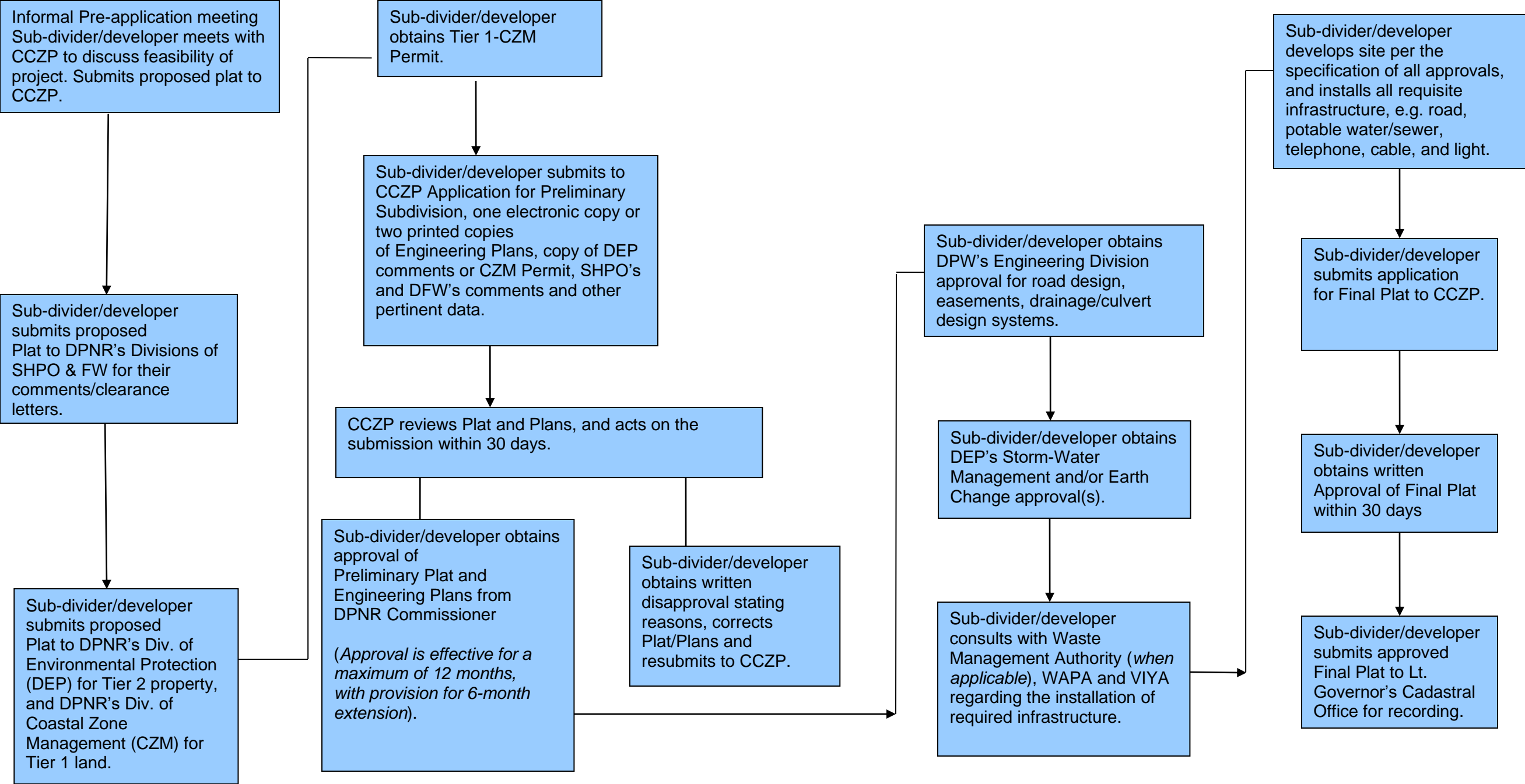


## **Electronically submit your application into DPNR's e-permitting portal**

1. Go to [citysquared.com](http://citysquared.com).
2. Select US Virgin Islands for "Municipality."
3. Click on DPNR- permit applications.
4. Select Division of Comprehensive and Coastal Zone Planning then permit types.
5. Select appropriate permit type:
  - a. Group Dwelling
  - b. Subdivision-Final
  - c. Subdivision-Preliminary
  - d. Zoning Certification
  - e. Zoning Map Amendment/Planned Area Development
6. Register/log into your portal to upload the completed application and accompanying documents.
7. Any questions or to review an end user's training video, please contact CCZP staff.

**PROCEDURE FOR ALL SUBDIVISION DEVELOPMENT PROPOSALS**



## **SUBDIVISION FEES- PRELIMINARY APPROVAL**

**Initial application Fee: \$10**

**In addition to the above:**

5 acres but less than 20 acres.....	\$150.00
20 acres but less than 50 acres.....	\$250.00
50 acres but less than 75 acres.....	\$400.00
75 acres but less than 100 acres .....	\$500.00
100 acres but less than 200 acres.....	\$700.00
200 acres but less than 500 acres.....	\$1,000.00
500 acres or more .....	\$1,200.00

## **SUBDIVISION FEES- FINAL APPROVAL**

- (1) One dollar (\$1) per dwelling unit or two dollars (\$2) per residential lot, whichever is greater; or
- (2) Ten dollars (\$10) per acre for business or commercial land use



**OFFICE USE ONLY**

Date Application Received: \_\_\_\_\_  
 Reviewed by: \_\_\_\_\_  
 Date Application Deemed Complete: \_\_\_\_\_  
 Date of Pre-Application Meeting: \_\_\_\_\_  
 Date Application Fee Paid: \_\_\_\_\_  
 Tracking No.: \_\_\_\_\_

**GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES**

**DEPARTMENT OF PLANNING AND NATURAL RESOURCES**

**Division of Comprehensive & Coastal Zone Planning**

**St. Croix**

340-773-1082

**St. Thomas/St. John**

340-774-3320

**Application for Approval of Preliminary Subdivision Plat**

**To the Department of Planning and Natural Resources:**

An application is hereby submitted for the approval of the Preliminary Plan for a subdivision hereinafter more particularly described and detailed on the accompanying maps and documents.

1. Applicant \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Telephone \_\_\_\_\_ Email \_\_\_\_\_

***Note: Official Correspondence will be mailed/emailed to the address above***

2. Contact Person/Representative \_\_\_\_\_
3. Property Address \_\_\_\_\_
4. Property Owner(s) \_\_\_\_\_
5. Number of proposed lots (residential lots, road lots, green lots, etc.):  
 \_\_\_\_\_
6. Average lot size: \_\_\_\_\_ Range from \_\_\_\_\_ to \_\_\_\_\_

**Area Allotment**

Type of area	Area (Acres)	% of Total Area
Residential Lots	_____	_____
Road Right of Way	_____	_____
Recreation areas	_____	_____

Remainder of tract \_\_\_\_\_  
Other (Specify) \_\_\_\_\_  
Total \_\_\_\_\_

7. Roads

- a. Right of Way Width(s): \_\_\_\_\_
- b. Road Way Width(s): \_\_\_\_\_
- c. Walk Way Width(s): \_\_\_\_\_
- d. Road Surface types: \_\_\_\_\_
- e. Maximum and Minimum Road Gradient(s) Max: \_\_\_\_\_ Min: \_\_\_\_\_

8. Predominant ground slope(s): \_\_\_\_\_ Range from \_\_\_\_\_ to \_\_\_\_\_

9. Development Plans

- a. Sell lots only? Yes: \_\_\_\_\_ No: \_\_\_\_\_
- b. Construction of houses for sale? Yes: \_\_\_\_\_ No: \_\_\_\_\_  
Number of houses: \_\_\_\_\_
- c. Other (*Use attached sheet to explain in detail*) \_\_\_\_\_  
\_\_\_\_\_

10. Deed restrictions that may apply or are planned (*Use attached sheet to explain in detail*) \_\_\_\_\_  
\_\_\_\_\_

11. Name and profession of person designing preliminary plan.

Name \_\_\_\_\_ Profession \_\_\_\_\_  
Address \_\_\_\_\_  
Telephone \_\_\_\_\_ Email \_\_\_\_\_

12. List proposed improvement and utilities and time of intended installation.

Improvements	Time of Installation
1. _____	_____
2. _____	_____
3. _____	_____
4. _____	_____
5. _____	_____

13. List of maps and other material accompanying application and number of each.

Item	Number
1. _____	_____

- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

I hereby certify that the information contained in this application is true and correct, and that all work will be done in compliance with all applicable Virgin Islands law regulating subdivision and zoning.

\_\_\_\_\_  
Print

\_\_\_\_\_  
Print

\_\_\_\_\_  
Sign

\_\_\_\_\_  
Sign

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

### **Preliminary Plat Submittal Requirements**

The applicant shall submit a completed Application for Approval of the Preliminary Plat signed by the Applicant/Developer, Property Owner, and/or Authorized Agent. Engineering Plans must be certified by a Registered Professional Engineer. The application shall be submitted with:

One (1) copy of:

- Official Recorded and Numbered PWD/OLG Map (*Obtained from and **certified** by the Office of the Lieutenant Governor, Cadastral Division, St. Croix 773-6449; St. Thomas 774-9906*)
- Preliminary Plat which is to include: Boundary Survey, Topography and Grading Plan, Schematic Street Layout, Schematic Utility Plan, Typical Cross-Sections of Streets, Plan and Profile Drawings and Special Details.
- A separate map showing only the property boundaries of the tract and proposed subdivided lots with their dimensions.
- A location map showing which island the development is on as well as where on the island the construction will occur.

- A copy of the property's deed and of any protective covenants or deed restrictions that apply to the land being subdivided.
- Real Property Tax Clearance Letter (*Obtained from the Department of Finance, St. Croix 773-1105; St. Thomas/ St. John 774-4750*)
- Power of Attorney (*Notarized Power of Attorney required if applicant/representative is not the property owner(s) of record or if property is owned by more than one person.*)
- Articles of Organization/Incorporation if property owner is a corporation.
- An approved Minor Coastal Zone Management (CZM) Permit by the DPNR's Division of Coastal Zone Management for Tier 1 properties.
- Certification from the Department of Planning and Natural Resources' Division of State Historic Preservation Office of the property's cultural, historical and archaeological status.
- Certification from the Department of Planning and Natural Resources' Division of Fish and Wildlife of the property's endangered/threatened plants/animals status.
- Certification from the Department of Planning and Natural Resources' Division of Environmental Protection that the developer's plans for storm water management, and waste water (sewage) disposal have been approved.
- If a zoning change was involved, a copy of the Legislative approval stating that the change has been granted.

**Note:** Approval of Preliminary Plats will not be granted until all required documents are submitted to the Division of Comprehensive and Coastal Zone Planning. Additionally, no activity, e. g. earth change, placement of monuments for individual lots, road cutting, or construction of any kind, shall take place on the property until the Commissioner of the Department of Planning and Natural Resources has granted written approval of the Preliminary Plat.



<b>OFFICE USE ONLY</b>	
Date Application Received:	_____
Reviewed by:	_____
Date Application Deemed Complete:	_____
Date Application Fee Paid:	_____

**GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES**

**DEPARTMENT OF PLANNING AND NATURAL RESOURCES**

**Division of Comprehensive & Coastal Zone Planning**

**St. Croix**

340-773-1082

**St. Thomas/St. John**

340-774-3320

**Application for Approval of Final Subdivision Plat**

**To the Department of Planning and Natural Resources:**

An application is hereby submitted for the approval of the Final Plat for a subdivision hereinafter more particularly described and detailed on the accompanying maps and documents.

1. Applicant \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Telephone \_\_\_\_\_ E-mail \_\_\_\_\_

***Note: Official correspondence will be mailed to the address above***

2. Contact Person/Representative \_\_\_\_\_
3. Property Address \_\_\_\_\_
4. Property Owner(s) \_\_\_\_\_
5. Date of Approval of Preliminary Plan: \_\_\_\_\_
6. Application Number of approved Preliminary Plan: \_\_\_\_\_
7. Does the Final Plat follow exactly the Preliminary Plan in regards to details and area covered? If **not**, indicate material changes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
8. Number of proposed lots for Final Approval: \_\_\_\_\_



9. Explain the function, ownership, and owner maintenance of common open space and other areas including private estate roads not otherwise reserved or dedicated for public use: \_\_\_\_\_

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10. List of maps and other material accompanying application and number of each.

<b>Item</b>	<b>Number</b>
1. _____	_____
2. _____	_____
3. _____	_____
4. _____	_____
5. _____	_____
6. _____	_____

**Included with Application for Approval of Final Subdivision Plat:**

- Certification from the Virgin Islands Water and Power Authority that the developer's plans, easements and/or right of way for utilities are properly located and adequate in size for installation and maintenance of facilities.
- Certification from the Department of Public Works that the developer's plans for streets (*roads*), walks, culverts, and any special engineering features have been approved.
- Documentation that developer has paid for the installation and connection of water and electricity lines, if the property is in the area of WAPA connections, cable and telephone connections.

I hereby certify that the information contained in this application is true and correct, and that all work will be done in compliance with all applicable Virgin Islands law regulating subdivision and zoning.

\_\_\_\_\_  
Print

\_\_\_\_\_  
Print

\_\_\_\_\_  
Sign

\_\_\_\_\_  
Sign

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

GOVERNMENT OF  
THE VIRGIN ISLANDS OF THE UNITED STATES



PUBLIC WORKS DEPARTMENT  
6002 Estate Anna's Hope  
Christiansted, St. Croix, V.I. 00820-4428

Tel: (340) 773-1290  
Fax: (340) 773-0670

**STANDARD SPECIFICATION  
FOR ROAD PAVING FOR SUBDIVISION**

SPECIFICATION FOR ROAD PAVING SHALL BE PER FP-03 (STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES ON FEDERAL HIGHWAY PROJECTS)

**1. SUBDIVISION WITH FIFTEEN (15) LOTS OR LESS**

ROAD WIDTH SHALL BE 18 FEET

**FLEXIBLE PAVEMENT (BITUMINOUS CONCRETE)**

- A. PAVING SHALL CONSIST OF 2" BASE COARSE OF BITUMINOUS CONCRETE AND TWO INCH (2") OF SERVICE COARSE BITUMINOUS CONCRETE
- B. FOR ROADS THAT ARE CONSTRUCTED WITH SOIL CEMENT A MINIMUM OF FOUR INCHES (4") OF SOIL CEMENT SHALL BE USED FOR THE BASE COARSE AND TWO INCHES (2") OF BITUMINOUS CONCRETE SHALL BE APPLIED AS THE SERVICE COARSE

**RIGID PAVEMENT (PORTLAND CEMENT CONCRETE ROADS)**

- A. FOR RIGID PAVEMENT, AFTER THE SUBBASE OR SUBGRADE IS PREPARED, A SLAB THICKNESS OF SIX INCHES (6") OF CONCRETE SHALL BE Poured FOR THE ROADWAY
- B. 3/8 REBARS 8" ON CENTER SHALL BE USED AS REINFORCEMENT

**2. SUBDIVISION WITH MORE THAN FIFTEEN LOTS**

ROAD WIDTH SHALL BE TWENTY (20) FEET

**FLEXIBLE PAVEMENT (BITUMINOUS CONCRETE)**

- A. PAVING SHALL CONSIST OF TWO (2) INCHES OF BASE COARSE BITUMINOUS CONCRETE AND TWO INCHES 2" OF SERVICE COARSE BITUMINOUS CONCRETE

- B. FOR ROADS CONSTRUCTED WITH SOIL CEMENT A MINIMUM OF FOUR INCHES OF SOIL CEMENT SHALL BE USED FOR THE BASE COARSE AND TWO INCHES 2" OF SERVICE COARSE OF BITUMINOUS CONCRETE SHALL BE APPLIED TO THE ROAD

**RIGID PAVEMENT(PORTLAND CEMENT CONCRETE ROADS)**

- A. FOR RIGID PAVEMENT, AFTER THE SUBBASE OR SUBGRADE IS PREPARED, A SLAB THICKNESS OF EIGHT INCHES (8") OF CONCRETE SHALL BE POURED FOR THE ROADWAY
- B. 3/8 REBARS 8" ON CENTER SHALL BE USED AS REINFORCEMENT

NOTE: 1. ALL ROADS SHALL BE CONSTRUCTED WITH THREE FEET (3') CONCRETE SWALES ON EITHER SIDE TO PROVIDE PROPER DRAINAGE WHEN THE ROAD IS CROWNED (2% SLOPE) AND FOUR FEET (4') SWALE ON ONE SIDE IF THE ROAD IS SUPERELEVATED.

2. CLAY SOIL IS UNACCEPTABLE AND SHALL NOT BE USED AS BACKFILL MATERIAL. SELECTED BORROW AS DESCRIBED BELOW SHALL BE USED INSTEAD.

**PREPARATION OF THE SUBBASE FOR ROADS**

- a) GRANULAR MATERIAL FREE OF EXCESS MOISTURE, MUCK, FROZEN LUMPS, ROOTS, SOD OR OTHER DELETERRIOUS MATERIAL SHALL BE USED AS SELECTED BORROW FOR THE SUBBASE
- b) THE CONTRACTOR SHALL NOT PLACE THE MATERIAL IN LAYERS EXCEEDING 6 INCHES IN COMPACTED THICKNESS
- c) THE LAYERS SHALL BE COMPACTED FULL WIDTH. ROLL FROM THE SIDES TO THE CENTER, PARALLEL TO THE CENTERLINE OF THE ROAD. ALONG CURBS HEADERS, WALLS AND PLACES NOT ACCESSIBLE TO THE ROLLER
- d) EACH LAYER SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY

GOVERNMENT OF  
THE UNITED STATES OF THE VIRGIN ISLANDS



DEPARTMENT OF PUBLIC WORKS  
6002 ESTATE ANNA'S HOPE  
CHRISTIANSTED, ST. CROIX, U.S.V.I. 00820-4428

OFFICE OF HIGHWAY ENGINEERING

TELEPHONE: (340) 773-1290  
FAX: (340) 773-7153

EXCAVATION PERMIT  
SPECIAL CONDITIONS OF UTILITY PERMIT  
(ROAD SURFACE CONDITION DEFINED AS GOOD\*)

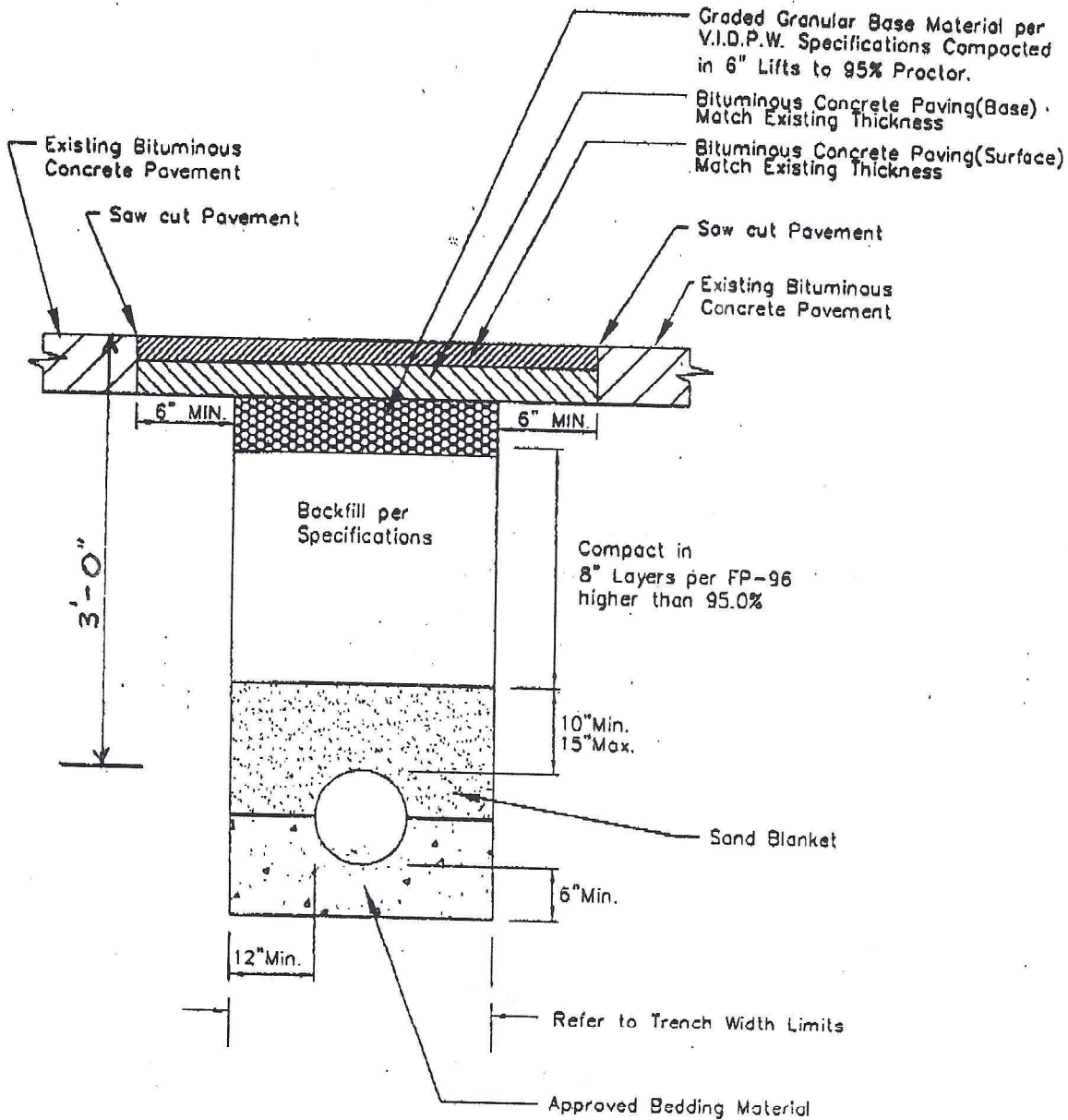
## UNDERGROUND UTILITIES

## PROJECT NO:

1. A Traffic Control Plan must be submitted to DPW and approved at least one week prior to the start of construction. The traffic control plan shall be developed in compliance with the Manual on Uniform Traffic Control Devices and shall contain diagrams of work zones for two way traffic, work zones at intersections and work zones on divided highways.
2. Prior to the start of construction all utilities including the DPW Utilities Division and Signal Division shall be contacted and requested to mark all their underground installations. Please be informed that any damage to signal loop detectors shall require the removal and replacement of the entire loop and the subsequent resurfacing of the entire loop detector area.
3. A Professional Construction Inspector must be assigned to each project and his name and qualifications submitted to DPW for approval prior to the start of construction.
4. A Professional Testing and Quality Control Company must be retained to perform required tests and compile a complete record of testing to be submitted to DPW on a weekly basis.
5. The Utility Company must submit specifications on concrete manholes and backfill material for DPW's approval.
6. The Construction Inspectors on each project shall submit a written report of daily activities to the DPW no later than noon on the following day.
7. Trenching should be done in the middle of the travel lane to the greatest extent possible. The trench must be placed within 6 inches of the saw cut edges of the asphalt pavement.
8. Due caution shall be exercised to ensure proper compaction around manholes and other structures within the travelled way.
9. Trench patching shall be done by an approved paving contractor and be paved in sections comprising approximately one weeks production. No paving shall be done until approved density tests have been performed in respective layers along the trench. No trench sections shall be left unpaved for more than two weeks, and in very sensitive areas patching may be required immediately following backfill and approved density tests.
10. Patching of trenches shall be to the full depth of the pavement and shall be full width in accordance with the attached details.
11. At the conclusion of the project all trenches running parallel with the roadway will be overlaid with a 1" surface course for a full lane width. Prior to paving the surface course, all trench patches shall be shimmed to grade.
12. All pavement markings which are defaced shall be restored in kind with an approved thermoplastic product.
13. A representative from DPW will be assigned as coordinator of the project. The construction Inspectors retained by the Utility Company are expected to communicate and coordinate the work with DPW's representative on a daily basis.

\*Good Condition is defined as less than 10 percent of the total road surface of the road or segment is affected with a particular or a number of distresses. Distresses may be present, but in low severity and not causing a problem.

# TYPICAL TRENCH DETAIL FOR ROADWAY IN POOR CONDITION



NOTE: ROADS THAT ARE IN GOOD CONDITION SHALL BE RESURFACED WITH 1 1/4" OF ASPHALT OVER THE ENTIRE LANE WIDTH.

JOB NAME:

# TRENCH DETAIL

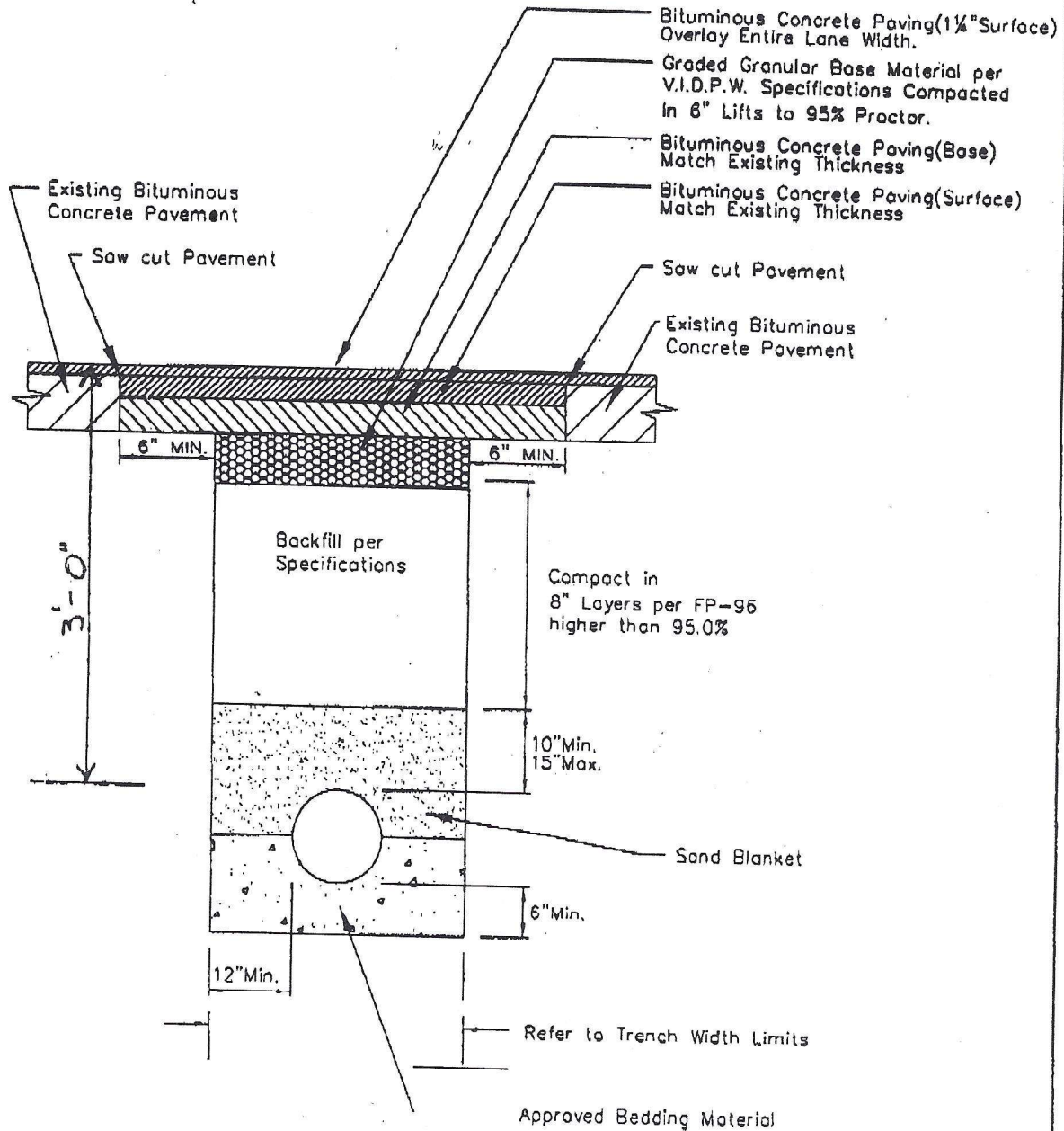
DATE:

LOCATION:

JOB NUMBER

SHEET

**TYPICAL TRENCH DETAIL FOR ROADWAY  
IN GOOD CONDITION  
ENTIRE LANE WIDTH OVERLAY**



JOB NAME:

TRENCH DETAIL

DATE:

LOCATION:

JOB NUMBER

SHEET



**OFFICE OF THE LIEUTENANT GOVERNOR**  
**DIVISION OF REAL PROPERTY TAX**  
**OFFICE OF THE TAX COLLECTOR**

5049 Kongens Gade • Charlotte Amalie, Virgin Islands 00802 • 340.774.2991 • Fax 340.779.7825  
 1105 King Street • Christiansted, Virgin Islands 00820 • 340.773.6449 • Fax 340.719.2355

## TAX CLEARANCE CERTIFICATE REQUEST

12-CHARACTER PARCEL ID#: \_\_\_\_\_ DATE: \_\_\_\_\_

PROPERTY ADDRESS DESCRIPTION: \_\_\_\_\_

REGISTERED IN THE NAME OF: \_\_\_\_\_

LETTER REQUESTED BY: \_\_\_\_\_ EMAIL: \_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_ DESIRED OFFICE OF PICKUP: STT \_\_\_\_\_ STX \_\_\_\_\_ STJ \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_ VIA MAIL

Quantity	Description	Unit Price	Total
	Tax Bill Reprint	Free online	<a href="https://propertytax.vi.gov/">https://propertytax.vi.gov/</a>
	Paid Receipt Reprint	Free online	<a href="https://propertytax.vi.gov/">https://propertytax.vi.gov/</a>
	Tax Status Report (3-5 Business Days)	Free online	<a href="https://propertytax.vi.gov/">https://propertytax.vi.gov/</a>
	Tax Clearance Certificate (Same Day or 2 Business Days)	\$25.00	
	<del>Certificate Expedite Fee (2 Business Days)</del>	N/A	

**PLEASE DO NOT WRITE BELOW THIS LINE**

**Total \$** \_\_\_\_\_

CASHIER NAME: \_\_\_\_\_ RECEIPT #: \_\_\_\_\_

PAYMENT STAMP:

RESEARCHED BY: \_\_\_\_\_ RESEARCH DATE: \_\_\_\_\_