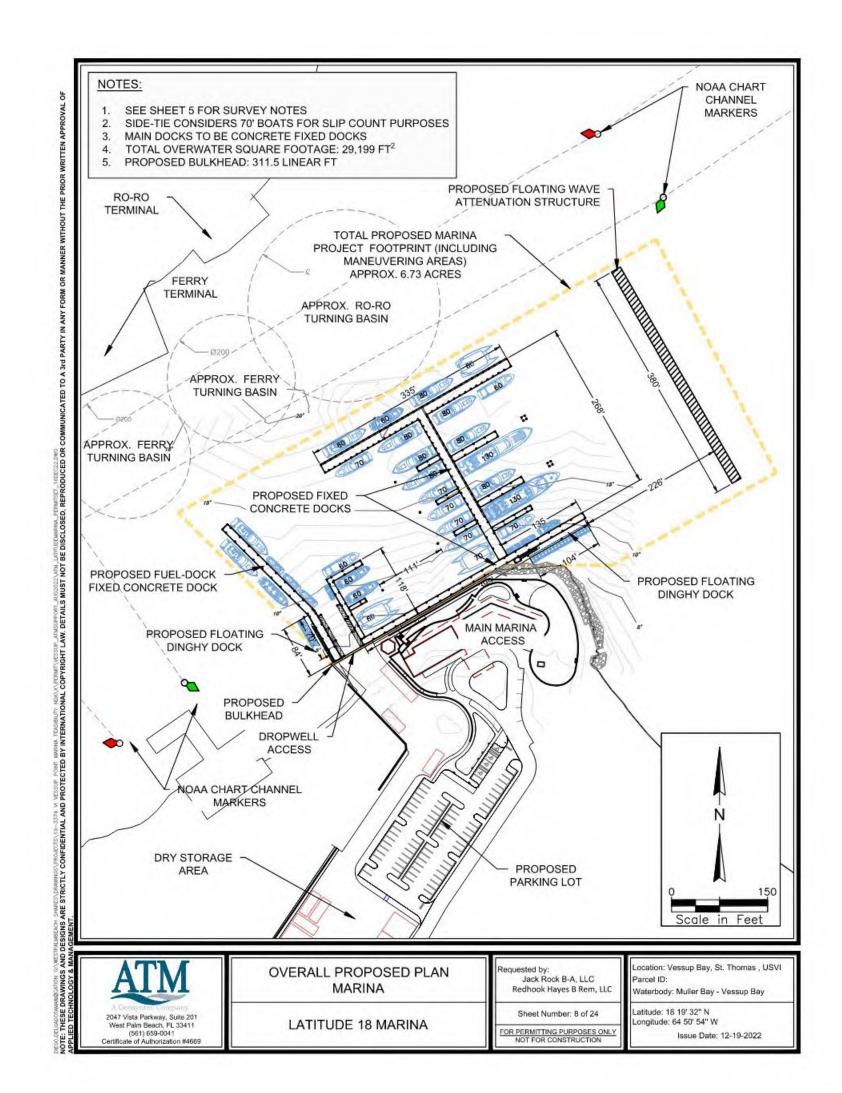
 Project Architect
 Project No.

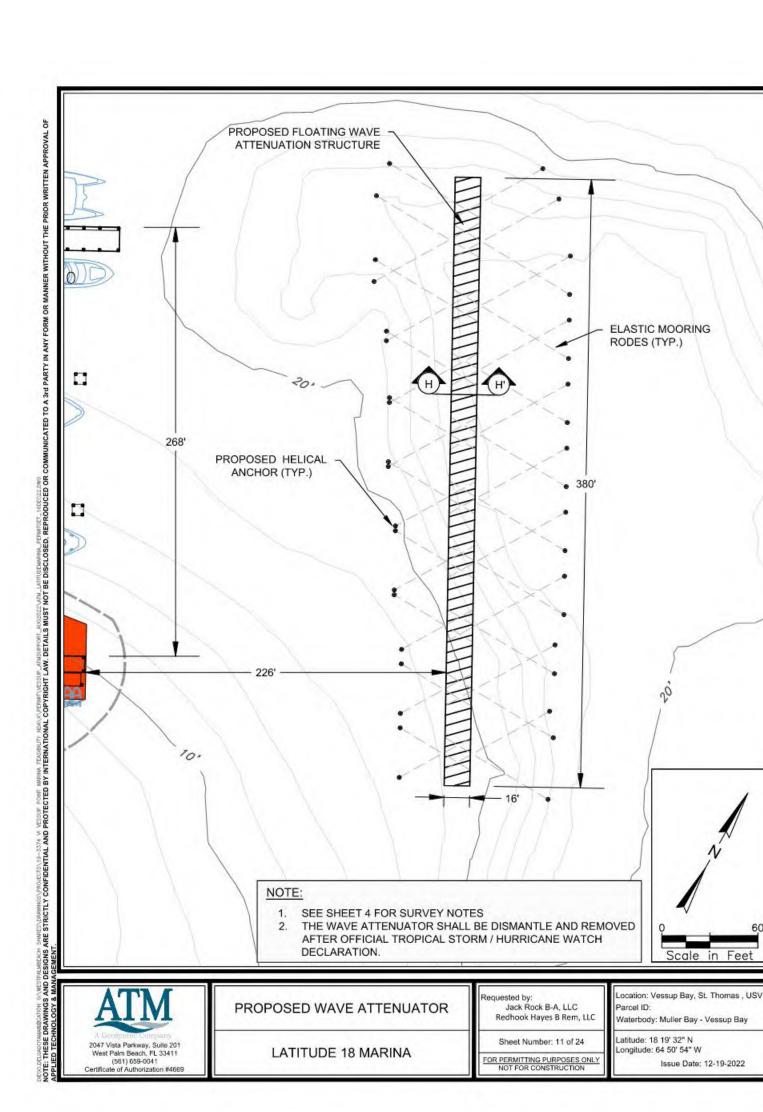
 05.03.2021

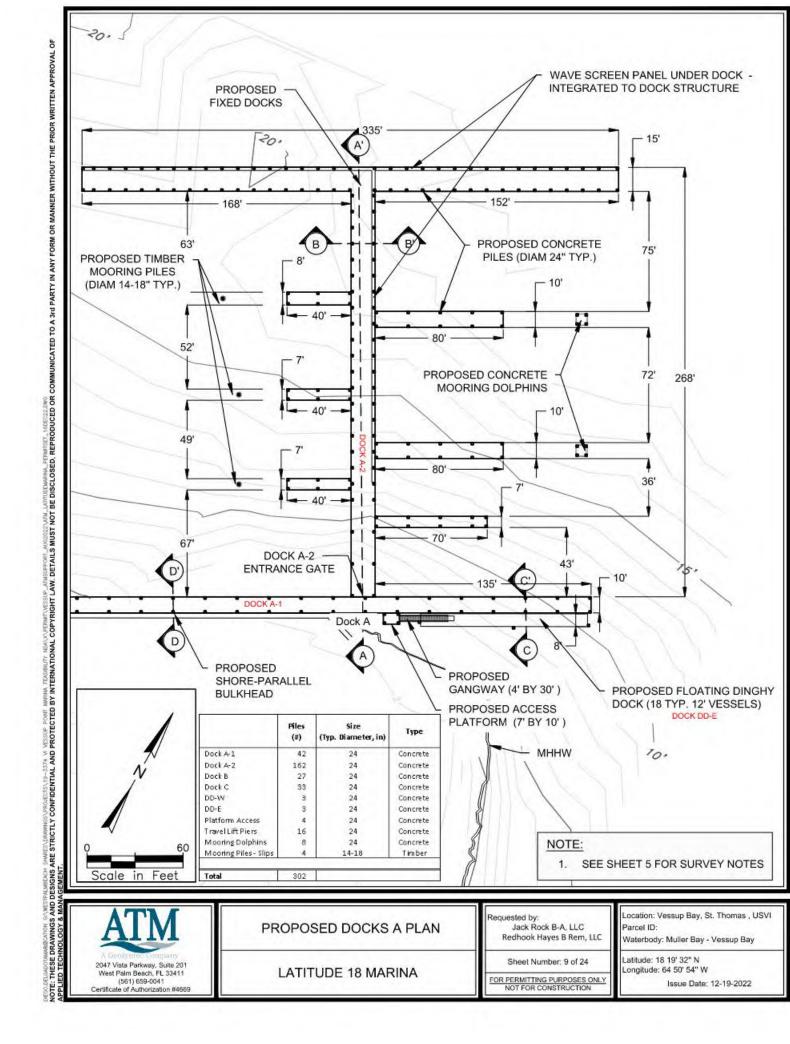
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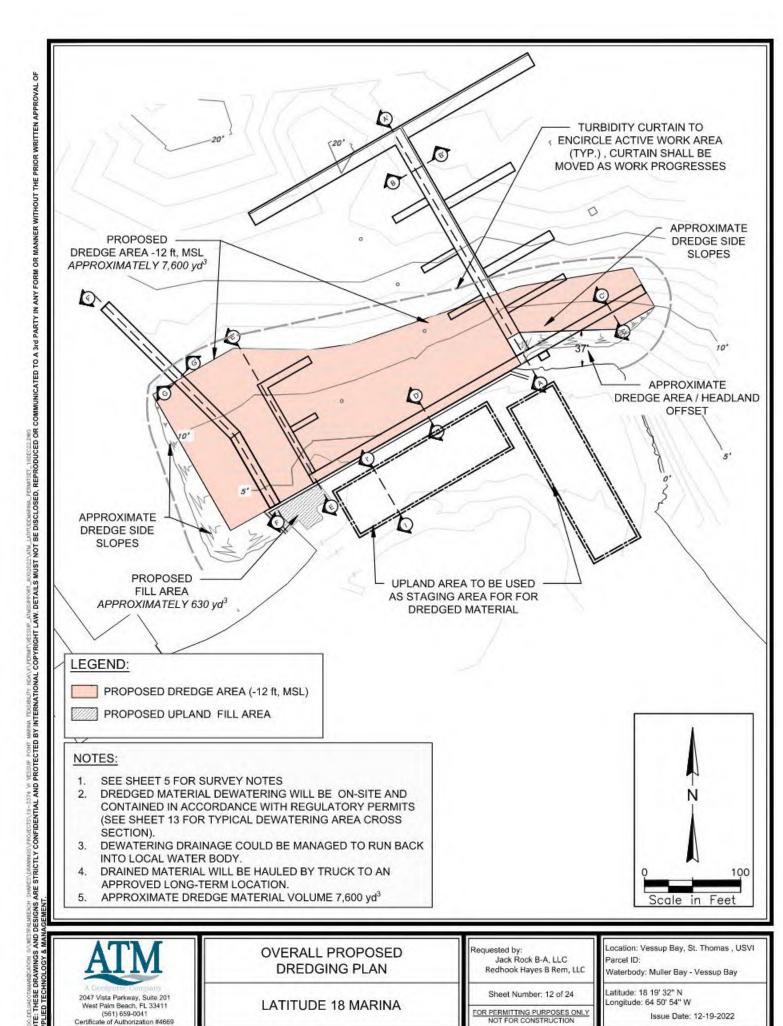
Drawing No.













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JACK ROCK B-A C LLC

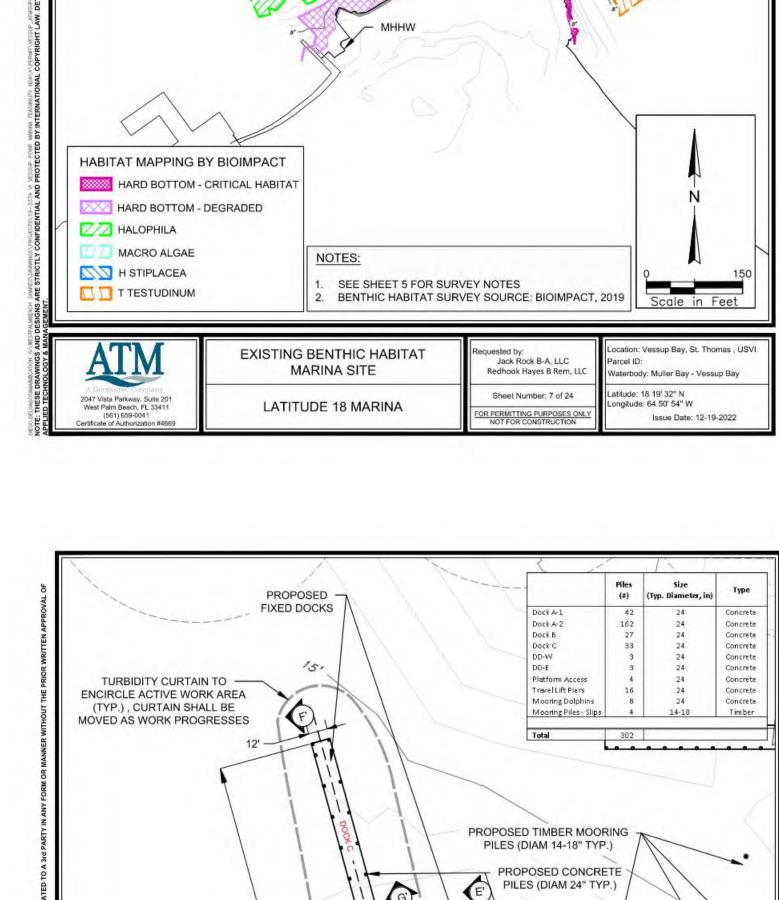
MARINA & MOORING EXHIBITS

2021002 05.03.2021

M102

Drawing No.

NOT ISSUED FOR CONSTRUCTION



ENTRANCE GATE

DRY-STORAGE

DROPWELL

Jack Rock B-A, LLC

Redhook Hayes B Rem, LL

Sheet Number: 10 of 24

OR PERMITTING PURPOSES OF NOT FOR CONSTRUCTION

PROPOSED -SHORE-PARALLEL

BULKHEAD

1. SEE SHEET 5 FOR SURVEY NOTES

itude: 18 19' 32" N

gitude: 64 50' 54" W

terbody: Muller Bay - Vessup Bay

Issue Date: 12-19-2022

FUEL DOCK -**ENTRANCE GATE**

PROPOSED GANGWAY ADA COMPLIENT (4' BY 66')

PROPOSED FLOATING DINGHY

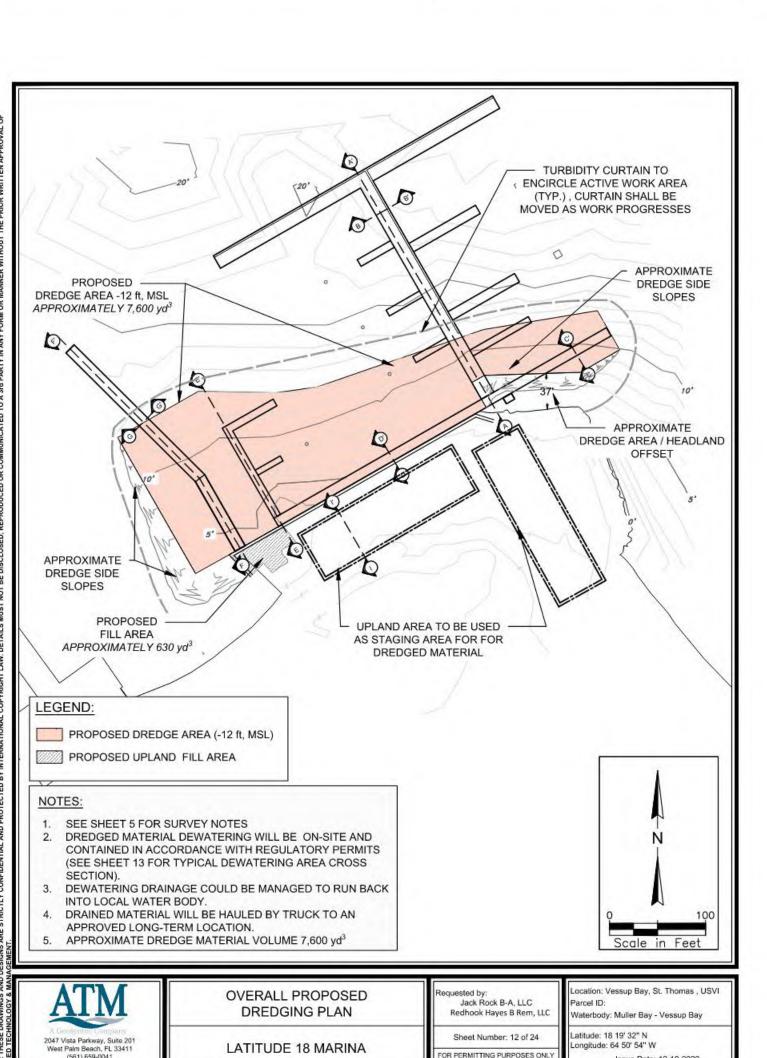
DOCK (12 TYP. 12' VESSELS)

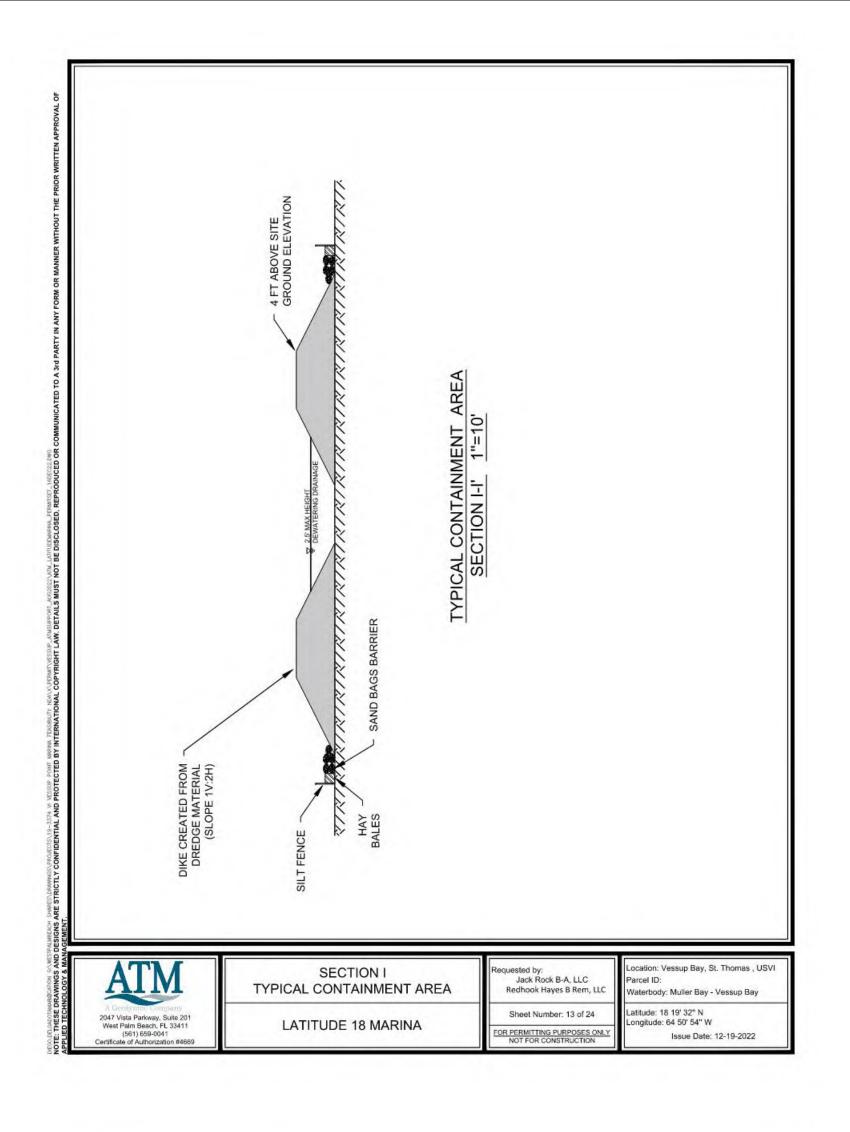
PROPOSED -

FILL AREA

PROPOSED DOCK B & C

LATITUDE 18 MARINA





SECTION E-E' 1"=3

SECTION E

LATITUDE 18 MARINA

cation: Vessup Bay, St. Thomas , USVI

Issue Date: 12-19-2022

aterbody: Muller Bay - Vessup Bay

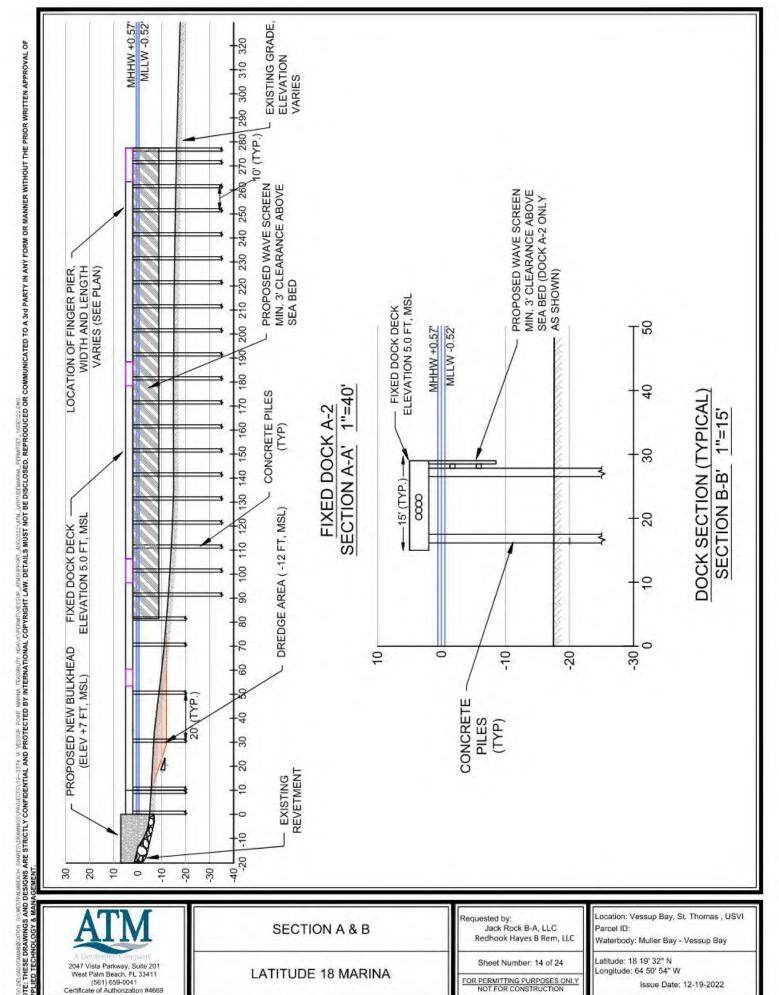
ngitude: 64 50' 54" W

Sheet Number: 16 of 24

OR PERMITTING PURPOSES ONLY NOT FOR CONSTRUCTION

30 30 30 10 10 -10 -20 -30

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FIXED DOCK C

SECTION F & G

LATITUDE 18 MARINA

ation: Vessup Bay, St. Thomas , USVI

Issue Date: 12-19-2022

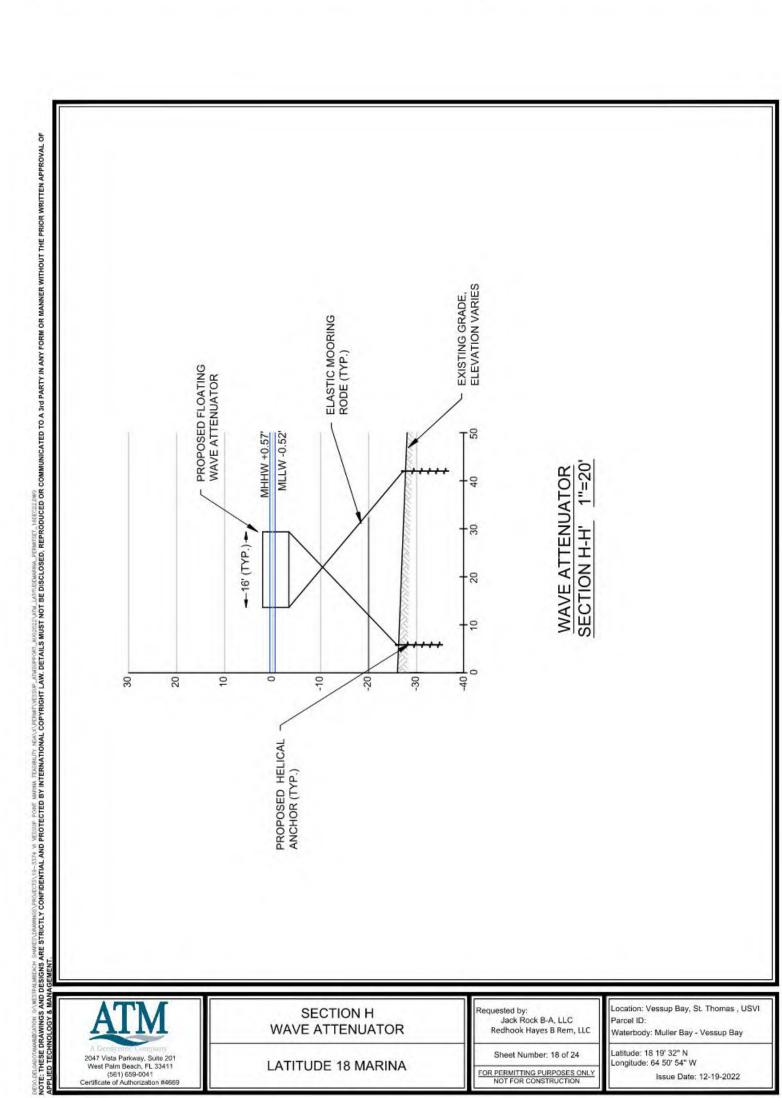
Latitude: 18 19' 32" N Longitude: 64 50' 54" W

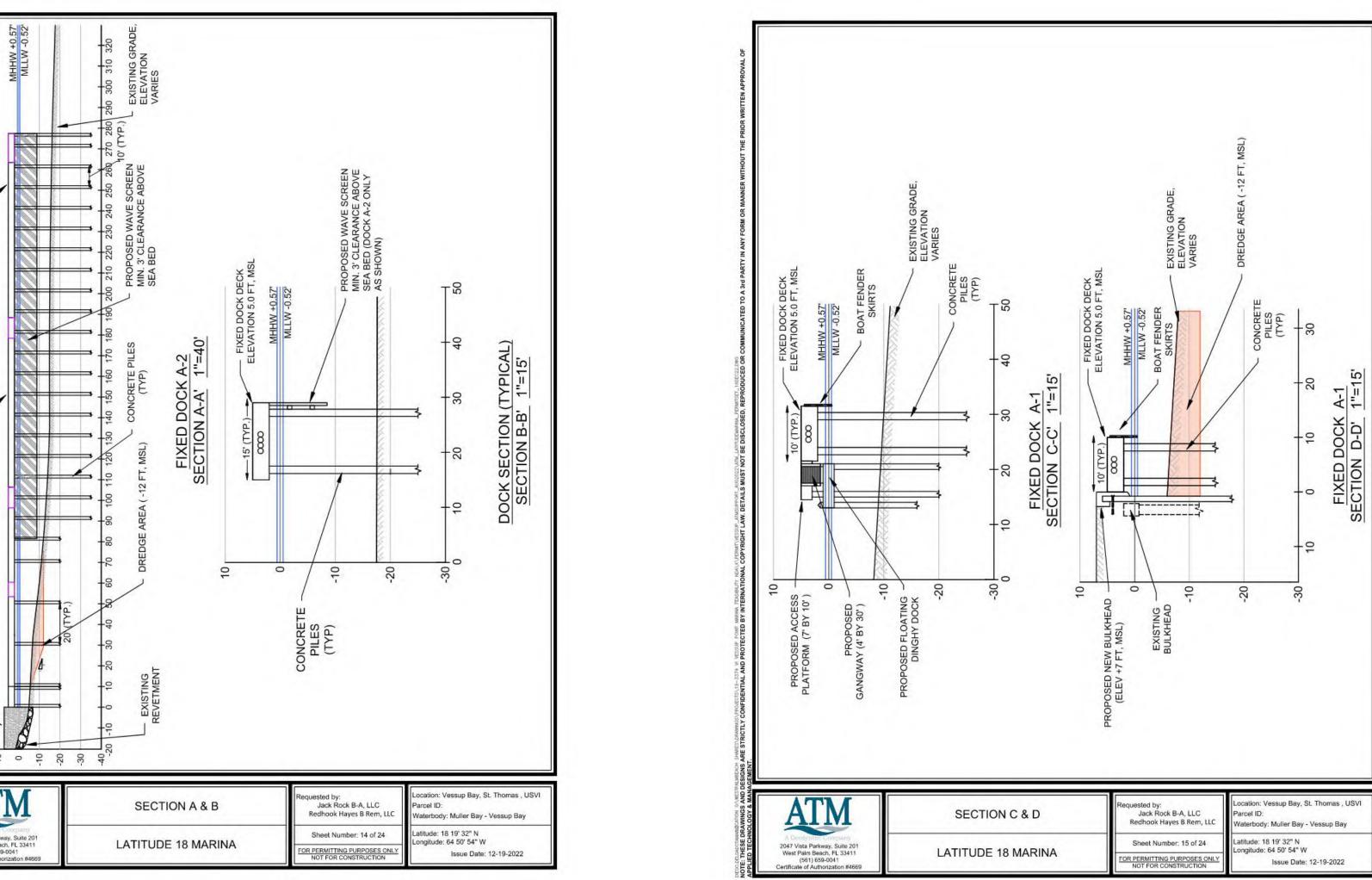
Jack Rock B-A, LLC Redhook Hayes B Rem, I

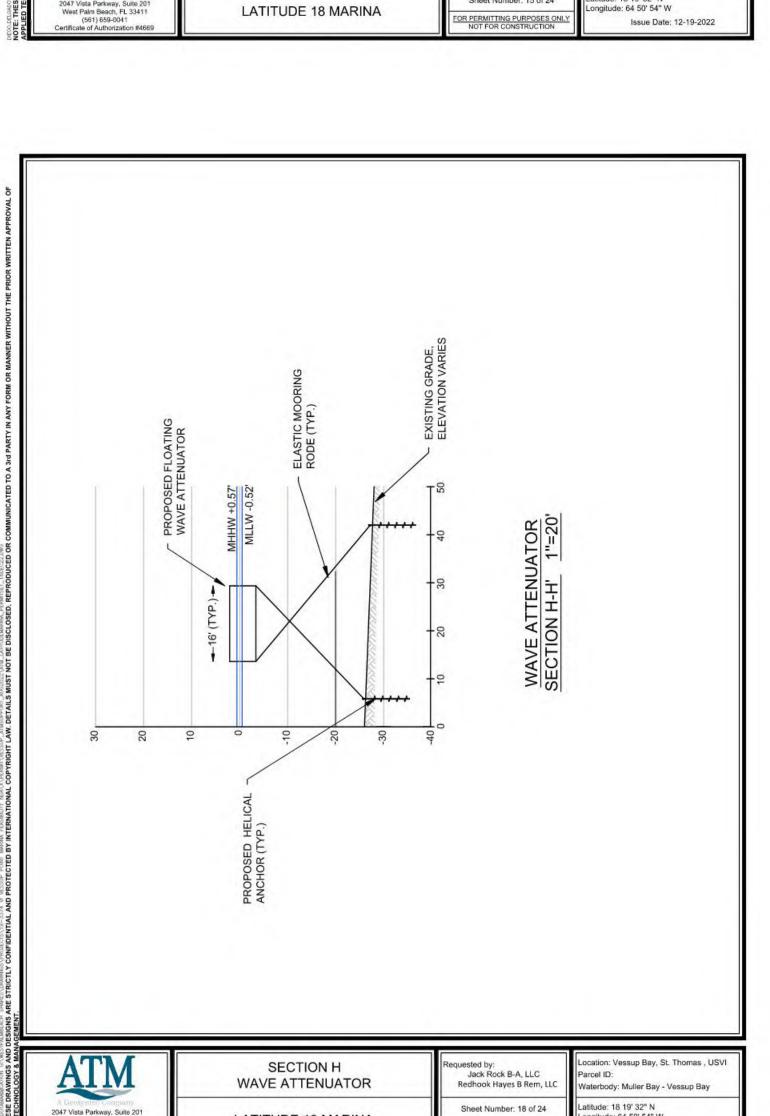
Sheet Number: 17 of 24

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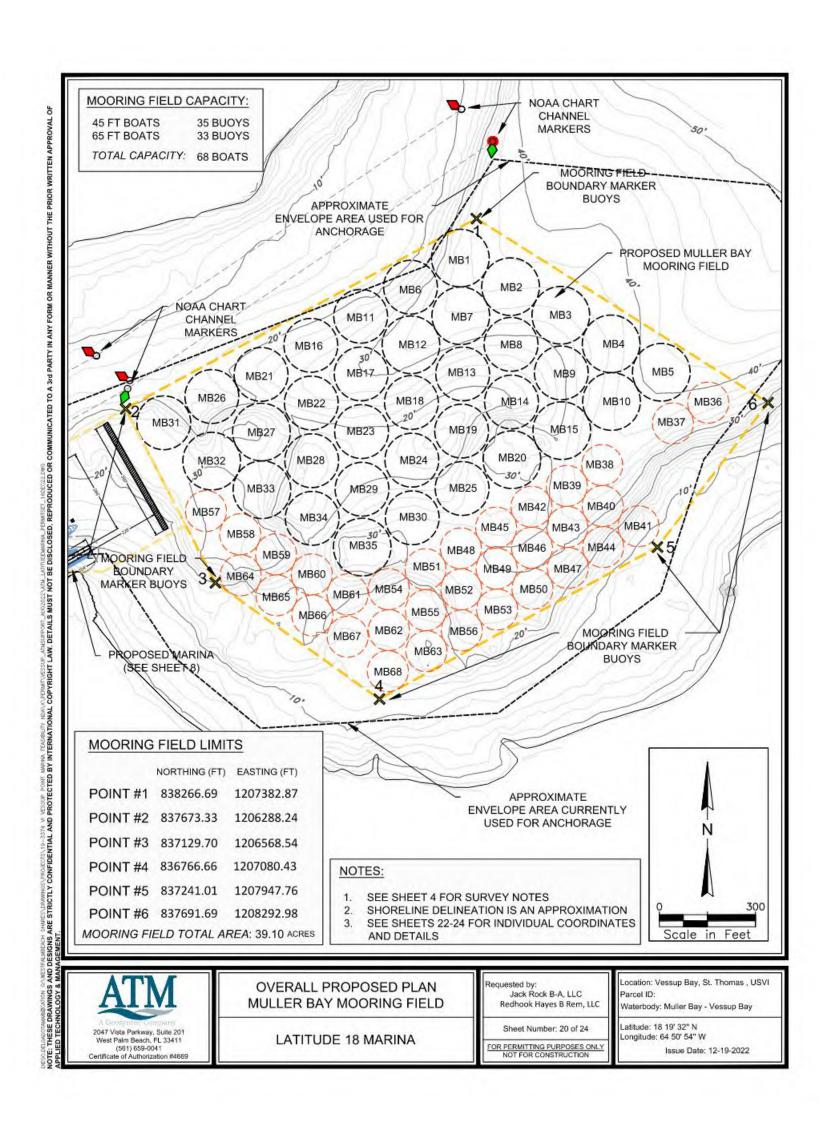
JACK ROCK B-A C LLC

MARINA & MOORING EXHIBITS

2021002 05.03.2021

M103

Drawing No.



MULLER BAY MOORING FIELD (65 ft VESSELS)

BUOY NORTHING (FT) EASTING (FT) RADIUS (FT)

1207332.639

1207803.131

1207959.711

1207334.026

1207178.582

1207338.249

1207492.243

1206866.308

1207023.139

1207179.969

1207336.799

1207493.63

1206710.864

1206867.695

1207024.525

1206557.410

1206712.251

1206869.081

1207025.912

MOORING FIELD

BUOYS COORDINATES

LATITUDE 18 MARINA

MB1 838143.1487

MB5 837786.6332

MB7 837963.1538

MB4

MB11

MB12

MB13

MB14

MB26

MB27

MB29

MB2 838053.9131 1207489.47

MB3 837964.6779 1207646.30

MB6 838052.3894 1207177.196

MB8 837873.9186 1207490.856

MB9 837784.6832 1207647.687

MB15 837604.600 1207649.125

MB24 837512.4055 1207181.356

837711.110

837600.117

837510.8816

837421.6462

MB30 837332.4108 1207182.742

MB31 837629.080 1206407.400

MB32 837509.3578 1206556.807

MB33 837420.1224 1206713.638 MB34 837330.887 1206870.468 MB35 837241.2069 1207026.537

837424.052 1207338.179

837872.3948

837781.8624

837693.924

MB16 837870.8709

MB17 837781.6355

MB18 837692,4001

MB19 837603.1647

MB20 837513.9293

MB21 837780.1117

MB22 837690.8763

MB23 837601.6409

837695.6166 1207804.418

837961.6302 1207021.752

837875.4425

MULLER BAY MOORING FIELD (45 ft VESSELS)

BUOY NORTHING (FT) EASTING (FT) RADIUS (FT)

837692.002 1208106.121

837432.0701 1207665.01

837304.0789 1207666.509

837241.0707 1207778.287

837302.1042 1207444.454

837239.0959 1207556.232

MB48 837237.1212 1207334.176 64

MB49 837174.1129 1207445.954 64

837172.1382 1207223.898

837109.13 1207335.676

837044.147 1207225.398

836981.1388 1207337.176

837353.6101 1206539.26

837281.0976 1206645.908

MB60 837155.9488 1206869.233 64

MB61 837093.3745 1206980.895 64

MB62 836981.9085 1207109.572 64

MB64 837153.0767 1206647.567 64

MB65 837090.5024 1206759.229 64

MB66 837027.928 1206870.891 64

MB67 836961.3783 1206981.043 64

MB68 836853.9483 1207106.381 64

INTO ACCOUNT

Jack Rock B-A, LLC

Redhook Hayes B Rem, I

Sheet Number: 24 of 24

OR PERMITTING PURPOSES OF NOT FOR CONSTRUCTION

SWING RADIUS VALUES TAKE WATER DEPTH

cation: Vessup Bay, St. Thomas , USVI

Issue Date: 12-19-2022

Vaterbody: Muller Bay - Vessup Bay

Latitude: 18 19' 32" N

836916.1558 1207226.898

MB37 837627.0191 1207995.843 64

MB38 837497.0531 1207775.288

MB40 837369.0619 1207776.787

MB41 837306.0539 1207888.565

MB42 837367.0871 1207554.732

MB47 837176.0877 1207668.009

MB50 837111.1047 1207557.731

MB53 837046.1217 1207447.453

MB54 837109.8621 1207109.323

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MB39

MB43

MB 44

MB 45

MB 46

MB51

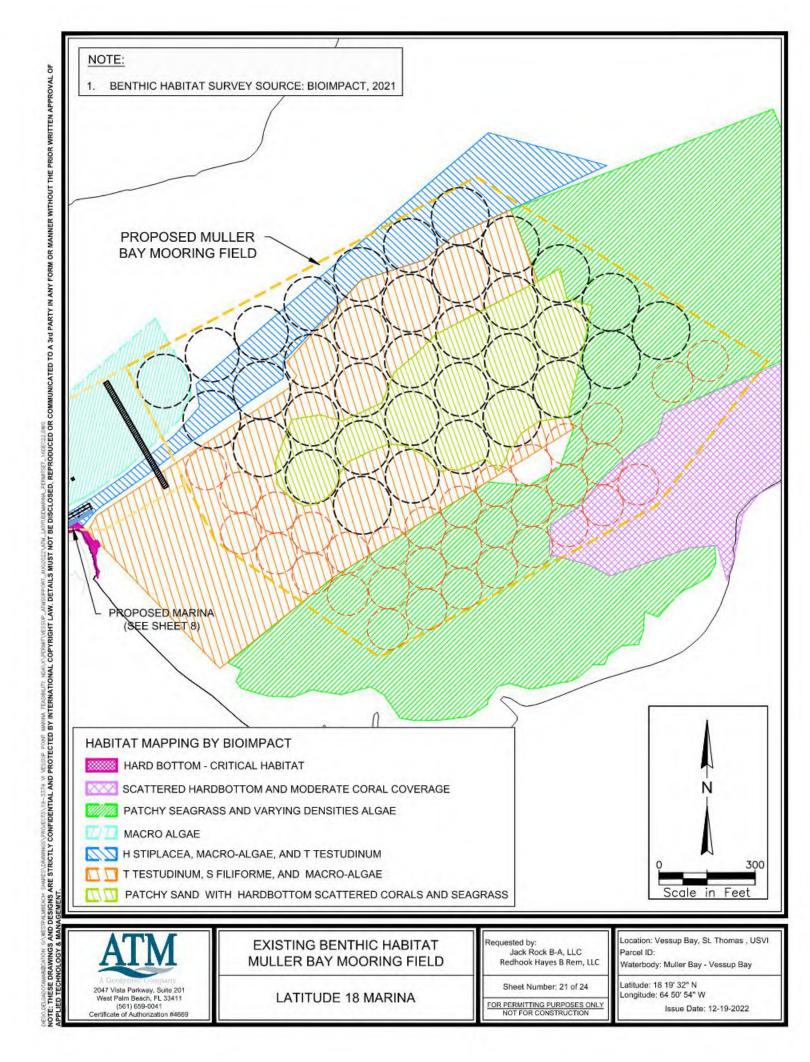
MB55

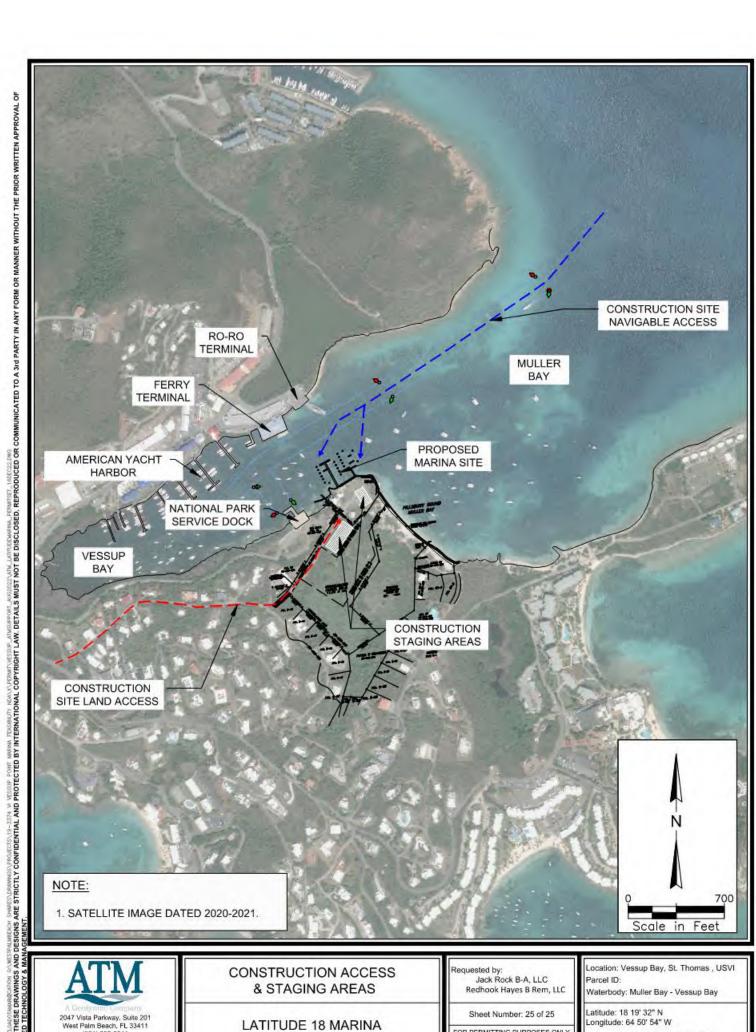
MB56

MB58

MB63

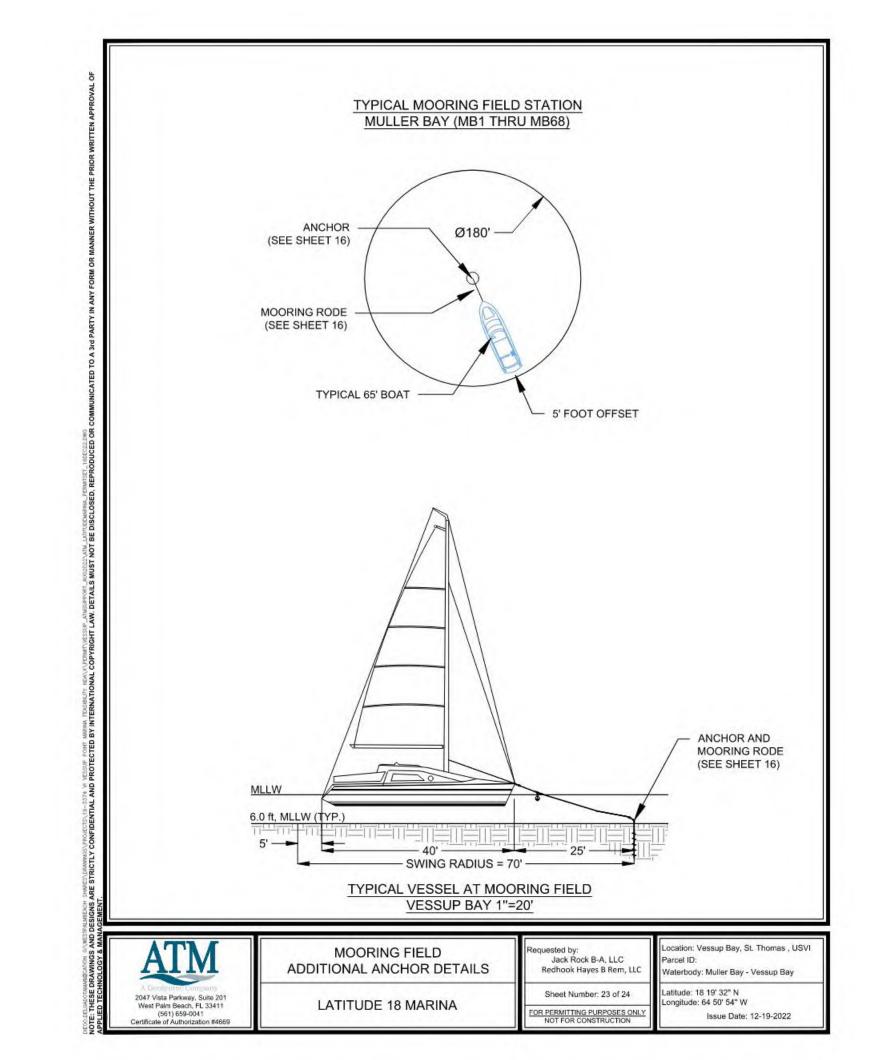
MB52





OR PERMITTING PURPOSES ON NOT FOR CONSTRUCTION

Issue Date: 12-19-2022



1 Boat Dry Storage and Service Yard Area The marina boat dry storage and service yard will provide specialized facilities and equipment for boat storage and light technical services. The main facilities include: • Dropwell area – for launching and retrieval of boats using specialized equipment (e.g. marine

· Maneuvering areas for equipment transferring boats Boat wash racks – stands for boat hull to be washed after retrieval from the water and before it is moved to the storage or service areas Boat drystack structure – for vertical storage of boats

 Boat workstations – yard area with utility connections, intended to secure boats for service work • Workshop – shed for storage and equipment to support workstations The facility will be designed so that yard spaces could potentially be interchangeable among the

· boat drystack structures service workstations or • surface dry storage (long term or for hurricane storage). The handing equipment assumed for the basic design is marine forklifts, which are appropriate for motorboats up to about 45 feet. However, if sailboats, catamarans, or larger boats were to be served for

and surface dry storage of sailboats.

surface dry storage, a travel lift will be required. 1.1 Drop well, wash racks, circulation, and maneuvering The drop well area can operate up to 2 forklifts or a travel lift. The basic design assumes the use of one main operational forklift for a design vessel of the following characteristics: motorboat, mono hull, up to 45 ft. With the same footprint, equipment and installation modifications can allow the servicing of catamarans

appropriate stormwater and runoff management. 1.2 Workstations for light services The proposed service yard area includes 9 workstations. These are open air yard spaces with adequate ground improvements or pavement, supported by utilities and workshop shed.

Adequate ground improvement or pavement will be provided in all circulation and yard areas, with

The proposed drystack storage is comprised of open or semi-covered racks of 4 levels. The proposed plan includes 8 bays for drystack racks. The most common industry practice is that each bay is designed to accommodate 2 or 3 boats. Typically,

 $2\ wider\ (longer\ and\ heavier)\ boats\ at\ the\ ground\ and\ second\ level,\ or\ 3\ narrower,\ lighter\ and\ shorter$

4 levels, has a capacity for 71 to 88 boats, depending on the arrangement of the racks in the bays.

boats at higher levels. Therefore, total capacity is inherently flexible. The proposed layout with 8 bays of

Scenario 1 80 48 32 Scenario 3 72 24 48 Front view of 3 arrangement scenarios and side view of open rack

total capacity <30ft >30ft

Jaredian Design Group rchitects, Engineers and Planners

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MARINA & MOORING EXHIBITS

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Project Architect	Project No.
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