GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES
DEPARTMENT OF PLANNING AND NATURAL RESOURCES
DEVELOPMENT PERMIT APPLICATION

FORM L&WD-2
PERMIT APPLICATION

Date Received:_____

Date Declared Complete:_____

Permit No._____

Application is hereby made for a Earth Change/Coastal Zone Permit

1. Name, mailing address and telephone number of applicant.

Z Property VI LLC
114 King Street, 2nd Floor, Christiansted, VI 00820

2. Name, title, mailing address and telephone number of owner of property and of developer.

Owner	Developer
Z Property VI LLC	Same
114 King Street, 2nd Floor, Christiansted, VI 00820	

3. Location of activity. Plot No. 7-b and 8-b, Hospital Street

Estate Town of Christiansted Island St. Croix

4. Zoning District B1

5. Name, mailing address and telephone number of project designer.
Damian Cartwright, Buildtec, 7-1 Bonne Esperance, P.O. Box 8269, Christiansted, St. Croix, USVI 00823
(340) 513 6918

6. Name, mailing address and telephone number of principal earthwork contractor.
Not yet selected

7. Summary of proposed activity. Include all incidental improvements such as utilities, roads, etc. (Use additional sheets if necessary).
The subject is the addition of a new Fifty Eight (58) room hotel building (4 levels - 3 floors and basement) with a total of 45,000sq.ft. to an existing historic building which is currently being renovated.

7a. State type of Land Uses as specified in the VI Zoning Law, which are applied for e.g., restaurant, hotel, single dwelling, etc.
Hotel - Boutique Hotel

FORM L&WD-2/PERMIT APPLICATION
CONT'D

8. Date activity is proposed to start as soon as permits are granted, be completed 36 months

9. Classification of minor or major permit. Check one:

☐ Minor Permit Application

☑ Major Permit Application

State below which criterion applies in making above check.
Cost

10. Application is hereby made for a permit to authorize the activities described herein. I agree to provide any additional information/data that may be necessary to provide reasonable assurance or evidence to show that the proposed project will comply with the applicable territorial water quality standard or other environmental protection standards both during construction and after the project is completed. I also agree to provide entry to the project site for inspectors from the environmental protection agencies for the purpose of making inspections regarding this application, and that to the best of my knowledge and belief the information provided herein, is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities.

Signature of Applicant or Agent — Date 7-11-24

Signature of Owner (Where Applicant or Agent is not Owner) — 7-11-24

FOR DEPARTMENT USE ONLY
Inspector Record

Date Inspected:_____ ( )Permit Approved
( )Permit Disapproved

Inspector's Remarks:_____

Inspector — Date

Commissioner, Planning & Natural Resources — Date

GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES
DEPARTMENT OF PLANNING AND NATURAL RESOURCES
DEVELOPMENT PERMIT APPLICATION

FORM L&WD-3
ZONING REQUIREMENTS TABLE

The following table shall be completed by the applicant with entries as appropriate for the zoning district in which the activity is taking place. Not all the requirements will necessarily apply to a particular zone. Consult the Zoning Law. For your guidance also consult the zoning Requirement Matrix attached to the application forms, i.e., for a R-2 zone only items 1 through 11 will apply.

Applicants Name: Z Property VI LLC Signature: _____ Date: _____

Location of Activity-Plot No. 7-b and 8-b Hospital Street Estate Town of Christiansted Island St. Croix

Zoning District: B1

1. Proposed use (residential etc.) Hotel - Boutique Hotel
2. Accessory use if any shops, restaurant/cafe, art gallery
3. Number of on site parking spaces Existing 0 proposed 33
4. Area of lot, (sq. ft. or acreage) 1.06 acres (46,346 sq.ft. Parcels 7-b, 8-b and leased 8-a)
5. Area covered by proposed and existing buildings, (sq. ft.)
   Existing 0 on Parcel 7-b,8-a and 8-b (3920 sq. ft. on 7-a), Proposed = 13,939 sq.ft. (footprint), 45,000 sq. ft. total across 4 floors
6. Setback of building from street property line, (ft.)
   100'
7. Side yard setback ft) 0'
8. Rear yard setback (ft) 20'
9. Height of building (ft. or stories depending on zone) 3 stories + basement
10. Proposed 3 stories +basement
11. Lot width at street line (ft.) 11.50'
12. Area of usable open space (sq. ft. and (%) of lot 32,407sq.ft. (70%)
13. Persons per acre ratio _____
14. Floor area ratio _____
15. Number of onsite parking and loading spaces 33
16. Building setback (yards 11, W-2 only) n/a

FOR DEPARTMENT USE ONLY

Inspector _____ Date: _____ Permit No. _____

GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES
DEPARTMENT OF PLANNING AND NATURAL RESOURCES
DEVELOPMENT PERMIT APPLICATION

FORM L&WD-4
MAJOR PROJECT SUMMARY DATA

Section I. Applicant

1. Name, address and telephone number of applicant.
Z Property LLC
114 King Street, 2nd Floor, Christiansted, VI 00820

2. Name, address and telephone number of owner of Property and of developer.
Z Property LLC
114 King Street, 2nd Floor, Christiansted, VI 00820

Section II. Summary of Proposed Development

3. Describe the proposed development
The project is the addition of a new fifty eight (58) room hotel building (3 levels + basement) with a total of 45,000sq.ft. to an existing historical building which is currently being renovated. The development includes a restaurant/cafe, shops and an art gallery.

Section III. Description of Proposed Development

4. Name of development Z Property
5. Plot No. 7b and 8b and leased parcel 8-a Hospital Street, Town of Christiansted, St. Croix, VI 00820
6 Zoning District: B1
7. PWD Map No.
8. Proposed use (residential), etc. as listed in Zoning Law):
B1

9. Accessory use if any Shops, Restaurant/Cafe, Art Gallery

FORM L&WD-4
MAJOR PROJECT SUMMARY DATA Cont'd

10. Area of Lot(s) (acreage) 1.06 acres (46,346 sq.ft. Parcels 7-b, 8-b and leased 8-a)

11. Area covered by existing buildings (sq. ft.) 0

12. Area covered by proposed buildings (sq. t.) Proposed = 13,939 sq.ft. (footprint), 45,000 sq. ft. total across 4 floors

13. Floor area total 45,000sq.ft.

14. Floor area ratio (B-1, B-2 zones only) 40%

15. Number of buildings 1

16. Number of units total 58 hotel rooms

17. Schedule of units:

	Person		Persons
Efficiencies		x 1.5 Unit	=
1 bedroom		x 2	=
2 bedroom		x 3	=
3 bedroom		x 4	=
Other		x	=
Total Persons			

18. Number of on site parking and loading spaces 33

19. Maximum building height (stories/ft) 3 stories + basement (36ft)

20. Adjoining property land use(s) Commercial, Government

21. Setback of building from street property line (ft) 100'

22. Sideyard setback (ft) 0

23. Rear yard setback (ft) 20

24. Density (person/acre)

25. Area of usable open space (sq. ft. % of lot) 32,407sq.ft. (70%)

FORM L&WD-4
MAJOR PROJECT SUMMARY DATA Cont'd

Section IV. Comments

26. Proposed Potable Water Supply (method & quality estimate gal/day)
Public potable water

27. Proposed Sewage Treatment (method & quality estimate gal/day)
Public waste water system

28. Proposed Solid Waste Disposal (method & quality estimate lbs/day)
Private Hauler

29 Proposed Electrical Supply (method & demand estimate KWH for single & 3 phase)
MAVAPA 150KW

30. Air Conditioning (method & demand estimate (KWH)
Mini split

31. Other Utilities

32. Other

Section V.

33. Will the development extend onto or adjoin any beach tidelands, submerged lands or public trustlands?
The property adjoins beach tidelands to the east.

34. Will the development maintain, enhance or conflict with public access to the shoreline and along the coast?
The development will maintain the existing shoreline access.

35. Will the development protect or provide moderate income housing opportunities? Will it displace moderate income housing?
The development will have no impact on moderate income housing.

36. How will the development affect traffic on the coastal access roads?
The project will not impact traffic on the coastal access roadways once complete

Signature of owner or authorized agent

7.11.24
Date

GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES DEPARTMENT OF PLANNING AND NATURAL RESOURCES DEVELOPMENT PERMIT APPLICATION

FORM L&WD-5
PROOF OF LEGAL INTEREST

AFFIDAVIT

I, Z Property LLC being duly sworn depose and say that:
Applicant(s)* (or John Doe of Entity Applicant)

1. Z Property LLC am/is the (check one)
(I or Entity/Applicant)

☒ Record title owner (fee simple) ☑ Lessee ☐ Other (specify) ☐

Of the real property described as Parcel No(s) 7b and 8b Hospital (owned) 8a (leased)

Estate Town of Christiansted Quarter _____ Island B1

***Applicant(s) is required to provide documentation for legal interest stated above (e.g. deed, lease, etc.)**

2. I have the irrevocable approvals, permission, or power of attorney from all other persons with a legal interest in the property to undertake the work proposed in the permit application as more fully set forth in the exhibit (s) attached hereto:

Signature 7-11-24 Date Signature Date

Peter Zielke
Print Print

The foregoing instrument was acknowledged before me this 11th day of July
20 24 by Peter B Zielke at St. Croix county
(Name or Name/Title of Entity)

of Virgin Islands

Sharon B. Williams 06/30/2027
Notary Public My Commission expires

Sharon B. Williams
Notary Public
NP-632-23
My Commission Expires: June 30, 2027
St. Croix, U.S. Virgin Islands

GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES
DEPARTMENT OF PLANNING AND NATURAL RESOURCES
DEVELOPMENT PERMIT APPLICATION

FORM L&WD-7
CORPORATION/ASSOCIATION APPLICATION
(To be used when a corporation or association is making a Permit Application in Tier I)

Z Property LLC
(Corporation or Association Name)

By: _____
(Signature)
President or Vice-President or equivalent

CEO
Title/Position (Print)

Peter Zielke
Print

WITNESS:

_____

ATTEST: _____
Secretary (or equivalent) Signature

_____
Secretary (or equivalent) Print

Seal

On this 11th day of July, 20 21, before me the undersigned officer, personally appeared Peter B. Zielke, who acknowledges himself to be the President of Z Property LLC; that he executed the foregoing instrument in the capacity above and has the authority to execute this application on behalf of the company.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal the day and year above written.

Sharon B. Williams
Notary Public
NP-632-23
My Commission Expires: June 30, 2027
St. Croix, U.S. Virgin Islands

Include Supporting Documents:

1. Compliance with Act No. 5270 by providing:
   (a) Tax clearance letter from the Bureau of Internal Revenue
   (b) Property tax clearance letter from the Lieutenant Governor's Office.
   (c) Corporations and Associations: Certificate of Good Standing or equivalent, organizational documents & Amendments (Articles, Bylaws, Operating Agreement, Declarations)
   (d) Corporate Resolution (or equivalent) authorizing action on behalf of the company.

(Form L&WD-8) 1:08:96

Flood Plain Determination and Permit Application

To be completed by all applicants

1. Owner: Z Property LLC
   Mailing Address 114 King Street, 2nd Floor, Christiansted, VI 00820
   Home Tel. #: _____ Business Tel. #: _____ Cellular #: _____

2. Designer: Damian Cartwright, Buildtec
   Lic. #: _____ Tel. #: (340) 513 6918 Cellular #: _____

3. Plot #: 7b and 8b Hospital Street and 8-a Estate: Town of Christiansted Quarter: _____
   Flood Zone Designation: VE17, VE16, VE15, AE 14,AE13, AE

If your flood zone designation is Zone A, AE, AO, A1-30, A99, V, VO, Ve or V1-V30 as shown on the NFIP FIRM Map, then complete this section.

**********, **NFIP Flood Zone Designation** **********

1. Type of development:

   1 or 2 Family dwelling ( ) Mobile Home ( ) Non-Structural ( )

   3 Family or more, Apartment or Condo Structure ( ) Non- Residential Structure: ( )

   Commercial Structure ( ) New Construction (●) Non-Structural ( )

   Addition to Structure ( ) 50% Substantial Improvement of Existing Structure ( )

   Description of Activity Development of a 58 room Boutique Hotel

2. Base Flood Elevation at the Development Site is _____ ft. above mean sea level (msl).

3. Elevation of the First Floor, Basement or Flood proof level for proposed structure is _____ ft.

4. Describe the Non-Structural Activity i.e. septic tank, waste water treatment plants etc. (including the location and development): Stormtech storm water system

5. Attach a certified copy of site plan (8.5" x 11") showing Base Flood Elevation. See sample attached.

FOR OFFICE USE ONLY

Is the property located in an identified Flood Hazard Area? ( ) YES ( ) NO

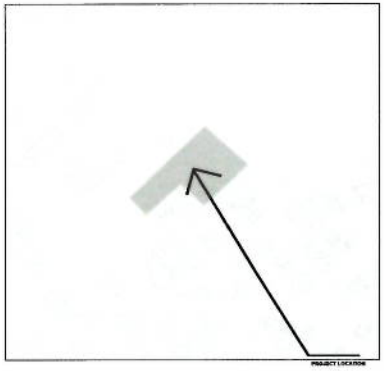
NFIP Zone Designation: _____ **Forward to Flood Plain Manager :** ( ) YES ( ) NO

Application : APPROVED ( ) DENIED ( ) RESUBMIT ( )

Plan Reviewer Name: _____

Signature: _____ **Date:** _____

7A Hospital St,
Christiansted,
St Croix 00820, USVI



Location Map

PROFESSIONAL SEALS

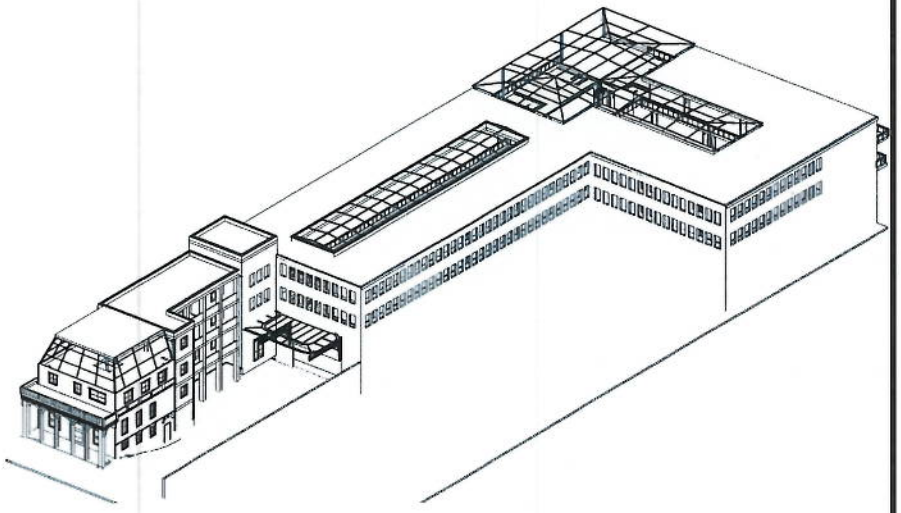
DESIGNER ARCHITECT: NILE TUZUN
NILE BRAND
84 Brindisi
Irvine CA, 92618
1-415-886-5438

CIVIL ENGINEER: DAMIANCARTWRIGHT
BUILDTEC
7-1 Bonne Esperance P.O. BOX 8269
CHRISTIANTED, USVI 00823
1-340-513-6918

STRUCTURE ENGINEER: JOSEPH COLACO
COLACO ENGINEERS
3064 Reba Drive, Houston, TX 77019
jcolacobx@gmail.com
1-832-993-7598

25 % CONSTRUCTION DOCUMENTS

NEW BOUTIQUE HOTEL ST. CROIX



Sheet Index

Sheet Number	Sheet Name
General	
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Architectural	
A0.01	SYMBOLS, GENERAL NOTES, AND ABBREVIATIONS
A0.02	WALL TYPES
A0.03	ADA STANDARDS
A0.04	ADA STANDARDS
A0.05	FHA STANDARDS
A0.06	FHA STANDARDS
A0.07	FHA STANDARDS
A0.08	ANSI STANDARDS
A0.09	ANSI STANDARDS
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A1.00	SITE PLAN
A1.01	BASEMENT FLOOR PLAN
A1.02	FIRST FLOOR PLAN
A1.03	SECOND FLOOR PLAN
A1.04	THIRD FLOOOR PLAN
A1.05	ROOF PLAN
A2.01	ELEVATION - A
A2.02	ELEVATION - B
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A3.00	SECTIONS

OWNER: PETER ZIELKE

Z PROPERTY VI, LLC
1114 King St 2nd Floor
Christiansted VI 00820

A0.00

COVER SHEET

Project Number:

Issue Date:

Revisions:

A	REVIEW/CITY
1	REVISION #1
2	REVISION #2
3	REVISION #3

Contact: m
Email:

studio.
nile.
brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

COVER

7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.00

Scale

N

SYMBOLS LEGEND

SECTION HATCHES & SYMBOLS

- SAND OR GROUT
- EARTH OR NATURAL GROUND
- POROUS FILL (GRAVEL)
- STONE
- CONCRETE
- BRICK (PLAN & SECTION)
- CONCRETE MASONRY UNIT (PLAN & SECTION)
- STEEL
- NON-FERROUS ALUMINUM
- PLYWOOD
- WOOD (FINISH)
- CONTINUOUS NOMINAL LUMBER
- DISCONTINUOUS NOMINAL LUMBER & WOOD BLOCKING (INTERRUPTED MEMBER)
- INSULATION (LOOSE OR BATT)
- RIGID INSULATION
- GLAZING (LARGE SCALE)
- GYPSUM WALL BOARD
- PLASTER WITH LATH
- ACOUSTICAL TILE
- CARPET

ELEVATION HATCHES & SYMBOLS

- STONE
- BRICK OR CONCRETE BLOCK
- WOOD (FINISHED)
- GLASS

CONSTRUCTION SYMBOLS

- COLUMN GRID
- PARTITION TAG
- ELEVATION DATUM POINT
- ROOM TAG
- UNIT TAG
- DOOR TAG
- ALIGN WITH ESTABLISHED SURFACES
- SHEET KEYNOTE
- WINDOW MARK
- REVISION REFERENCE
- SECTION INDEX/ORDER
- DETAIL IDENTIFIER
- FIRE EXTINGUISHER WITHOUT CABINET
- FIRE EXTINGUISHER CABINET ON WALL
- CENTERLINE
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- GLAZING ELEVATION
- FINISH TAG
- KEYNOTE TAG
- KEYNOTE TAG
- ELEVATION LEVEL
- DETAIL REFERENCE
- WALL TAG
- WINDOW TAG

ABBREVIATIONS

A

AC	AIR CONDITIONING
ACCESS	ACCESSORY
ACOUS	ACOUSTICAL
ADT	ADVISE FIRE DEPT
AL	ALUMINUM
ALT	ALTERNATE
ANNUNC	ANNUNCIATOR
ANOD	ANODIZED
APPL	APPLIANCE
ARCH	ARCHITECTURAL
AUTO	AUTOMATIC
AVE	AVENUE
A	AIR

B

BLDG	BUILDING
BOLLD	BOLLARD
BD	BOARD
BLKG	BLOCKING
BTWEEN	BETWEEN
BV	BALL VALVE

C

CAB	CABINET
CPT	CARPET
CHAM	CHAMFER
CER	CERAMIC
CLG	CEILING
CLRFS	CLEARFOR
COLUM	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS(LY)
CONTR	CONTRACTOR
COR	CORNER
CSB	CONCRETE SHEARWALL

D

DIA	DIAMETER
DEPT	DEPARTMENT
DIM	DIMENSION
DET	DETAIL
DF	DRINKING FOUNTAIN
DA	DAMPER
DPT	DEPTH
DIST	DISTANCE
DN	DOWN
DWR	DRAWER
DEP	DEPENDER
DF	DIVIDER
DR	DOOR
DTOUR	DETOUR
DWG	DRAWING

E

EJ	EXPANSION JOINT
ELEC	ELECTRONIC
ELEC	ELECTRICAL
EMERG	EMERGENCY
ENGR	ENGINEERING
ENTR	ENTRANCE
EQUIP	EQUIPMENT
EQUAL	EQUAL
EXIST	EXISTING
EXP JT	EXPANSION JOINT
EXPOS	EXPOSED
EXT	EXTERIOR

F

FDN	FOUNDATION FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FIN	FINISH
FLR	FLOOR
FRPW	FIREPLACE FIRE WALL
FRP	FIBERGLASS
FOB	FOUNDATION
FOS	FOUNDATION SUPPORT
FPW	FURNISHER PARTIC WALL CONDITIONS

G

GA	GAUGE
GB	GYPSUM BOARD
GFRC	GLASS FIBER REINF. CONCRETE
GFRG	GLASS FIBER REINF. PLASTER BLAND
GRWP	GUTTER
GL	GLASS
GR	GRAVEL
GYP	GYPSUM

H

HB	HOSE
HDWR	HARDWARE
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HVAC	HEATING, VENTILATION, & AIR CONDITIONING

I

INFO	INFORMATION
INSTALL	INSTALLATION/INSTALLING
INSUL	INSULATION
INTLK	INTERLOCKING
INT	INTERIOR
INVERT	INVERTED

J

JCT	JUNCTION
JT	JOINT

K

KIT	KITCHEN

L

LAV	LAVATORY
LB	POUND (OR TON POUND (FURNISH))
L	LENGTH
LT	LIGHTING
LT	LIGHT
LOUV	LOUVER
LVR	LEVER

M

MAX	MAXIMUM
MFR	MANUFACTURER
MFG	MANUFACTURING
MECH	MECHANICAL
MTL	METAL
MTN	MEMBRANE
MISC	MISCELLANEOUS
MIN	MINIMUM
MWC	MOVABLE WALL CABINET
MUNI	MUNICIPAL
MBOX	MAILBOX
MOD	MODULAR
MTD	MOUNTED
MTG	MOUNTING

N

NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NTB	NOT TO BUILD

O

OH	OPPOSITE HAND
OTHER	OTHERWISE
OVFL	OVERFLOW
OVHD	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE

P

PTN	PARTITION
PNL	PANEL
PHB	PHYSICAL BARRIER
PWL	PANEL
PLY	PLYWOOD
POLYST	POLYESTER
POLY	POLYMER
PRFM	PREFINISHED
PRFTN	PREFABRICATED
PRFTD	PREFABRICATED
PLAS	PLASTIC LAMINATE
PLAS	PLASTER
PLATE	PLATE
PLYWD	PLYWOOD
PETCOK	PETCOCK

R

RDN	RADIUS
REINF	REINFORCED
RECEPT	RECEPTACLE
REF	REFRIGERATOR
REFL	REFLECTOR
REFR	REFRIGERATOR
REINF	REINFORCED
RFWD	REINFORCED FIBERGLASS
RFWD	FIBERGLASS
REMV	REMOVE (OR REMOVAL)
RMV	REMOVE
RTN	RETURN
RTD	RECESSED
RV	REVISION
RV	REVISION (OR REVISE)

S

SCR	SCREEN
SECURITY	SECURITY
SF	SQUARE FEET
SHEL	SHELVES
SHT	SHEET
SIMILAR	SIMILAR
SF	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STRPL	STOREFRONT
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SUSP	SUSPENSION
SYS	SYSTEMS

T

TAC	TACK
TLT	TOILET
TRAF	TRAFFIC
TRANS	TRANSFORMER
TRED	TRANSTED
TBD	TERRAZZO & MOSAIC
TYP	TYPICAL

U

UNOBJ	UNOBJECTIONABLE
UTIL	UTILITY
UNO	UNLESS NOTED OTHERWISE
UON	UNLESS OTHERWISE NOTED

V

VEH	VEHICLE
VERT	VERTICAL
VIF	VERIFY IN FIELD

W

W/	WITH
WD	WOOD (ALWAYS)
WDW	WINDOW
WDW	WINDOW
WSC	WITHOUT
WT	WEIGHT
WTPROF	WATERPROOFING

ALTERNATES

ALTERNATE #1:
BASE BID: -
ALTERNATE: -

ALTERNATE #2:
BASE BID: -
ALTERNATE: -

FINISH NOTES

1. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF BRIDGE/LATERS, OR NOT PROVIDED WITH WORK OR TO, UNDERTAKE ANY CORRECTIONS OR LAND DEEM CORRECTED.
2. REFERENCE TERMS SPECIFICATIONS FOR ALL MATERIAL FINISHES, REFERENCE PLANS, ELEVATIONS, DETAILS AND SPECIFICATIONS FOR LOCATIONS OF MATERIALS.
3. ALL INTERIOR FINISHED WALL NOT EXCEED A RISING DEVELOPMENT WITHIN WHICH THAN 450 IN PLANE SPACES BUTTER OF 30 IN IN CLAY (SEE ANALYSIS, MANAGEMENT, AND CORRIDORS USE OF IN ON IN ROOMS AND DEALLOWED SPACES, PERMITS TO COMPLY WITH NFPA 101 AND INTERNATIONAL BUILDING CODE.
4. ALL FOUNDATIONS AND FINISHES TO MATCH EXISTING AND CONTINUE EXTERIOR, WALLS.
5. ALL EXISTING PRODUCTS TO BE PATCHED AND REPAIRED TO MATCH EXISTING CONDITIONS IN AREAS OF NEW CONSTRUCTION ACTIVITIES. IN CONDITIONS WHERE AN EXISTING FINISH CANNOT BE MATCHED, THE G.C. SHALL REPAIRS THE ENTIRE SURFACE OF THE AFFECTED PLANES TO DELINEATE/DEFINE, AGREED TO CONSIDERATION.
6. MASTER CONTAINER OF ALL EXISTING PAINTS WITH LIST, MATCH SHADE, NOTES PLACEMENTS AND ADDRESSES AND INTENTIONS, ETC.
7. ALSO EXPOSED WORK ALONG A CONTINUOUS WALL WITH DIFFERENT WALL TYPES TO THAT THE EXPOSED SURFACE LINES OF PLANE, WHICH NEW WALLS ARE WITHIN TO MATCH AND ADJUST EXISTING WALLS. THE SURFACES SHALL BE FINISHED TOGETHER AS APPEARS AS ONE CONTINUOUS EXISTING SURFACE, WHERE EXISTING COLUMNS ARE SHOWN TO MATCH ON ALSO WITH NEW EXTRUDE EXISTING TYPE SHOWN. NEW EXTRUDE SHOWN SHALL MATCH THAT EXISTING COLUMN.

DESIGN BUILD

1. FIRE SPRINKLER SYSTEM
   FIRE SPRINKLER SYSTEM SHALL BE DESIGN BUILD & SHALL COMPLY WITH ALL MATERIAL, ETC.TS, & LOCAL GOVERNING CODES AND THE NEW JERSEY FIRE PREVENTION CODES & NFPA 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE APPROPRIATE AUTHORITIES TO OBTAIN APPROVAL BEFORE THE START OF CONSTRUCTION. FIRE SPRINKLER PLANS MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
2. PARKING FIELD
   PROPOSED PARKING FIELD SHALL BE DESIGN BUILD AND ARE BASED FOR BASIS OF DESIGN ONLY (SPACING PER ALL REGIONAL, STATE & LOCAL CODES. POOL CONTRACTOR SHALL COORDINATE WITH ALL REGIONAL, STATE & LOCAL CODES. POOL CONTRACTOR SHALL COORDINATE WITH ALL PROJECT PARTIES AND POOL PARKING FIELD DESIGN AND ARCHITECT. POOL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS FOR POOL CONSTRUCTION. POOL CONTRACTOR SHALL INCLUDE ALL EXPECT EQUIPMENT AS REQUIRED BY CODE FOR POOL.

OWNER PROVIDED ITEMS

1. ALL FURNITURE AND MATERIALS TO BE OWNER PROVIDED. CONTRACTOR RESPONSIBLE FOR CORRECTION SUPPLY AND INSTALLATION OF ALL REQUIRED BLOCKING AND FOR FIXTURES, ELECTRICAL AND LIGHTS FOR LIGHT FIXTURES. CONTRACTOR TO INSTALL FIXTURES, COORDINATE WITH OWNER ON DELIVERY OF FIXTURES TO SITE.
2. ALL AV EQUIPMENT & TV SE OWNER PROVIDED AND INSTALLED. CONTRACTOR RESPONSIBLE FOR CORRECTION AND INSTALLATION OF ALL REQUIRED BLOCKING AND FOR ELECTRICAL.

GENERAL DEMOLITION NOTES

1. IN ALL AREAS OF DEMOLITION, LEAVE SLAB VOIDS SUITABLE FOR INSTALLATION OF NEW COMPONENTS OR PROPERLY PATCH AND REPAIR THE SLAB, AND LEAVE SLAB SURFACE FLOOR. EXISTING SURFACES TO BE REPAIRED AND REPAIRED ELEVATIONS FOR EXTENT OF EXISTING PRIMERS TO REMAIN.
2. IN ALL AREAS OF DEMOLITION, PROPERLY DISCONNECT EXISTING UTILITIES (GAS, WATER, ELECTRICAL, ETC.) BY LICENSE APPROVED WORKERS. ALL UTILITIES TO BE CAPPED AND LEFTOVER PROPERLY. ALL GAS WORK MUST BE NOT REMOVED UTILITIES FROM BENEATH FLOOR SLAB OR ABOVE MUST BE GAS LEAKS NOTED TO ALL UTILITIES THAT ARE DISCONNECTED.
3. MAINTAIN WATER TIGHT CONDITION IN BUILDING DURING PRIOR AND CONSTRUCTION.
4. PROVIDE SIGN COMPLIANT LIFE SAFETY DIMENSIONS OF ALL SPRINKLER SYSTEMS.
5. CONTRACTOR SHALL INSPECT OWNERS AND ARCHITECT MANDATORY FIRE AND MECHANICAL ITEMS NOT (SUSPENDED OR DAMAGED AND UNCOVERED DURING DEMOLITION).
6. ALL HISTORICAL ITEMS THAT ARE DISCOVERED THAT REMAINED AND REMOVED ALSO SHALL BE LABELED TO INCLUDE THE FOLLOWING: 1. ORIGINAL LOCATION COMPONENT 2. NUMBER OF COMPONENT (EG. 1 OF 4), AND 3. ANY SPECIAL INSTRUCTIONS ASSOCIATED WITH REINSTALLATION.
7. ALL FURNISHINGS, EQUIPMENT, AND MATERIALS NOT ATTACHED TO THE BUILDING, SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO DEMOLITION. COORDINATE SALVAGE ITEMS WITH OWNERS. REMOVE ANY ADHESIVE RESIDUE AND/OR PATCH ANCHORING HOLES. REMOVE ANY MISCELLANEOUS DIAGNOSTIC MATERIALS, ANCHORS, ETC. FROM SURFACES.
8. PROTECT EXISTING CEILINGS, WALLS, STOREFRONTS AND FLOOR AND FLOOR FINISHES DURING DEMOLITION. REMOVE, STORE, PROTECT AND REINSTALL WALLS, BUILD AND CONTACT & ALL DURING DEMOLITION OF ALL ATTACHED MATERIALS.
9. REMOVE ALL EXISTING STAIL NOTE FOUND TO ADHERE SUBSTRATE. STRIP NOT WITH NEW SEALANT AT ALL LOCATIONS.
10. EXISTING FIRE RATED FILLER AND FILLER FOUND DEEL REMOVE NO REMOVAL UNLESS NOTED OTHERWISE. FIXTURE AND FILLER IN FIRE WALL CONSTRUCTION SHALL ONLY CONSIDER FOR REMOVAL BY INSTALLATION OF ALL REMOVE CONSTRUCTION. CONTRACTOR TO VERIFY NATURE OF EXISTING CONCLUDING CONSTRUCTION WITH OWNER, MANAGER AND WITH NEW CONSTRUCTION ACCORDINGLY.
11. ALL EXISTING FIRE EXTINGUISHERS, ARE TO BE KEPT OUT FOR USE, AND TO BE RELOCATED OUTSIDE OF PRIMARY ACCESSIBLE PATH TO CONSTRUCTION AREA AS PLAN NOTE.
12. ANNUAL FIRE PROTECTION SYSTEM, STARTING OR TEMPORARY, TO BE MAINTAINED BLOCKED FOR TERMINATION AND CONSTRUCTION ACTIVITIES AS REQUIRED BY LOCAL CODE.
13. NOTES ON THE FOLLOWING ENVIRONMENTAL REPORTS
    - DESCRIPTION: CONTAMINATED BUILDING MATERIALS REPORT - FEB 26, 2017
    - MR. SHAN FLIER CONSULTING ENVIRONMENTAL GROUP, LLC
    - ASBESTOS, LEAD PAINT, MERCURY, PCB, PESTICIDES, ETC. - JAN. 4, 2017
    - MR. SHAN FLIER CONSULTING ENVIRONMENTAL GROUP, LLC
    - HAZARDOUS BUILDING MATERIALS ASSESSMENT - FEB. 15, 2017
    - BY THOMSON ENVIRONMENTAL GROUP, LLC
14. ALL EXISTING ARCHITECT PLASTERED WALLS AND LOOKS DEPENDER WALLS. THE DEEP FOUT OF PLASTERED TO BE ARMED.

FIRE DEPARTMENT NOTES

1. PROVIDE A POTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 6A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL POINTS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT INSPECTOR ON BUILDING DEPARTMENT INSPECTOR.
2. PROVIDE UNIT DOOR WITH LETTERS OVER REQUIRED KEYS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT OR FIRE DEPARTMENT INSPECTOR. CONTACT FIRE DEPARTMENT FOR EMERGENCY POWER CIRCUITS, COMPLY WITH BUILDING CODE.
3. PROVIDE EMERGENCY LIGHTING OF 1HR FOOT CANDLE AT FLOOR LEVEL, COMPLY WITH BUILDING CODES, & NEW YORK STATE AS CODE AT NEC OF PUBLIC AREAS
4. EXIT DOOR SIGNS SHALL BE DESIGNED FROM THE AREAS WITHOUT THE USE OF EARTH OR ANY OPTIONAL MEDIA LIGHT OR EFFECT. SIGNS, LIGHTING DEVICES SHALL BE OF AN APPROVED TYPE. ALL DOORS SHALL HAVE AN APPROVED LATCH HANDLE.
5. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUID, FLAMMABLE AND GAS HAZARDOUS EQUIPMENT SHALL COMPLY WITH CHAPTER FIRE CODE REGULATIONS.
6. TOXIC ELECTRICAL SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
7. SUBSEQUENT HAZARDS OVERLOAD SHALL ACTUATE A PLANE OF WARNING THE HAZARD AFFORDING PLANE OF EXPOSE CLEAR HAZARDS SHALL ONLY A REQUIREMENT OF NOT MORE THAN IN PLACED PER SHAFTS.
8. WHICH DOES NOT FIRE DEPARTMENT OWNER ENTER CALL IN, AS REQUIRED BY LOCAL JURISDICTION.

NOTE: PLATES IN AN ARCHITECTURAL DRAWING IS REQUIRED. (LOCATION OF FIRE ALARM PANEL & APPROVED ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.

FIRE EXTINGUISHERS

PER NFPA 10

REQUIREMENTS: (2)#4 (5.0lb) HANDHELD EQUIPMENT RATING 1A, 10A/BC
MAX. RD. PT. (1)#2 (10.0lb) MAX. 20 FT. / DESCRIBEMAX.
PLACING PT. MAX. THREE DISTANCE. 75 FT.
FIRE EXTINGUISHERS TYPE: 1-2-3-4-5 OR 1-2-3-4-5-6-6A, 6BT

REFERENCE PLANS AND PROCEDURES AND ENTITIES GIVEN INDICATING TYPE.

FIRE COMMAND CENTER

FIRE COMMAND CENTER SHALL BE CONSTRUCTED PER ONE LINE IN THE FALL LINES PER LIST BY REQUIREMENTS.

1. PROTECTED BY A LOCKED FIRE DEPARTMENT ACCESS KEY BOXES
2. PROVIDED WITH A DIRECT LINE TO THE BUILDING FIRE PER A DEDICATED EXTENSION OF 10.
3. EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM CONTROL UNIT
4. FIRE DEPARTMENT COMMUNICATIONS SYSTEM
5. FIRE DETECTION AND ALARM INDICATOR CONSOLE/PANEL
6. ANNUNCIATOR AND VISUALLY INDICATING THE LOCATION OF THE ELEVATORS AND WHETHER THEY ARE OPERATIONAL.

OPERATIONAL:

1. STATUS INDICATOR AND CONTROLS FOR AIR CONTRACTOR SYSTEM
2. FIRE PUMP STATUS MONITOR. FIRE RESILIENT BY SECTION 909.11 TO THE BASIC CAPITAL SYSTEMS

INSTALLATION TO THE BUILDING

1. CONTROLS FOR ELECTRICAL SYSTEMS LIST SYSTEMS CONTROL DATA TIMEOUTS.
2. SYSTEMS AND ALL AND SYSTEMS LIST OF SYSTEMS CONTROL DATA AVAILABLE
3. EMERGENCY AND NUMBER POWER SYSTEM BREAKERS.
4. TELEPHONE FOR FIRE DEPARTMENT USE WITH CONTROLLER ADDRESS TO THE PUBLIC TELEPHONE SYSTEM. IN FIRE PUMP STATUS MONITORING.
5. FIRE PUMP STATUS MONITORING. THE DESIGNATE THE TYPICAL PLANS PLAN AND VALUES THE BUILDING SIZE, SHALL BE RESPONSIBLE FOR PROBLEMS FOR FIRE CONSTRUCTION. POOL CONTRACTOR SHALL INCLUDE ALL EXPECT EQUIPMENT AS REQUIRED BY CODE FOR POOL.

BUILDING MANAGER AND BUILDING ENGINEER, INCLUDING WITH AND FIRE, PHONE NUMBER AND CODE, ADDRESS

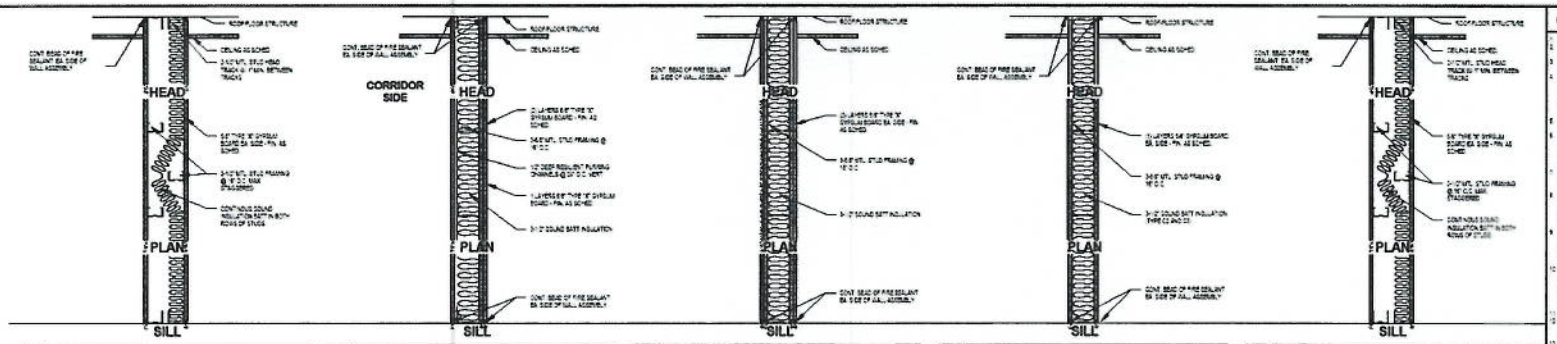
1. BUILDING CONSTRUCTION INFORMATION: TYPE OF BUILDING CONSTRUCTION INCLUDING FLOORS, WALLS, CEILINGS, AND ROOF ASSEMBLY.
2. EXIT ENTRIES AND EXIT OF EMERGENCY INFORMATION: NUMBER OF EXIT ENTRIES AND EXIT OF EMERGENCY, EACH EXIT ACCESS AND EXIT OF EMERGENCY DESIGNATION AND PLACED BEFORE, LOCATION OF EXIT ENTRANCE, INTERIOR EXIT STAIRWAYS THAT ARE PRESSURIZED, ETC.
3. BUILDING SERVICES AND UTILITIES INFORMATION: LOCATION OF MECHANICAL ROOMS, MANAGEMENT SYSTEMS, FUEL OIL TANKS AND CAPACITY, EMERGENCY GENERATOR, AND NATURAL GAS SERVICE
4. FIRE PROTECTION SYSTEM INFORMATION: LOCATION OF SPRINKLERS, FIRE PUMP ROOM, FIRE DEPARTMENT CONNECTIONS, FLOORS PROTECTED BY AUTOMATIC SPRINKLERS, LOCATIONS OF DETECTOR

TYPES OF ALTERNATE SPRINKLER SYSTEMS.

1. HAZARDOUS MATERIAL INFORMATION: LOCATION AND QUANTITY OF HAZARDOUS MATERIAL
2. MONITORING
3. SUBSTITUTE AUTHORIZED SPACES, SHAPES, STYLES AND MAGNITUDE OF LEVELS
4. ALL ROOMS AND SPACES, ALL ROOMS AND SPACES, ALL ROOMS AND SPACES, LOCATION OF FIRE CODE.
5. ALL ROOMS AND SPACES, ALL ROOMS AND SPACES, ALL ROOMS AND SPACES, LOCATION OF FIRE CODE.
6. ELEVATOR EMERGENCY ON EXISTING POWER SELECTION SWITCHES INSIDE EMERGENCY ON STANDBY. POSITIONS PROVIDED

REFLECTED CEILING NOTES

1. UNLESS SUSPENDED CEILING PROVIDES OPTIONS TO REMOVE A LIMITED PORTION OF SPACE OR THE PRESENCE OF THE CEILING AVAILABLE AND ANY LOCATE TEMPORARY TO THE OPTIONS, AND A MINIMUM REMOVE OF 5 PLANES AND ADJACENT PLANT TO DETERMINE THE ACTUAL PLANES.
2. WHERE CEILING GRIDS TO NOT EXCEED A PLANES PER ELEVATION AND WHERE PARTITIONS AND NOT CONNECTED TO THE CEILING SYSTEM, THE PLAN DRAWING SHOWS WITHIN MAY BE EXAMPLE.
3. HANGER LATERAL SUPPORT BY PLUS NOTES OF ADHERE AS RIG. IN GRADE SPACES IN PLAN GRIDS SHOWS IN DRAWINGS WHERE AND CONNECTED TO THE NEW SUSPENDED SYSTEM. IN ADDITION TO THE PLANES AND THE PERFECTION AREAS AS IN ONE WALL CONNECTED IN CONNECTED FROM THE PLANES OF THE CEILING. PROVIDE THESE LOCATION SUPPORT POINTS IN FIRST ON CENTER BRACKER DIRECTION, WITH THE FIRST POINT WITHIN 4" FROM EACH WALL.
4. ALLOW FOR A MINIMUM MAXIMUM OF THE ENTIRE PLANES AND CHANGES AND CHANGES AND CHANGES THE PLANES AND CHANGES AND CHANGES AND CHANG



A — UNIT SEPARATION WALL 1-HR

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
A1	1 LAYER 5/8" TYPE 'X' GYP BRD OVER 25 GAUGE 3-5/8" MTL STUDS @ 16" O.C. MINIMUM SEPARATE RUNNERS IN CONT. SOUND WALL BOTH SIDES OF STUDS	1-HR	60-64	60-64	3-5/8" LF
A2	1 LAYER 5/8" TYPE 'X' GYP BRD OVER 25 GAUGE 3-5/8" MTL STUDS @ 16" O.C. MINIMUM SEPARATE RUNNERS IN CONT. SOUND WALL BOTH SIDES OF STUDS	1-HR	60-64	60-64	REF. PLAN

A — UNIT/CORR. SEPARATION WALL 1-HR

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
A3	1 LAYER 5/8" GYP BRD OVER RESILIENT SOUND CHANNEL @ 24" O.C. VERT. CORR. SIDE ON 3-5/8" MTL STUDS @ 24" O.C. 1 LAYER 5/8" GYP BRD OTHERSIDE	1-HR	52	50-54	5-1/2"
A4	1 LAYER 5/8" GYP BRD OVER RESILIENT SOUND CHANNEL @ 24" O.C. VERT. CORR. SIDE ON 3-5/8" MTL STUDS @ 24" O.C. 1 LAYER 5/8" GYP BRD OTHERSIDE	1-HR	52	50-54	5-1/2"
A5	1 LAYER 5/8" GYP BRD OVER RESILIENT SOUND CHANNEL @ 24" O.C. VERT. CORR. SIDE ON 3-5/8" MTL STUDS @ 24" O.C. 1 LAYER 5/8" GYP BRD OTHERSIDE	1-HR	52	50-54	5-1/2"

B — RATED PARTITION

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
B	3-5/8" MTL STUDS @ 24" WITH 1 LAYER 5/8" GYP BRD EA SIDE AND FULL THICKNESS SOUND WALL	2-HR	50	50-54	6-1/8"
B1	SAME AS WALL TYPE 'B' BUT MTL STUDS INCREASE TO 3-5/8" MTL STUDS	2-HR	52	50-54	6-1/2"
B2	SAME AS WALL TYPE 'B' BUT 1 LAYER TYPE 'X' GYP BRD EA SIDE IN LIEU OF 2 LAYERS	1-HR	51	50-54	4-7/8"
B3	SAME AS WALL TYPE 'B' BUT 1 LAYER TYPE 'X' GYP BRD EA SIDE IN LIEU OF 2 LAYERS	1-HR	51	50-54	4-7/8"

C — NON-RATED PARTITION

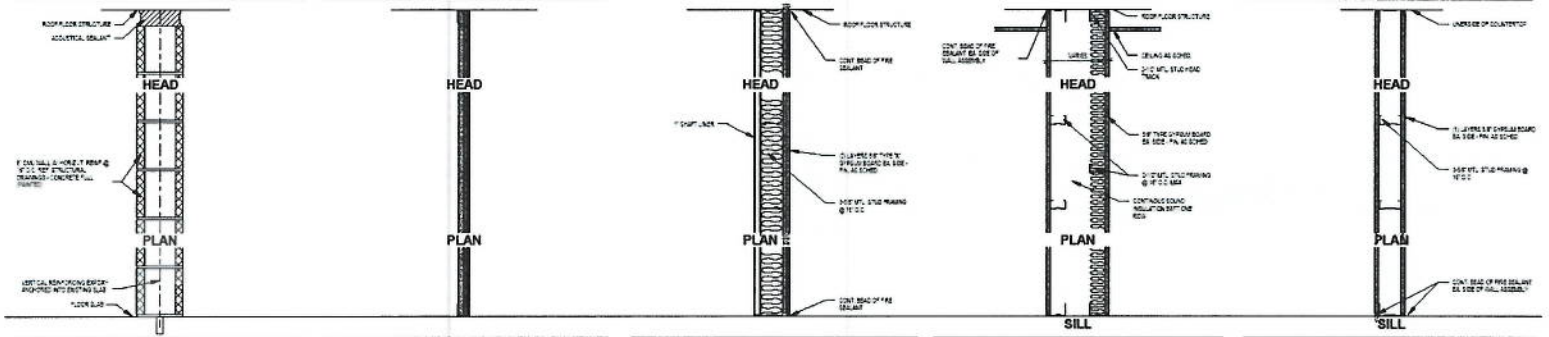
MARK	DESCRIPTION	RATING	STC	STD	WIDTH
C1	3-5/8" METAL STUDS @ 24" O.C. WITH 1 LAYER 5/8" GYP. BRD. EA SIDE AND WITH 2" SOUND BATT	-	51	-	4-7/8"
C2	6" METAL STUDS @ 24" O.C. WITH 1 LAYER 5/8" GYP. BRD. EA SIDE WITH 2" SOUND BATT	-	51	-	7-1/2"
C3	SAME AS TYPE 'C1' WITHOUT 2" SOUND BATT	-	-	-	4-7/8"
C4	SAME AS TYPE 'C2' WITHOUT 2" SOUND BATT	-	-	-	7-1/2"

C — NON-RATED PARTITION

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
C5	2" ROUND 20 GA METAL STUDS @ 24" O.C. WITH 1 LAYER 5/8" GYP. BRD. EA SIDE AND WITH 2" SOUND BATT. REF. PLAN FOR FULL WIDTH	-	5	-	VARIES
C6	SAME AS TYPE 'C5' WITHOUT 2" SOUND BATT	-	-	-	VARIES

GENERAL NOTES

1. REFER TO FLOOR PLANS FOR PARTITION LOCATIONS.
2. SOUND ATTENUATION BLANKETS, WHERE SCHEDULED, SHALL EXTEND FULL HEIGHT OF PARTITION.
3. PROVIDE FIRE RATED CULKS & FIRE SEALING AT ALL PARTIAL TERMINATIONS AND PENETRATIONS.
4. PROVIDE WATER RESISTANT GYPSUM BOARD AT ALL PLUMBING FIXTURE LOCATIONS. EXTEND A MINIMUM OF 10" IN HEIGHT AND 24" EL SIDE OF FIXTURE CENTERLINE AT SHOWER CONDITIONS. WATER RESISTANT GYPSUM BOARD SHALL EXTEND FULL HEIGHT.
5. REFER TO ELEVATIONS FOR COMPLETE REQUIREMENTS FOR DIMENSIONS, LISTED ON THIS SHEET.
6. METAL STUD GAUGE SIZE PER STRUCTURAL DRAWINGS. IF NOT NOTED IN STRUCTURAL DRAWINGS, REFERENCE MANUFACTURERS SIZE CHART FOR GAUGE SIZE FOR STUD DEPTH, LENGTH, SPACING AND DEFLECTION REQUIREMENTS.
7. DIAGONAL BRACING IS REQ'D BY STUD MANUFACTURER'S FULL TRIAL PARAMETERS FOR STUD LENGTH.
8. INSTALL ADDITIONAL BRACING AND BLOCKING IN WALLS AS REQUIRED BY CODE OF FIRES AND PLUMBING FIXTURES AND FOR ALL HUNG SINKS, SHELVES, WALL MOUNTED EQUIPMENT, ETC. COORDINATE WITH KITCHEN DRAWINGS.
9. FILL AND TAPE ALL JOINTS, PARTITIONS AROUND ALL PIPE CONDUIT, DUCTWORK AND ANY OTHER PENETRATIONS THROUGH RATED WALLS. ALL PENETRATIONS THROUGH WALL 1-HR RATED WALLS TO BE SEALED WITH 3M CP 25.
10. FIRE BLOCKING IS TO BE PROVIDED IN CONCEALED WALL SPACES VERTICALLY AT CEILING LEVELS AND FLOOR LEVELS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 10' REQUIRED AT ALL CLOSURE. FIRE BLOCKING SHALL BE OF MATERIALS AS DESCRIBED IN SECTION 717.2.
11. ALL BLOCKING TO BE FIRE RETARDANT LUMBER.
12. 2-IN GYPSUM BOARD ALONG A CONTINUOUS WALL BOTH DIRECTIONS WALL THREE SIDES THAT THE GYPSUM BOARD UNDER PLAN.
13. ALL GYPSUM WALLS AND CEILING SURFACES TO HAVE A LEVEL 4 FINISH PER ASSEMBLIES FROM SCHEDULE FOR WALL FINISH.
14. PROVIDE 1/2" GYPSUM TILE BACKER BOARD ON ALL OF SIX GYPSUM BOARD AT ALL TILE LOCATIONS UNLESS WALL IS A RATED ASSEMBLY.
15. ALL RATED WALL ASSEMBLIES TO USE TYPE 'X' GYPSUM BOARD. ALL RATED CEILING ASSEMBLIES TO USE TYPE 'C' GYPSUM BOARD.



D — RATED PARTITION

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
D1	8" CMU BLOCK @ VERTICAL REINFORCING EPOXY ANCHORED TO EXISTING SLAB. REF. STRUCTURAL FOR REQUIREMENTS	2-HR		VARIES	7-5/8"
D2	10" CMU BLOCK @ VERTICAL REINFORCING EPOXY ANCHORED TO EXISTING SLAB. REF. STRUCTURAL FOR REQUIREMENTS				

F — RATED SHAFT

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
F1	LAYER 1" THICK GYPSUM BOARD LINER INSERTED IN SHAFT WALL STUDS. 2 LAYERS 5/8" THICK GYPSUM BOARD W/ 3C FIBERGLASS STRIP, SHOULDS @ PERIMETER	2-HR	-	VARIES	7"

F4 — ELEVATOR WALL

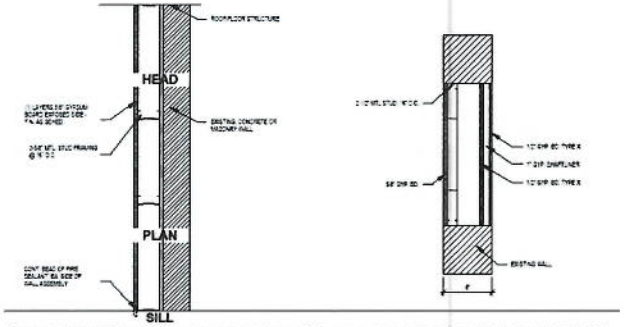
MARK	DESCRIPTION	RATING	STC	STD	WIDTH
F4	3-5/8" MTL STUD @ 16" SHAFT LINER ON SHAFT SIDE AND 2 5/8" GYP. BRD. TYPE 'X' ON EXPOSE SIDE	2-HR		VARIES	8-5/8"
F6	3-5/8" MTL STUD @ 16" SHAFT LINER ON SHAFT SIDE AND 2 5/8" GYP. BRD. TYPE 'X' ON EXPOSE SIDE	2-HR		VARIES	7-5/8"

G — PLUMBING WET WALL

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
G1	5/8" GYP. BRD. OVER 25 GAUGE 3-5/8" MTL STUDS WITH 1" MINIMUM SEPARATE RUNNERS IN CONT. SOUND WALL	-	60-64		5-1/2"
G2	5/8" CEMENTITIOUS BRD. OVER STAGGERED 3-5/8" MTL STUDS WITH 1" MINIMUM SEPARATE RUNNERS IN CONT. SOUND WALL BOTH SIDES OF STUDS	-	60-64		5-1/2"
G3	WALL THICKNESS TO BE CONCRETE 3-5/8" MTL STUDS OVER 1 5/8" METAL STUDS @ 16" O.C. SET OFF EXISTING NON WALL AS DIMENSIONED				VARIES

J — PARTIAL HEIGHT WALL

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
J1	3-5/8" METAL STUD W/ 1 LAYER 5/8" GYP. BRD. EA SIDE. AS "HEIGHT"				4-7/8"

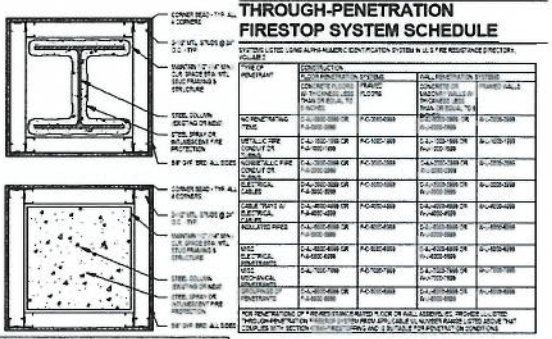


K — FURRED WALL

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
K1	7/8" FURRING CHANNEL W/ 5/8" GYP. BRD. ON EXPOSE SIDE				1-1/2"
K2	3-1/2" METAL STUD W/ 5/8" GYP. BRD. ON EXPOSE SIDE				5-1/8"
K3	3-5/8" METAL STUD W/ 5/8" GYP. BRD. ON EXPOSE SIDE				4-1/2"
K4	6" METAL STUD FURRING WALL W/ 5/8" GYP. BRD. ADJACENT TO EXISTING OR NEW WALL				6-5/8"

L — INFILL RATED WALLS

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
L1	MTL. EXISTING WALL W/ 1" SHAFT LINER AND GYP. BRD. MATCH EXISTING WALL THICKNESS - FIN. TO EXISTING ADJACENT WALL	2-HR	-	VARIES	VARIES



THROUGH-PENETRATION FIRESTOP SYSTEM SCHEDULE

SYSTEMS LISTED USING ALPHA-NUMERIC CONFIGURATION SYSTEM IN UL'S FIRE RESISTANCE DIRECTORY, VOLUME 2

TYPE OF PENETRANT	CONSTRUCTION: CONCRETE FLOORS	CONCRETE FLOORS	MASONRY WALLS	MASONRY WALLS
	CABLE PENETRATION SYSTEMS		WALL PENETRATION SYSTEMS	
	CONCRETE FLOORS @ THICKNESS LESS THAN OR EQUAL TO 6"	FRAMED FLOORS	CONCRETE OR MASONRY WALLS @ THICKNESS LESS THAN OR EQUAL TO 6"	FRAMED WALLS
NO PENETRATING ITEMS	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999
METALLIC PIPE CONDUIT OR TUBING	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999
NONMETALLIC PIPE CONDUIT OR TUBING	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999
ELECTRICAL CABLES	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999	F-A-1000-1999 OR F-A-0000-1999	F-C-1000-1999
CABLE TRAYS W/ ELECTRICAL CABLES	F-A-4000-4999 OR F-A-4000-4999	F-C-4000-4999	F-A-4000-4999 OR F-A-4000-4999	F-C-4000-4999
INSULATED PIPES	F-A-4000-4999 OR F-A-0000-4999	F-C-4000-4999	F-A-4000-4999 OR F-A-0000-4999	F-C-4000-4999
MISC. ELECTRICAL ADMIXTURES	F-A-4000-4999 OR F-A-0000-4999	F-C-4000-4999	F-A-4000-4999 OR F-A-4000-4999	F-C-4000-4999
MISC. MECHANICAL ADMIXTURES	F-A-7000-7999	F-C-7000-7999	F-A-7000-7999 OR F-A-7000-7999	F-C-7000-7999
ALL OTHER PENETRANTS	F-A-0000-4999 OR F-A-0000-4999	F-C-0000-4999	F-A-0000-4999 OR F-A-0000-4999	F-C-0000-4999

FOR PENETRATIONS OF FIRE-RATED STANDARD FLOOR OR WALL ASSEMBLIES, PROVIDE LISTED THROUGH-PENETRATION FIRESTOP SYSTEM FROM UPPER CABLE VOLUMES, LISTED ABOVE THAT COMPLIES WITH SECTION 1 (GENERAL REQUIREMENTS) AND 2 (SYSTEMS FOR PENETRATION CONDITIONS).

Y — FURRING AT COLUMNS

MARK	DESCRIPTION	RATING	STC	STD	WIDTH
Y1	3-1/2" METAL STUD FRAMING OVER NEW OR EXISTING STEEL COLUMN	2-HR	-	VARIES	-
Y2	3-1/2" METAL STUD FRAMING OVER NEW OR EXISTING CONCRETE COLUMN	2-HR	-	VARIES	-
Y3	INTUMESCENT PAINT COATING OVER EXISTING STRUCTURAL STEEL	2-HR	-	VARIES	-

PROVIDE BATT INSULATION AT INTERIOR OF WALL LOCATIONS

studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

WALL TYPES

7A HOSPITAL STREET, ST.CROIX USVI

Date: 06/02/2024
Drawn By: Author
Checked By: Checker

A0.02

Scale

Chapter 3- Building Blocks
302 Floor or Ground Surfaces

Section 302.1 General. Floor and ground surfaces shall be stable, firm, and slip resistant and shall comply with 302.

EXCEPTIONS:

1. Within animal containment areas, floor and ground surfaces shall not be required to be stable firm, and slip resistant.
2. Areas of sport activity shall not be required to comply with 302.

302.2 Carpet. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Pile height shall be 1/2 inch (13 mm) maximum. Exposed edges of carpet shall be fastened to floor surfaces and shall have trim on the entire length of the exposed edge. Carpet edge trim shall comply with 303.

Figure 302.2 Carpet Pile Height

302.3 Openings. Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2 inch (13 mm) diameter except as allowed in 407.4.3, 409.4.3, 410.4, 810.5.3 and 810.10. Elongated openings shall be placed so that the long dimension is perpendicular to the dominant direction of travel.

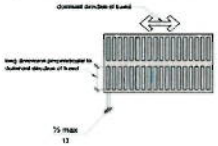


Figure 302.3 Elongated Openings in Floor or Ground Surfaces

303 Changes in Level

303.1 General. Where changes in level are permitted in floor or ground surfaces, they shall comply with 303.

EXCEPTIONS:

1. Animal containment areas shall not be required to comply with 303.
2. Areas of sport activity shall not be required to comply with 303.

303.2 Vertical. Changes in level of 1/4 inch (6.4 mm) high maximum shall be permitted to be vertical.

Figure 303.2 Vertical Change in Level

303.3 Beveled. Changes in level between 1/4 inch (6.4 mm) high minimum and 1/2 inch (13 mm) high maximum shall be beveled with a slope not steeper than 1:2.

Figure 303.3 Beveled Change in Level

304 Turning Space

304.1 General. Turning space shall comply with 304.
304.2 Floor or Ground Surfaces. Floor or ground surfaces of a turning space shall comply with 302. Changes in level are not permitted.

EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

304.3 Size. Turning space shall comply with 304.3.1 or 304.3.2.

304.3.1 Circular Space. The turning space shall be a space of 60 inches (1525 mm) diameter minimum. The space shall be permitted to include knee and toe clearance complying with 306.

304.3.2 T-Shaped Space. The turning space shall be a T-shaped space within a 60 inch (1525 mm) square minimum with arms and base 36 inches (915 mm) wide minimum. Each arm of the T shall be clear of obstructions 12 inches (305 mm) minimum in each direction and the base shall be clear of obstructions 24 inches (610 mm) minimum. The space shall be permitted to include knee and toe clearance complying with 306 only at the end of either the base or one arm.

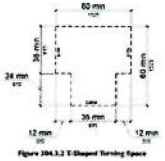


Figure 304.3.2 T-Shaped Turning Space

304.4 Door Swing. Doors shall be permitted to swing into turning spaces.

305 Clear Floor or Ground Space

305.1 General. Clear floor or ground space shall comply with 305.

305.2 Floor or Ground Surfaces. Floor or ground surfaces of a clear floor or ground space shall comply with 302. Changes in level are not permitted.

EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

305.3 Size. The clear floor or ground space shall be 30 inches (760 mm) minimum by 48 inches (1220 mm) minimum.

Figure 305.3 Clear Floor or Ground Space

305.4 Knee and Toe Clearance. Unless otherwise specified, clear floor or ground space shall be permitted to include knee and toe clearance complying with 306.

305.5 Position. Unless otherwise specified, clear floor or ground space shall be positioned for either forward or parallel approach to an element.

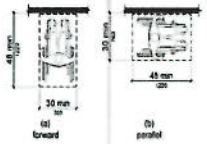


Figure 305.3 Clear Floor or Ground Space

305.6 Approach. One full unobstructed side of the clear floor or ground space shall adjoin an accessible route or adjoin another clear floor or ground space.

305.7 Maneuvering Clearance. Where a clear floor or ground space is located in an alcove or otherwise confined on all or part of three sides, additional maneuvering clearance shall be provided in accordance with 305.7.1 and 305.7.2.

305.7.1 Forward Approach. Alcoves shall be 36 inches (915 mm) wide minimum where the depth exceeds 24 inches (610 mm).

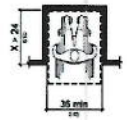


Figure 305.7.1 Maneuvering Clearance in an Alcove, Forward Approach

305.7.2 Parallel Approach. Alcoves shall be 60 inches (1525 mm) wide minimum where the depth exceeds 15 inches (380 mm).

Figure 305.7.2 Maneuvering Clearance in an Alcove, Parallel Approach

306.1 General. Where space beneath an element is included as part of clear floor or ground space or turning space, the space shall comply with 306. Additional space shall not be prohibited beneath an element but shall not be considered as part of the clear floor or ground space or turning space.

306.2 Toe Clearance.

306.2.1 General. Space under an element between the finish floor or ground and 9 inches (230 mm) above the finish floor or ground shall be considered toe clearance and shall comply with 306.2.

306.2.2 Maximum Depth. Toe clearance shall extend 25 inches (635 mm) maximum under an element.

306.2.3 Minimum Required Depth. Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17 inches (430 mm) minimum under the element.

306.2.4 Additional Clearance. Space extending greater than 6 inches (150 mm) beyond the available knee clearance at 9 inches (230 mm) above the finish floor or ground shall not be considered toe clearance.

306.2.5 Width. Toe clearance shall be 30 inches (760 mm) wide minimum.

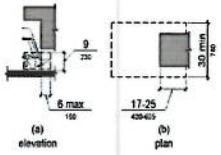


Figure 306.2 Toe Clearance

306.3 Knee Clearance.

306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.

306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.

306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be 11 inches (280 mm) deep minimum at 9 inches (230 mm) above the finish floor or ground, and 8 inches (205 mm) deep minimum at 27 inches (685 mm) above the finish floor or ground.

306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.

306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

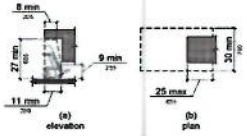


Figure 306.3 Knee Clearance

307 Protruding Objects

307.2 Protrusion Limits. Objects with leading edges more than 27 inches (685 mm) and not more than 80 inches (2030 mm) above the finish floor or ground shall protrude 4 inches (100 mm) maximum horizontally into the circulation path.

EXCEPTION: Handrails shall be permitted to protrude 4 1/2 inches (115 mm) maximum.

Figure 307.2 Limits of Protruding Objects

307.4 Vertical Clearance. Vertical clearance shall be 80 inches (2030 mm) high minimum. Guardrails or other barriers shall be provided where the vertical clearance is less than 80 inches (2030 mm) high. The leading edge of such guardrail or barrier shall be located 27 inches (685 mm) maximum above the finish floor or ground.

EXCEPTION: Door closers and door stops shall be permitted to be 78 inches (1980 mm) minimum above the finish floor or ground.

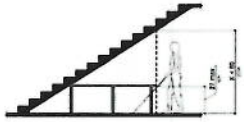


Figure 307.4 Vertical Clearance

307.5 Required Clear Width. Protruding objects shall not reduce the clear width required for accessible routes.

308 Reach Ranges

308.1 General. Reach ranges shall comply with 308.

308.2 Forward Reach.

308.2.1 Unobstructed. Where a forward reach is unobstructed, the high forward reach shall be 48 inches (1220 mm) maximum and the low forward reach shall be 15 inches (380 mm) minimum above the finish floor or ground.

Figure 308.2.1 Unobstructed Forward Reach

308.2.2 Obstructed High Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required reach depth over the obstruction. The high forward reach shall be 48 inches (1220 mm) maximum where the reach depth is 20 inches (510 mm) maximum. Where the reach depth exceeds 20 inches (510 mm), the high forward reach shall be 44 inches (1120 mm) maximum and the reach depth shall be 25 inches (635 mm) maximum.

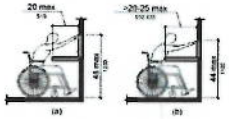


Figure 308.2.2 Obstructed High Forward Reach

308.3 Side Reach.

308.3.1 Unobstructed. Where a clear floor or ground space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 48 inches (1220 mm) maximum and the low side reach shall be 15 inches (380 mm) minimum above the finish floor or ground.

EXCEPTIONS:

1. An obstruction shall be permitted between the clear floor or ground space and the element where the depth of the obstruction is 10 inches (255 mm) maximum.
2. Operable parts of fuel dispensers shall be permitted to be 54 inches (1370 mm) maximum measured from the surface of the vehicular way where fuel dispensers are installed on curbing curbs.

Figure 308.3.1 Unobstructed Side Reach

308.3.2 Obstructed High Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches (865 mm) maximum and the depth of the obstruction shall be 24 inches (610 mm) maximum. The high side reach shall be 48 inches (1220 mm) maximum for a reach depth of 10 inches (255 mm) maximum. Where the reach depth exceeds 10 inches (255 mm), the high side reach shall be 46 inches (1170 mm) maximum for a reach depth of 24 inches (610 mm) maximum.

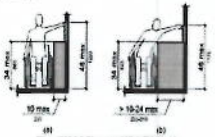


Figure 308.3.2 Obstructed High Side Reach

Chapter 4 Accessible Routes
403 Walking Surfaces

403.1 General. Walking surfaces that are a part of an accessible route shall comply with 403.

403.2 Floor or Ground Surface. Floor or ground surfaces shall comply with 302.

403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.

403.4 Changes in Level. Changes in level shall comply with 303.

403.5 Clearances. Walking surfaces shall provide clearances complying with 403.5.

EXCEPTION: Within employee work areas, clearances on common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

403.5.1 Clear Width. Except as provided in 403.5.2 and 403.5.3, the clear width of walking surfaces shall be 36 inches (915 mm) minimum.

EXCEPTION: The clear width shall be permitted to be reduced to 32 inches (815 mm) minimum for a length of 24 inches (610 mm) maximum provided that reduced width segments are separated by segments that are 48 inches (1220 mm) long minimum and 36 inches (915 mm) wide minimum.

Figure 403.5.1 Clear Width of an Accessible Route

403.5.2 Clear Width at Turn. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches (1220 mm) wide, clear width shall be 42 inches (1065 mm) minimum approaching the turn, 48 inches (1220 mm) minimum at the turn and 42 inches (1065 mm) minimum leaving the turn.

EXCEPTION: Where the clear width at the turn is 60 inches (1525 mm) minimum compliance with 403.5.2 shall not be required.

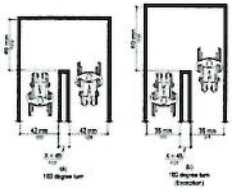


Figure 403.5.2 Clear Width at Turn

403.5.3 Passing Spaces. An accessible route with a clear width less than 60 inches (1525 mm) shall provide passing spaces at intervals of 200 feet (61 m) maximum. Passing spaces shall be either: a space 60 inches (1525 mm) minimum by 60 inches (1525 mm) minimum; or, an intersection of two walking surfaces providing a T-shaped space complying with 304.3.2 where the base and arms of the T-shaped space extend 48 inches (1220 mm) minimum beyond the intersection.

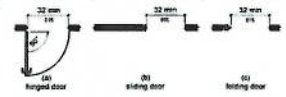
403.6 Handrails. Where handrails are provided along walking surfaces with running slopes not steeper than 1:20 they shall comply with 505.

404 Doors, Doorways, and Gates

404.2.3 Clear Width. Door openings shall provide a clear width of 32 inches (815 mm) minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24 inches (610 mm) deep shall provide a clear opening of 36 inches (915 mm) minimum. There shall be no projections into the required clear opening width lower than 34 inches (865 mm) above the finish floor or ground. Projections into the clear opening width between 34 inches (865 mm) and 80 inches (2030 mm) above the finish floor or ground shall not exceed 4 inches (100 mm).

EXCEPTIONS:

1. In alterations, a projection of 5/8 inch (16 mm) maximum into the required clear width shall be permitted for the latch side stop.
2. Door closers and door stops shall be permitted to be 78 inches (1980 mm) minimum above the finish floor or ground.



404.2.4 Maneuvering Clearances. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.

404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1.

Table 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

Approach Direction	Door or Gate Side	Minimum Maneuvering Clearances: Perpendicular to Doorway	Minimum Maneuvering Clearances: Parallel to Doorway (beyond latch side unless noted)
From front	Pull	60 inches (1525 mm)	18 inches (455mm)
From front	Push	48 inches (1220 mm)	0 inches (0 mm)[1]
From hinge side	Pull	60 inches (1525 mm)	36 inches (915 mm)
From hinge side	Pull	54 inches (1370 mm)	42 inches (1065 mm)
From hinge side	Push	42 inches (1065 mm)[2]	22 inches (560 mm)[2]
From latch side	Pull	48 inches (1220 mm)[3]	24 inches (610 mm)
From latch side	Push	42 inches (1065 mm)[4]	24 inches (610 mm)

1. Add 12 inches (305 mm) if closer and latch are provided
2. Add 8 inches (150 mm) if closer and latch are provided
3. Beyond hinge side
4. Add 8 inches (150 mm) if closer is provided

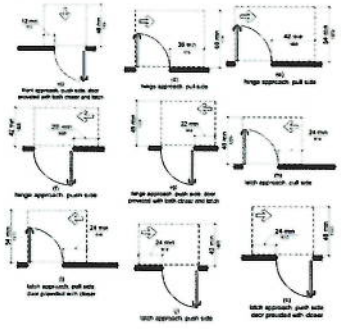


Figure 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates

404.2.4.2 Doorways without Doors or Gates, Sliding Doors, and Folding Doors. Doorways less than 36 inches (915 mm) wide without doors or gates, sliding doors, or folding doors shall have maneuvering clearances complying with Table 404.2.4.2.

Table 404.2.4.2 Maneuvering Clearances at Doorways without Doors or Gates, Manual Sliding Doors, and Manual Folding Doors

Approach Direction	Minimum Maneuvering Clearances: Perpendicular to Doorway	Minimum Maneuvering Clearances: Parallel to Doorway (beyond strike/latch side unless noted)
From front	48 inches (1220 mm)	0 inches (0 mm)
From side	42 inches (1065 mm)	0 inches (0 mm)
From pocket/hinge side	42 inches (1065 mm)	22 inches (560 mm)[2]
From strike/latch side	42 inches (1065 mm)	24 inches (610 mm)

1. Doorway with no door only
2. Beyond pocket/hinge side

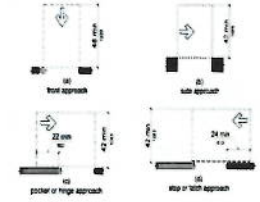


Figure 404.2.4.2 Maneuvering Clearances at Doorways Without Doors, Sliding Doors, Gates, and Folding Doors

404.2.4.3 Recessed Doors and Gates. Maneuvering clearances for forward approach shall be provided when any obstruction within 18 inches (455 mm) of the latch side of a doorway projects more than 8 inches (205 mm) beyond the face of the door, measured perpendicular to the face of the door or gate.

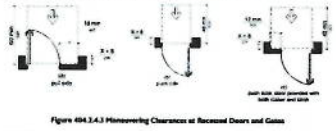


Figure 404.2.4.3 Maneuvering Clearances at Recessed Doors and Gates

404.2.6 Doors in Series and Gates in Series. The distance between two hinged or pivoted doors in series and gates in series shall be 48 inches (1220 mm) minimum plus the width of doors or gates swinging into the space.

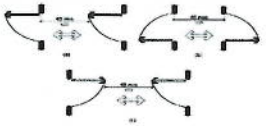


Figure 404.2.6

404.2.7 Door and Gate Hardware. Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 309.4. Operable parts of such hardware shall be 34 inches (865 mm) minimum and 48 inches (1220 mm) maximum above the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides.

404.2.8.1 Door Closers and Gate Closers. Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.

404.2.9 Door and Gate Opening Force. Fire doors shall have a minimum opening force allowable by the appropriate administrative authority. The force for pushing or pulling open a door or gate other than fire doors shall be as follows:

1. Interior hinged doors and gates: 5 pounds (22.2 N) maximum.
2. Sliding or folding doors: 5 pounds (22.2 N) maximum.

These forces do not apply to the force required to retract latch bolts or disengage other devices that hold the door or gate in a closed position.

studio.
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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

ADA STANDARDS

7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.03

Scale

N

404.2.10 Door and Gate Surfaces. Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other. Cavities created by added kick plates shall be capped.

EXCEPTIONS:
1. Sliding doors shall not be required to comply with 404.2.10.
2. Tempered glass doors without stiles and having a bottom rail or shoe with the top leading edge tapered at 60 degrees minimum from the horizontal shall not be required to meet the 10 inch (255 mm) bottom smooth surface height requirement.

404.3.11 Vision Lights. Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed panel located 43 inches (1090 mm) maximum above the finish floor.

EXCEPTION: Vision lights with the lowest part more than 66 inches (1675 mm) from the finish floor or ground shall not be required to comply with 404.2.11.

405 Ramps

405.2 Slope. Ramp runs shall have a running slope not steeper than 1:12.

EXCEPTION: In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations.

Table 405.2 Maximum Ramp Slope and Rise for Existing Sites, Buildings, and Facilities

Slope[1]	Maximum Rise
Steeper than 1:10 but not steeper than 1:8	3 inches (75 mm)
Steeper than 1:12 but not steeper than 1:10	6 inches (150 mm)

405.3 Cross Slope. Cross slope of ramp runs shall not be steeper than 1:48.

405.3 Clear Width. The clear width of a ramp run and, where handrails are provided, the clear width between handrails shall be 36 inches (915 mm) minimum.

405.6 Rise. The rise for any ramp run shall be 30 inches (760 mm) maximum.

405.7 Landings. Ramps shall have landings at the top and the bottom of each ramp run. Landings shall comply with 405.7.

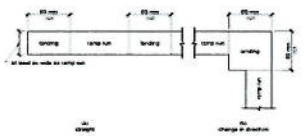

Figure 405.7 Ramp Landings

405.7.2 Width. The landing clear width shall be at least as wide as the widest ramp run leading to the landing.

405.7.3 Length. The landing clear length shall be 60 inches (1525 mm) long minimum.

405.7.4 Change in Direction. Ramps that change direction between runs at landings shall have a clear landing 60 inches (1525 mm) minimum by 60 inches (1525 mm) minimum.

405.7.5 Overlaps. Where doorways are located adjacent to a ramp landing, maneuvering clearances required by 404.2.4 and 404.3.2 shall be permitted to overlap the required landing area.

405.8 Handrails. Ramp runs with a rise greater than 6 inches (150 mm) shall have handrails complying with 505.

405.9 Edge Protection. Edge protection complying with 405.9.1 or 405.9.2 shall be provided on each side of ramp runs and at each side of ramp landings.

EXCEPTIONS:
1. Edge protection shall not be required on ramps that are not required to have handrails and have sides complying with 406.3.
2. Edge protection shall not be required on the sides of ramp landings serving an adjoining ramp run or stairway.
3. Edge protection shall not be required on the sides of ramp landings having a vertical drop-off of 2 inch (13 mm) maximum within 10 inches (255 mm) horizontally of the minimum landing area specified in 405.7.

405.9.1 Extended Floor or Ground Surface. The floor or ground surface of the ramp run or landing shall extend 12 inches (305 mm) minimum beyond the inside face of a handrail complying with 505.

Figure 405.9.1 Extended Floor or Ground Surface Edge Protection

405.9.2 Curb or Barrier. A curb or barrier shall be provided that prevents the passage of a 4 inch (100 mm) diameter sphere, where any portion of the sphere is within 4 inches (100 mm) of the finish floor or ground surface.

Figure 405.9.2 Curb or Barrier Edge Protection

406 Curb Ramps

406.3 Counter Slope. Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp shall not be steeper than 1:20. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.

Figure 406.3 Counter Slope of Surfaces Adjacent to Curb Ramps

406.5 Sides of Curb Ramps. Where provided, curb ramp flares shall not be steeper than 1:10.

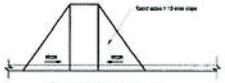

Figure 406.5 Sides of Curb Ramps

406.4 Landings. Landings shall be provided at the tops of curb ramps. The landing clear length shall be 36 inches (915 mm) minimum. The landing clear width shall be at least as wide as the curb ramp, excluding flared sides, leading to the landing.

EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.

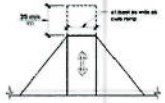

Figure 406.4 Landings at the Top of Curb Ramps

504 Stairways

504.2 Treads and Risers. All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be 4 inches (100 mm) high minimum and 7 inches (180 mm) high maximum. Treads shall be 11 inches (280 mm) deep minimum.

504.3 Open Risers. Open risers are not permitted.

504.4 Tread Surface. Stair treads shall comply with 302. Changes in level are not permitted.

EXCEPTION: Treads shall be permitted to have a slope not steeper than 1:48.

504.5 Nosings. The radius of curvature at the leading edge of the tread shall be 1/2 inch (13 mm) maximum. Nosings that project beyond risers shall have the underside of the leading edge curved or beveled. Risers shall be permitted to slope under the tread at an angle of 30 degrees maximum from vertical. The permitted projection of the nosing shall extend 1 1/2 inches (38 mm) maximum over the tread below.

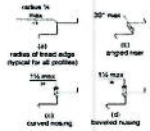

Figure 504.5 Stair Nosings

504.6 Handrails. Stairs shall have handrails complying with 505.

505.2 Where Required. Handrails shall be provided on both sides of stairs and ramps.

505.3 Continuity. Handrails shall be continuous within the full length of each stair flight or ramp run. Inside handrails on switchback or dogleg stairs and ramps shall be continuous between flights or runs.

505.4 Height. Top of gripping surfaces of handrails shall be 34 inches (865 mm) minimum and 38 inches (965 mm) maximum vertically above walking surfaces, stair nosings, and ramp surfaces. Handrails shall be at a consistent height above walking surfaces, stair nosings, and ramp surfaces.

505.5 Clearance. Clearance between handrail gripping surfaces and adjacent surfaces shall be 1 1/2 inches (38 mm) minimum.

Figure 505.5 Handrail Clearance

505.10.1 Top and Bottom Extension at Ramps. Ramp handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent ramp run.

Figure 505.10.1 Top and Bottom Handrail Extension at Ramps

505.10.2 Top Extension at Stairs. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

Figure 505.10.2 Top Handrail Extension at Stairs602 Drinking Fountains

602.2 Clear Floor Space. Units shall have a clear floor or ground space complying with 305 positioned for a forward approach and centered on the unit. Knee and toe clearance complying with 306 shall be provided.

602.4 Spout Height. Spout outlets shall be 36 inches (915 mm) maximum above the finish floor or ground.

602.7 Drinking Fountains for Standing Persons. Spout outlets of drinking fountains for standing persons shall be 38 inches (965 mm) minimum and 43 inches (1090 mm) maximum above the finish floor or ground.

603 Toilet and Bathing Rooms

603.1 General. Toilet and bathing rooms shall comply with 603.

603.2 Clearances. Clearances shall comply with 603.2.

603.2.1 Turning Space. Turning space complying with 304 shall be provided within the room.

603.2.2 Overlap. Required clear floor spaces, clearance at fixtures, and turning space shall be permitted to overlap.

603.2.3 Door Swing. Doors shall not swing into the clear floor space or clearance required for any fixture. Doors shall be permitted to swing into the required turning space.

EXCEPTIONS:

1. Doors to a toilet room or bathing room for a single occupant accessed only through a private office and not for common use or public use shall be permitted to swing into the clear floor space or clearance provided the swing of the door can be reversed to comply with 603.2.3.
2. Where the toilet room or bathing room is for individual use and a clear floor space complying with 305.3 is provided within the room beyond the arc of the door swing, doors shall be permitted to swing into the clear floor space or clearance required for any fixture.

603.3 Mirrors. Mirrors located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40 inches (1015 mm) maximum above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches (890 mm) maximum above the finish floor or ground.

In order for mirrors to be usable by people who are ambulatory and people who use wheelchairs, the top edge of mirrors should be 74 inches (1885 mm) minimum from the floor or ground.

603.4 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above the finish floor.

604.1 General. Water closets and toilet compartments shall comply with 604.2 through 604.8.

EXCEPTION: Water closets and toilet compartments for children's use shall be permitted to comply with 604.9.

604.2 Location. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16 inches (405 mm) minimum to 18 inches (455 mm) maximum from the side wall or partition, except that the water closet shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2.

Figure 604.2 Water Closet Location

604.3.1 Size. Clearance around a water closet shall be 60 inches (1525 mm) minimum measured perpendicular from the side wall and 56 inches (1420 mm) minimum measured perpendicular from the rear wall.

604.3.2 Overlap. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, accessible routes, clear floor space and clearances required at other fixtures, and the turning space. No other fixtures or obstructions shall be located within the required water closet clearance.

604.4 Seats. The seat height of a water closet above the finish floor shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum measured to the top of the seat.

604.5 Grab Bars. Grab bars for water closets shall comply with 609. Grab bars shall be provided on the side wall closest to the water closet and on the rear wall.

604.5.1 Side Wall. The side wall grab bar shall be 42 inches (1065 mm) long minimum, located 12 inches (305 mm) minimum from the rear wall and extending 54 inches (1370 mm) minimum from the rear wall.

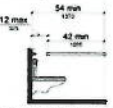

Figure 604.5.1 Side Wall Grab Bar at Water Closets

604.5.2 Rear Wall. The rear wall grab bar shall be 36 inches (915 mm) long minimum and extend from the centerline of the water closet 12 inches (305 mm) minimum on one side and 24 inches (610 mm) minimum on the other side.

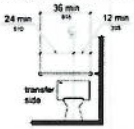

Figure 604.5.2 Rear Wall Grab Bar at Water Closets

604.6 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.8.2.

604.7 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7 inches (180 mm) minimum and 9 inches (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 15 inches (380 mm) minimum and 48 inches (1220 mm) maximum above the finish floor and shall not be located behind grab bars. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow.

Figure 604.7 Dispenser Outlet Location

604.8 Toilet Compartments. Wheelchair accessible toilet compartments shall meet the requirements of 604.8.1 and 604.8.3. Compartments containing more than one plumbing fixture shall comply with 603. Ambulatory accessible compartments shall comply with 604.8.2 and 604.8.3.

604.8.1 Wheelchair Accessible Compartments. Wheelchair accessible compartments shall comply with 604.8.1.

604.8.1.1 Size. Wheelchair accessible compartments shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 56 inches (1420 mm) deep minimum for wall hung water closets and 59 inches (1500 mm) deep minimum for floor mounted water closets measured perpendicular to the rear wall. Wheelchair accessible compartments for children's use shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 59 inches (1500 mm) deep minimum for wall hung and floor mounted water closets measured perpendicular to the rear wall.

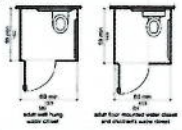

Figure 604.8.1.1 Size of Wheelchair Accessible Toilet Compartment

604.8.1.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404 except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required compartment area.

Figure 604.8.1.2 Wheelchair Accessible Toilet Compartment Doors

604.8.2 Ambulatory Accessible Compartments. Ambulatory accessible compartments shall comply with 604.8.2.

604.8.2.1 Size. Ambulatory accessible compartments shall have a depth of 60 inches (1525 mm) minimum and a width of 35 inches (890 mm) minimum and 37 inches (940 mm) maximum.

604.8.2.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404, except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required compartment area.

604.8.2.3 Grab Bars. Grab bars shall comply with 609. A side wall grab bar complying with 604.5.1 shall be provided on both sides of the compartment.

Figure 604.8.2 Ambulatory Accessible Toilet Compartment

604.8.3 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308.

605 Urinals

605.2 Height and Depth. Urinals shall be the stall type or the wall-hung type with the rim 17 inches (430 mm) maximum above the finish floor or ground. Urinals shall be 13 1/2 inches (345 mm) deep minimum measured from the outer face of the urinal rim to the back of the fixture.

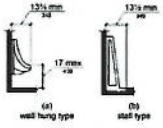

Figure 605.2 Height and Depth of Urinals

606 Lavatories and Sinks

606.2 Clear Floor Space. A clear floor space complying with 305, positioned for a forward approach, and knee and toe clearance complying with 306 shall be provided.

7. No more than one bowl of a multi-bowl sink shall be required to provide knee and toe clearance complying with 306.

606.3 Height. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34 inches (865 mm) maximum above the finish floor or ground.

606.4 Faucets. Controls for faucets shall comply with 309. Hand-operated metering faucets shall remain open for 10 seconds minimum.

606.5 Exposed Pipes and Surfaces. Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories and sinks.

608 Shower Compartments

608.2 Size and Clearances for Shower Compartments. Shower compartments shall have sizes and clearances complying with 608.2.

608.2.1 Transfer Type Shower Compartments. Transfer type shower compartments shall be 36 inches (915 mm) by 36 inches (915 mm) clear inside dimensions measured at the center points of opposing sides and shall have a 36 inch (915 mm) wide minimum entry on the face of the shower compartment. Clearances of 36 inches (915 mm) wide minimum by 48 inches (1220 mm) long minimum measured from the control wall shall be provided.

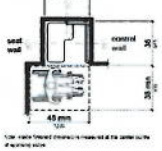

Figure 608.2.1 Transfer Type Shower Compartment Size and Clearance

608.2.2 Standard Roll-In Type Shower Compartments. Standard roll-in type shower compartments shall be 30 inches (760 mm) wide minimum by 60 inches (1525 mm) deep minimum clear inside dimensions measured at center points of opposing sides and shall have a 60 inches (1525 mm) wide minimum entry on the face of the shower compartment.

608.2.2.1 Clearance. A 30 inch (760 mm) wide minimum by 60 inch (1525 mm) long minimum clearance shall be provided adjacent to the open face of the shower compartment.

Figure 608.2.2 Standard Roll-In Type Shower Compartment Size and Clearance

608.3 Grab Bars. Grab bars shall comply with 609 and shall be provided in accordance with 608.3. Where multiple grab bars are used, required horizontal grab bars shall be installed at the same height above the finish floor.

608.3.1 Transfer Type Shower Compartments. In transfer type compartments, grab bars shall be provided across the control wall and back wall to a point 18 inches (455 mm) from the control wall.

Figure 608.3.1 Grab Bars for Transfer Type Showers

608.3.2 Standard Roll-In Type Shower Compartments. Where a seat is provided in standard roll-in type shower compartments, grab bars shall be provided on the back wall and the side wall opposite the seat. Grab bars shall not be provided above the seat. Where a seat is not provided in standard roll-in type shower compartments, grab bars shall be provided on three walls. Grab bars shall be installed 6 inches (150 mm) maximum from adjacent walls.

Figure 608.3.2 Grab Bars for Standard Roll-In Type Showers

608.3.3 Transfer Type Shower Compartments. In transfer type shower compartments, the controls, faucets, and shower spray unit shall be installed on the side wall opposite the seat 38 inches (965 mm) minimum and 48 inches (1220 mm) maximum above the shower floor and shall be located on the control wall 15 inches (380 mm) minimum from the centerline of the seat toward the shower opening.

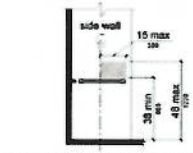

Figure 608.3.3 Transfer Type Shower Compartment Control Location

608.3.2 Standard Roll-In Type Shower Compartments. In standard roll-in type shower compartments, the controls, faucets, and shower spray unit shall be installed on the back wall the grab bar, but no higher than 48 inches (1220 mm) above the shower floor. Where a seat is provided, the controls, faucets, and shower spray unit shall be installed on the back wall adjacent to the seat wall and shall be located 27 inches (685 mm) minimum from the seat wall.

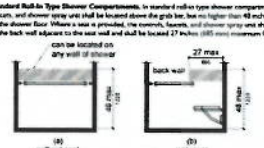

Figure 608.3.3 Standard Roll-In Type Shower Compartment Control Location

608.6 Shower Spray Unit and Water. A shower spray unit with a hose 59 inches (1500 mm) long minimum that can be used both as a fixed position shower head and as a hand-held shower shall be provided. The shower spray unit shall have an on/off control with a non-positive shut off. If an adjustable-height shower head on a vertical bar is used, the bar shall be installed so as not to obstruct the use of grab bars. Shower spray units shall deliver water that is 122°F (49°C) maximum.

608.7 Thresholds. Thresholds in roll-in type shower compartments shall be 1/2 inch (13 mm) high maximum in accordance with 303. In transfer type shower compartments, thresholds 1/2 inch (13 mm) high maximum shall be beveled, rounded, or vertical.

EXCEPTION: A threshold 2 inches (51 mm) high maximum shall be permitted in transfer type shower compartments in existing facilities where provision of a 1/2 inch (13 mm) high threshold would disturb the structural reinforcement of the floor slab.

608.8 Shower Enclosures. Enclosures for shower compartments shall not obstruct controls, faucets, and shower spray units or obstruct transfer from wheelchairs onto shower seats.

609 Grab Bars

609.4 Position of Grab Bars. Grab bars shall be installed in a horizontal position, 33 inches (840 mm) minimum and 36 inches (915 mm) maximum above the finish floor measured to the top of the gripping surface.

609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the grab bar, fastener, mounting device, or supporting structure.

CHAPTER 7: COMMUNICATION ELEMENTS AND FEATURES

703 Signs

703.4.1 Height Above Finish Floor or Ground. Tactile characters on signs shall be located 48 inches (1220 mm) minimum above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60 inches (1525 mm) minimum above the finish floor or ground surface, measured from the baseline of the highest tactile character.

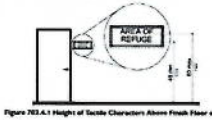

Figure 703.4.1 Height of Tactile Characters Above Finish Floor or Ground

703.4.2 Location. Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at double doors with one active leaf, the sign shall be located on the active leaf. Where a tactile sign is provided at double doors with two active leafs, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, signs shall be located on the nearest adjacent wall. Signs containing tactile characters shall be located so that a clear floor space of 18 inches (455 mm) minimum by 18 inches (455 mm) minimum, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position.

EXCEPTION: Signs with tactile characters shall be permitted on the push side of doors with closers and without hold-open devices.

Figure 703.4.2 Location of Tactile Signs at Doors

804 Kitchens and Kitchenettes

804.3.2 Height. The kitchen work surface shall be 34 inches (865 mm) maximum above the finish floor or ground.

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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

ADA STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

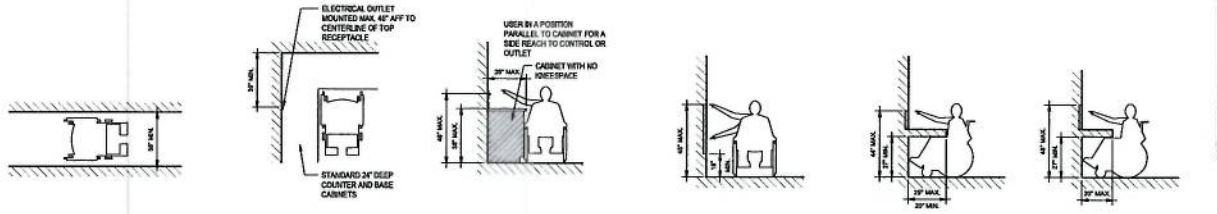
A0.04

Scale

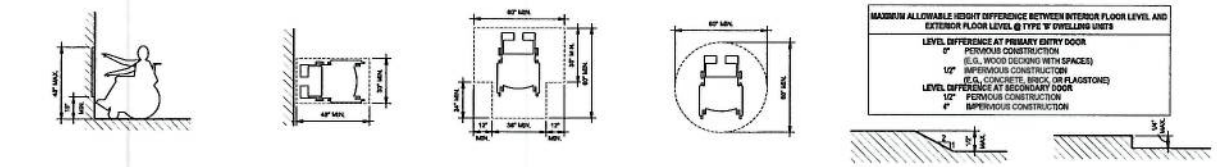
N

GENERAL NOTES

1. SHEETS A0.07-A0.09 APPLY TO TYPE 'A' FHA DWELLING UNITS. COMMON USE AREAS COMPLYING WITH REQ. 1 & 2 OF THE FHA MUST COMPLY WITH THE REQ. OF ANSI 2003 AS NOTED ON SHEETS A0.07-A0.09.
2. INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE OF CONSTRUCTION DOCUMENTS AND TO NOTIFY ARCHITECT IF CONFLICTS OCCUR. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACTUAL.
3. DESIGN AND CONFIGURATIONS, ACCESSIBILITY DESIGN STANDARDS ARE BASED ON FAIR HOUSING ACCESSIBILITY GUIDELINES (FHAG). THEY DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL CODES, LAWS OR REGULATIONS, NOR DO THEY IMPLY IN
4. ANY WAY THAT COMPLIANCE WITH THESE STANDARDS WILL ELIMINATE ALL HAZARDS OR ACCIDENTS.
   THE INFORMATION INCLUDED ON THIS SHEET IS FOR GEN. REF. TO INSURE THE PROJECT IS IN CONFORMANCE W/ GOVERNING CODES AND STANDARDS. ALL DETAILS AND INFORMATION IS NOT NECESSARILY SPECIFIC TO THIS PROJECT.
5. ANY DETAILS OR REQUIREMENTS INCLUDED ON THIS SHEET RELATED TO THESE REFERENCES
6. OR STANDARDS SHALL CONFORM TO THESE STANDARDS & REQUIREMENTS.
   ALL DIMENSIONS ON THIS SHEET ARE TO FINISHED FACE OF WALL AND FINISHED FLOOR. HANDLES, FAUCETS, CONTROLS & OTHER OPERATING MECHANISMS SHALL COMPLY WITH FHAG REQUIREMENTS.
   ALL DIMS. ABSOLUTE UNLESS NOTED OTHERWISE



25 Clear Width Of An Accessible Route — N.T.S. — FHAG 4.4
24 Mounting Locations For Outlets — N.T.S. — FHAG 5.8
23 Maximum Side Reach — N.T.S. — FHAG 5.8
22 Unobstructed Side Reach — N.T.S. — FHAG 5.8
21 Obstructed Forward Reach - 20" to 25" Deep — N.T.S. — FHAG 6.7
20 Obstructed Forward Reach - 0" to 20" Deep — N.T.S. — FHAG 5.7

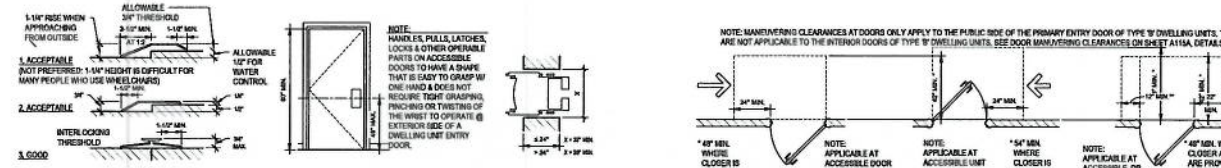


19 Unobstructed Forward Reach — N.T.S. — FHAG 5.6
18 Forward Reach - Perpendicular Approach — N.T.S. — FHAG 5.5
17 Size Of Wheelchair Turning Space: T - Shaped — N.T.S. — FHAG 19
16 Size Of Wheelchair Turning Space - Circular — N.T.S. — FHAG 19

MAXIMUM ALLOWABLE HEIGHT DIFFERENCE BETWEEN INTERIOR FLOOR LEVEL AND EXTERIOR FLOOR LEVEL @ TYPE 'B' DWELLING UNITS

LEVEL DIFFERENCE AT PRIMARY ENTRY DOOR	
0"	PERVIOUS CONSTRUCTION (E.G., WOOD DECKING WITH SPACES)
1/2"	IMPERVIOUS CONSTRUCTION (E.G., CONCRETE, BRICK, OR FLAGSTONE)
LEVEL DIFFERENCE AT SECONDARY DOOR	
1/2"	PERVIOUS CONSTRUCTION
4"	IMPERVIOUS CONSTRUCTION

15 Beveled Changes In Level — N.T.S. — FHAG 4.5, 4.11
14 Vertical Changes In Level — N.T.S. — FHAG 4.5, 4.11



13 Thresholds Detail @ Primary Entry With Impervious Landing Surface — N.T.S. — FHAG 4.12
12 Opening In Floor Or Ground Surfaces — N.T.S. — FHAG 3.4
11 Doorway Depth — N.T.S. — FHAG 3.5

NOTE: MANEUVERING CLEARANCES AT DOORS ONLY APPLY TO THE PUBLIC SIDE OF THE PRIMARY ENTRY DOOR OF TYPE 'B' DWELLING UNITS. THESE CLEARANCES ARE NOT APPLICABLE TO THE INTERIOR DOORS OF TYPE 'B' DWELLING UNITS. SEE DOOR MANUVERING CLEARANCES ON SHEET A115A, DETAILS 1-14.

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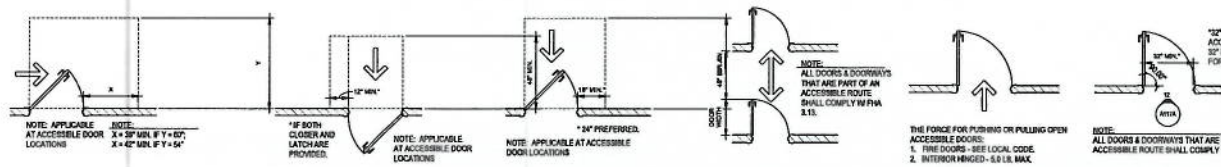
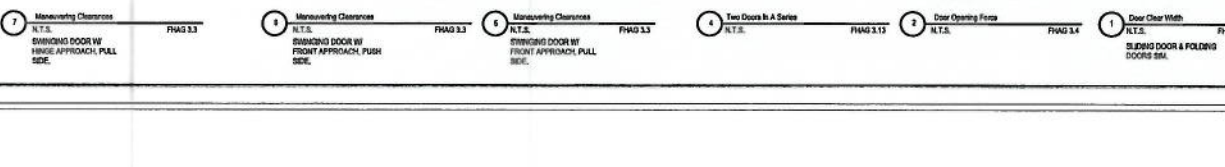


10 Maneuvering Clearances — N.T.S. — FHAG 3.3
SWINGING DOOR W/ LATCH APPROACH, PUSH SIDE. SLIDING & FOLDING DOORS SIM.
9 Maneuvering Clearances — N.T.S. — FHAG 3.3
SWINGING DOOR W/ LATCH APPROACH, PULL SIDE.
8 Maneuvering Clearances — N.T.S. — FHAG 3.3
SWINGING DOOR W/ HINGE APPROACH, PUSH SIDE. SLIDING & FOLDING DOORS SIM.



7 Maneuvering Clearances — N.T.S. — FHAG 3.3
SWINGING DOOR W/ HINGE APPROACH, PULL SIDE.
6 Maneuvering Clearances — N.T.S. — FHAG 3.3
SWINGING DOOR W/ FRONT APPROACH, PUSH SIDE.
5 Maneuvering Clearances — N.T.S. — FHAG 3.3
SWINGING DOOR W/ FRONT APPROACH, PULL SIDE.
4 Two Doors In A Series — N.T.S. — FHAG 3.13
2 Door Opening Force — N.T.S. — FHAG 3.4
1 Door Clear Width — N.T.S. — FHAG 3.5
SLIDING DOOR & FOLDING DOORS SIM.

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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

FHA STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.05

Scale

GENERAL NOTES

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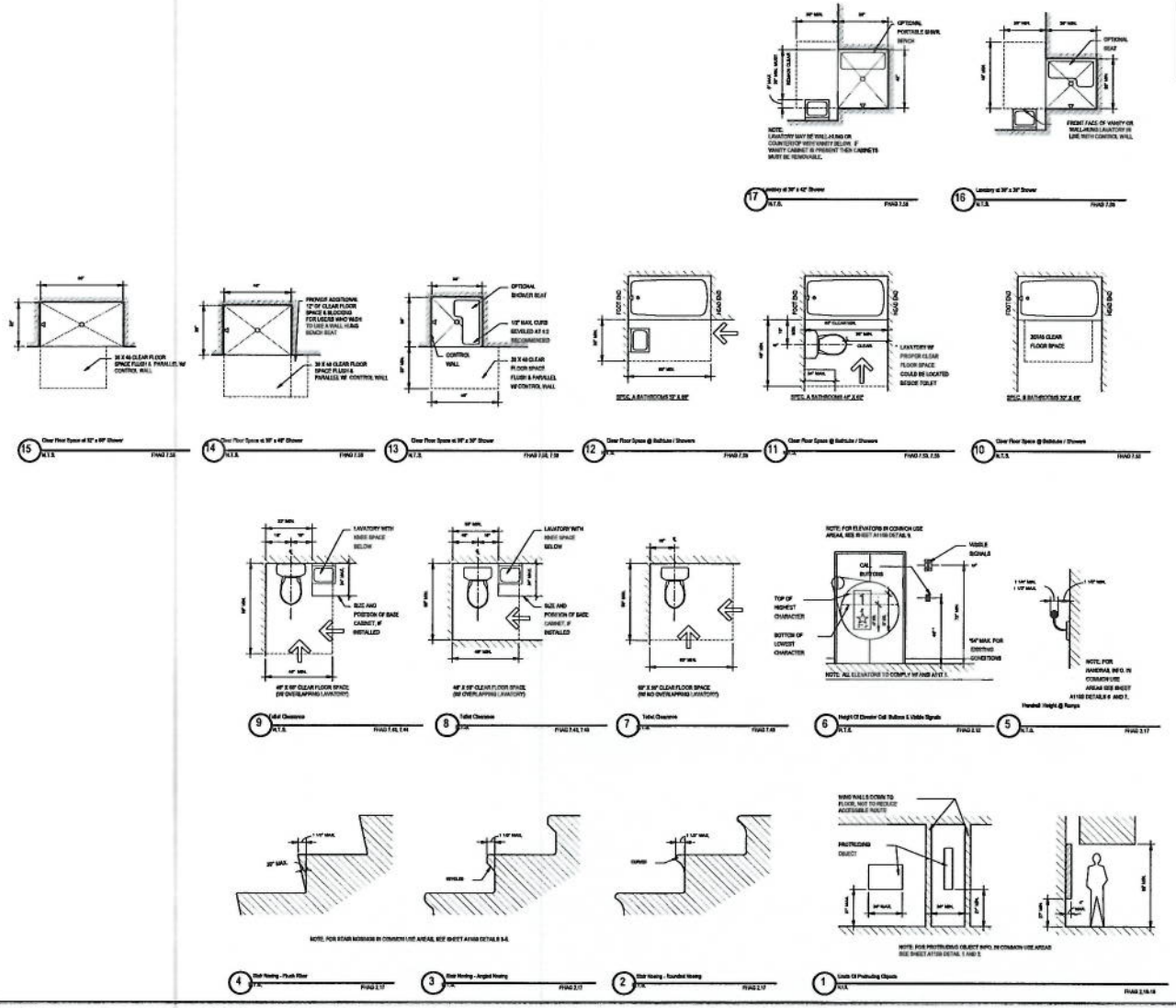
ACCESSIBILITY DESIGN STANDARDS ARE BASED ON FHAR HOUSING ACCESSIBILITY GUIDELINES
2. THESE, THEY DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL CODES, LAWS OR REGULATIONS, NOR DO THEY IMPLY IN ANY WAY THAT COMPLIANCE WITH THESE STANDARDS WILL CLEAR OF ALL HAZARDS OR, ACCIDENTS. THE INFORMATION INCLUDED ON THIS SHEET IS FOR GEN. REF. TO ENSURE THE PROJECT IS IN CONFORMANCE W/ GOVERNING CODES AND STANDARDS. ALL DETAILS AND INFORMATION IS NOT NECESSARILY SPECIFIC TO THIS PROJECT ANY DETAIL & OR REQUIREMENTS INCLUDED ON THIS SHEET RELATED TO THESE REFERENCES OR STANDARDS SHALL CONFORM TO THESE STANDARDS & REQUIREMENTS.
ALL DIMENSIONS ON THIS SHEET ARE TO FINISHED FACE OF WALL AND FINISHED FLOOR. HANDLES, FAUCETS, CONTROLS & OTHER OPERATING MECHANISMS SHALL COMPLY WITH FHAG REQUIREMENTS. ALL DIMS. ABSOLUTE UNLESS NOTED OTHERWISE.
3.
4.



studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

FHA STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

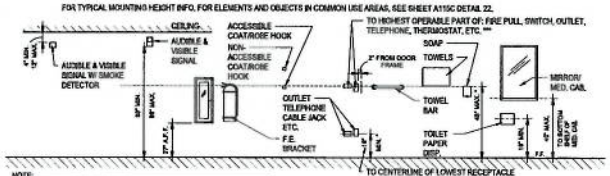
Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.06

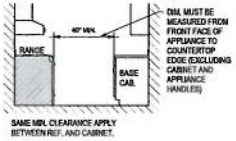
Scale

GENERAL NOTES

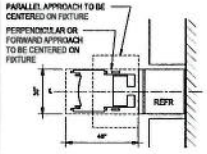
1. SHEETS A0.XX APPLY TO TYPE 'A' FHA DWELLING UNITS. COMMON USE AREAS COMPLYING WITH REQ. 1 & 2 OF THE FHA MUST COMPLY WITH THE REQ. OF ANSI 2003 AS NOTED ON SHEETS A0.XX.
2. INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE OF CONSTRUCTION DOCUMENTS AND TO NOTIFY ARCHITECT IF CONFLICTS OCCUR. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACTUAL DESIGN AND
3. CONFIGURATIONS.
   ACCESSIBILITY DESIGN STANDARDS ARE BASED ON FAIR HOUSING ACCESSIBILITY GUIDELINES (FHAG). THEY DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL CODES, LAWS OR REGULATIONS, NOR DO THEY IMPLY IN
4. ANY WAY THAT COMPLIANCE WITH THESE STANDARDS WILL ELIMINATE ALL HAZARDS OR ACCIDENTS.
   THE INFORMATION INCLUDED ON THIS SHEET IS FOR GEN. REF. TO INSURE THE PROJECT IS IN CONFORMANCE W/ GOVERNING CODES AND STANDARDS. ALL DETAILS AND INFORMATION IS NOT NECESSARILY SPECIFIC TO THIS PROJECT.
5. ANY DETAILS OR REQUIREMENTS INCLUDED ON THIS SHEET RELATED TO THESE REFERENCES
6. OR STANDARDS SHALL CONFORM TO THESE STANDARDS & REQUIREMENTS.
   ALL DIMENSIONS ON THIS SHEET ARE TO FINISHED FACE OF WALL AND FINISHED FLOOR, HANDLES, FAUCETS, CONTROLS & OTHER OPERATING MECHANISMS SHALL COMPLY WITH FHAG REQUIREMENTS.
   ALL DIMS. ABSOLUTE UNLESS NOTED OTHERWISE.



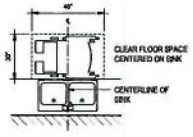
14 Typical Mounting Heights
N.T.S.



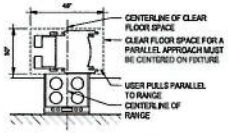
13 Clearance Btwn. Appliance & Opposing Base Cabinet
N.T.S. FHAG 7.7



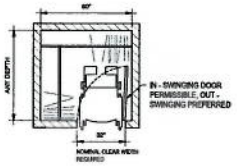
12 Parallel w/ Forward Approach Required at Refrigerator
N.T.S. FHAG 7.4



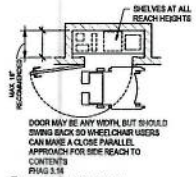
11 Parallel Approach Required at Sink
N.T.S. FHAG 7.3



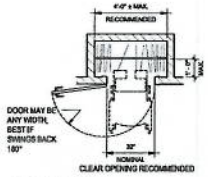
10 Parallel Approach Required at Range and Cooktop
N.T.S. FHAG 7.4



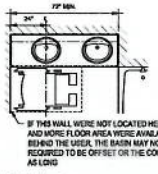
9 Min. Suggested L-Shaped Walk - In Closet with Usable Door
N.T.S. FHAG 3.15



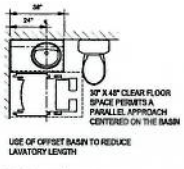
8 Small Shallow Storage Closet
N.T.S.



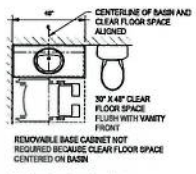
7 Small Clothes Closet
N.T.S. FHAG 3.14



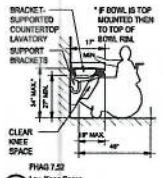
6 Double Lavatory
N.T.S. FHAG 7.48



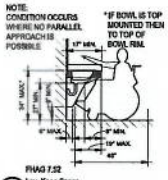
5 Clear Floor Space At Lavatory
N.T.S. FHAG 7.47



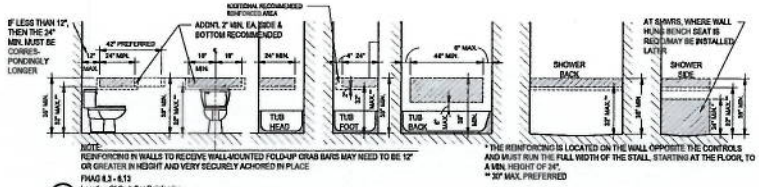
4 Clear Floor Space At Lavatory
N.T.S. FHAG 7.47



3 Lav. Knee Space
N.T.S. SPEC. B BATHROOMS



2 Lav. Knee Space
N.T.S. SPEC. A BATHROOMS



1 Location Of Grab Bar Reinforcing
N.T.S. REINFORCING MAY BE 3/4" PLYWOOD OR NOMINAL 1X WOOD PLANKING. PROVIDE AT ALL UNIT BATHROOMS.

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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

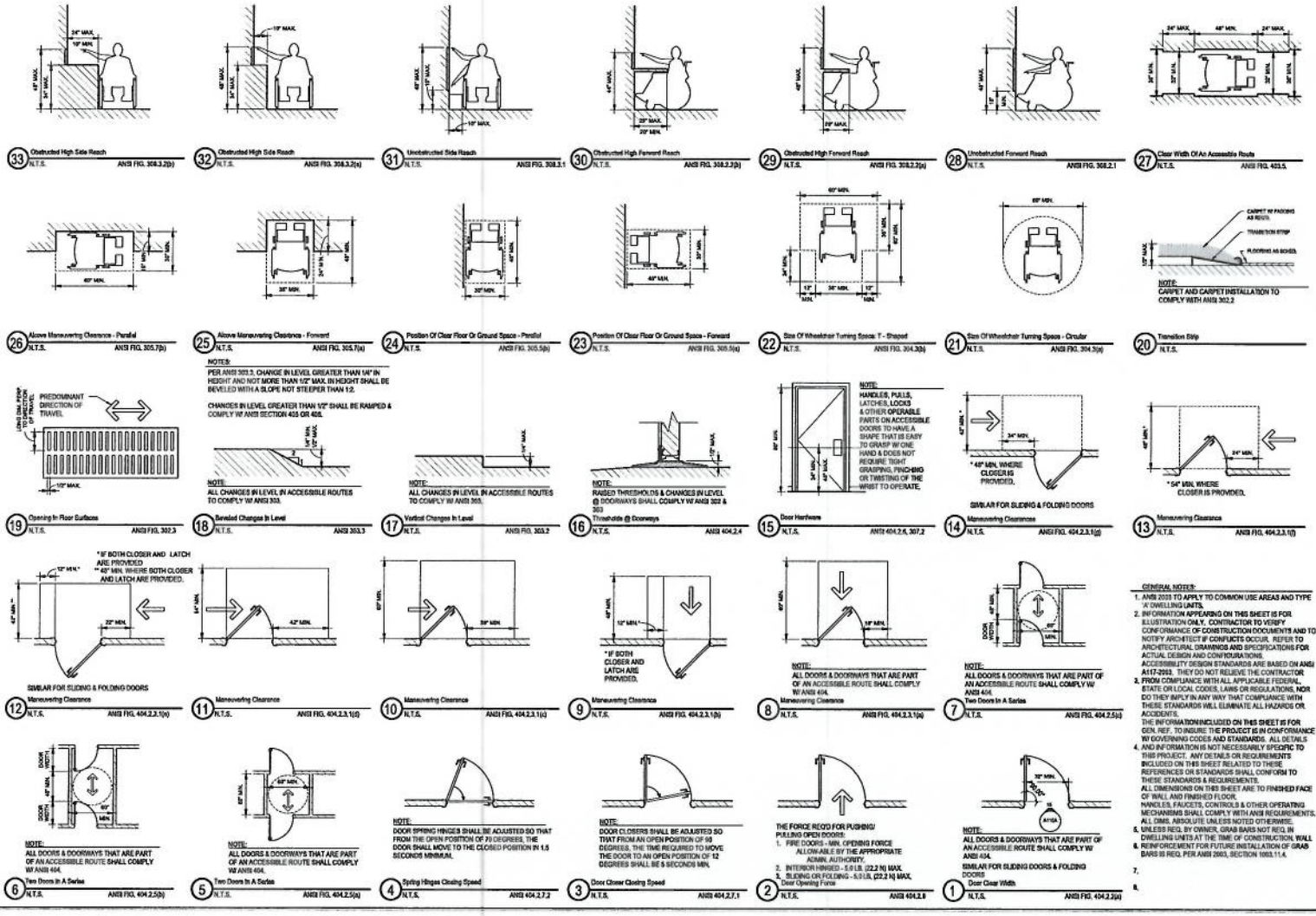
FHA STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.07

Scale



ACCESSIBILITY NOTES

NOTE: COVERED DWELLING UNITS SHALL COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE, THE 1988 FAIR HOUSING ACT, AND ICC/ANSI A117.1-2003, WHICHEVER IS MORE STRINGENT

DIMENSIONS NOTED AS MINIMUM, MAXIMUM, OR CLEAR DIMENSIONS ARE TO FINISH MATERIALS.

TYPE A DWELLING UNITS:

DISTRIBUTION:
IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS AT LEAST 2% BUT NOT LESS THAN ONE OF UNITS SHALL BE A TYPE A UNIT. TYPE A UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS.

ACCESSIBLE ROUTE:
1. THE ACCESSIBLE ROUTE, PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS WHICH ARE PART OF A DWELLING UNIT. ALL ACCESSIBLE ROUTES SHALL HAVE A CLEAR WIDTH OF 36" MIN. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" WHEELCHAIR TURNING SPACE, EXCEPT FOR BATHROOMS NOT REQUIRED TO COMPLY.
3. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING: ELEVATOR, FLOOR OR GROUND SURFACE WITH A SLOPE NOT STEEPER THAN 1:20, RAMPS, ELEVATORS, AND TRUCKLOAD PLATFORMS (F13)
4. WHERE CHANGES IN ELEVATION OF GREATER THAN 1/2" BUT LESS THAN 12" EXIST IN THE MEANS OF EGRESS, SLOPED SURFACES SHALL BE USED. CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

DOORS:
1. THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT AND ALL OTHER DOORWAYS INTENDED FOR USER PASSAGE, SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24" DEEP SHALL PROVIDE A CLEAR OPENING OF 36" MIN. THERE SHALL BE NO PROJECTIONS INTO THE CLEAR OPENING WITH LOWER THAN 34" AFF. PROJECTIONS INTO THE CLEAR OPENING WITH BETWEEN 34" AND 80" AFF SHALL NOT EXCEED 4". THRESHOLDS, IF PROVIDED, AT DOORWAYS SHALL BE 1/2" HIGH MAX. WHERE A THRESHOLD IS OVER 1/4" HIGH, AT LEAST HALF OF THE HEIGHT OF THE THRESHOLD SHOULD BE BEVELED.
2. ALL DOORS INTENDED FOR USER PASSAGE SHALL HAVE MANEUVERING CLEARANCES AS INDICATED ON THIS SHEET.
3. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MIN. DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MIN.
4. THE FORCE FOR PUSHING OR PULLING OPEN DOORS, OTHER THAN FIRE DOORS, SHALL BE 5.5 LBS. MAX. FOR INTERIOR HINGED DOORS AND 5 LBS. MAX FOR SLIDING OR FOLDING DOORS. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
5. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ALL ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. EACH HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
6. DOOR SURFACES WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR EXCEPT SLIDING DOORS.

TOILET AND BATHING FACILITIES:
1. AT LEAST ONE TOILET AND BATHING FACILITY MUST COMPLY HAVING AT LEAST ONE LAVATORY, WATER CLOSET, AND EITHER A BATHTUB OR SHOWER. REFER TO ICC/ANSI A117.1-2009 FOR SHOWER REQUIREMENTS WHEN A SHOWER IS THE ONLY BATHING FACILITY IN THE ACCESSIBLE BATHROOM.
2. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING.
3. LAVATORIES SHALL COMPLY WITH SECTION 606 OF ICC/ANSI A117.1-2009.
4. THE WATER CLOSET SHALL BE POSITIONED WITH A WALL TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 18" MIN. AND 18" MAX. FROM THE SIDE WALL.
5. REINFORCEMENT SHALL BE PROVIDED IN WALLS TO PERMIT FOR THE FUTURE INSTALLATION OF GRAB BARS.

KITCHENS AND APPLIANCES:
1. A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE. HOWEVER, A RANGE AND REFRIGERATOR MUST PROVIDE A PARALLEL APPROACH. REFER TO DIAGRAMS.
2. CLEAR FLOOR SPACE SHALL BE POSITIONED ADJACENT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR IN THE OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE FOR THE DISHWASHER OR SINK. BOTTOM-HINGED, WHEN IN THE OPEN POSITION, SHALL NOT BE REQUIRED TO HAVE OPERABLE PARTS WITHIN THE REQUIRED REACH RANGES.
3. TOP LOADING LAUNDRY MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT 36" MAX. ABOVE THE FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT 15" MIN. AND 24" MAX. ABOVE THE FLOOR.
4. FOR SIDE OPENING OVENS, THE DOOR LATCH SIDE SHALL BE NEXT TO A COUNTERTOP. OVENS SHALL HAVE CONTROLS ON THE FRONT PANEL.
5. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX. ABOVE THE FLOOR.
6. ALL CABINETS SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH. THE SHELVES NEED NOT BE LOCATED WITHIN REACH RANGES OR THE HANDLES MEET OPERABLE PARTS PROVISIONS.

WINDOWS:
WHERE OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE WINDOW EACH BEDROOM, LIVING, OR DINING SPACE SHALL HAVE OPERABLE PARTS. EACH REQUIRED OPERABLE WINDOW SHALL HAVE OPERABLE PARTS. ACCESSIBLE CONTROLS SHALL BE AT 48" HIGH MAX.

OPERABLE PARTS:
LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPENABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY SHALL BE ACCESSIBLE. EXCEPT RECEPTACLES SERVING A DEDICATED USE, COMMON SHALL OUTLETS MEETING REQUIREMENTS LISTED IN ICC/ANSI A117.1-2009, SECTION 1008.1, FLOOR ELECTRICAL RECEPTACLES, HVAC DIFFUSERS, CONTROLS MOUNTED ON RANGE HOODS ONLY IF ACCESSIBLE.

GENERAL NOTES:
1. ANSI 2003 TO APPLY TO COMMON USE AREAS AND TYPE 'A' DWELLING UNITS.
2. INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE OF CONSTRUCTION DOCUMENTS AND TO NOTIFY ARCHITECT IF CONFLICTS OCCUR. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACTUAL DESIGN AND CONFIGURATIONS.
ACCESSIBILITY DESIGN STANDARDS ARE BASED ON ANSI A117-2003. THEY DO NOT RELIEVE THE CONTRACTOR
3. FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL CODES, LAWS OR REGULATIONS, NOR DO THEY IMPLY IN ANY WAY THAT COMPLIANCE WITH THESE STANDARDS WILL ELIMINATE ALL HAZARDS OR ACCIDENTS.
THE INFORMATION INCLUDED ON THIS SHEET IS FOR GEN. REF., TO INSURE THE PROJECT IS IN CONFORMANCE W/ GOVERNING CODES AND STANDARDS. ALL DETAILS
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ALL DIMENSIONS ON THIS SHEET ARE TO FINISHED FACE OF WALL AND FINISHED FLOOR.
HANDLES, FAUCETS, CONTROLS & OTHER OPERATING MECHANISMS SHALL COMPLY WITH ANSI REQUIREMENTS.
ALL DIMS. ABSOLUTE UNLESS NOTED OTHERWISE.
5. UNLESS REQ. BY OWNER, GRAB BARS NOT REQ. IN DWELLING UNITS AT THE TIME OF CONSTRUCTION. WALL
6. REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS IS REQ. PER ANSI 2003, SECTION 1003.11.4.
7.
8.

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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

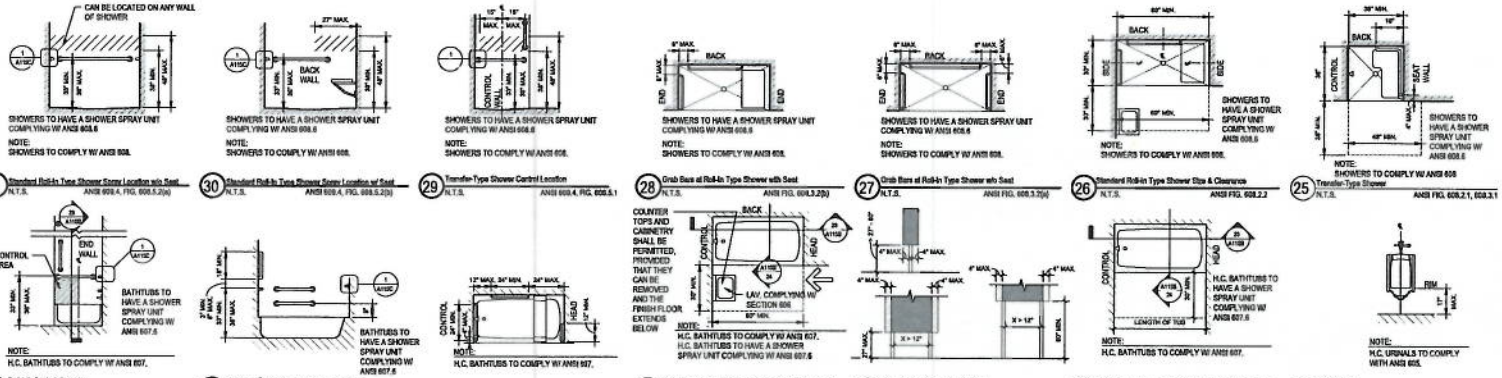
ANSI STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.08

Scale



ACCESSIBILITY NOTES

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3. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: FLOOR OR GRADING SURFACE WITH A SLOPE NOT STEEPER THAN 1:20, RAMPS, ELEVATORS, AND WHEELCHAIR PLATFORM LIFTS.
4. WHERE CHANGES IN ELEVATION OF GREATER THAN 1/2" BUT LESS THAN 12" EXIST IN THE MEANS OF EGRESS, SLOPED SURFACES SHALL BE USED. CHANGES IN LEVEL OF 1/4" HIGH MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

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5. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ALL ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. AFF. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
6. DOOR SURFACES WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR EXCEPT SLIDING DOORS.

TOILET AND BATHING FACILITIES:
1. AT LEAST ONE TOILET AND BATHING FACILITY MUST COMPLY HAVING AT LEAST ONE LAVATORY, WATER CLOSET, AND EITHER A BATHTUB OR SHOWER, NOTED TO STANDARD A117.1-2003 FOR GENERAL REQUIREMENTS WHICH IS SHOWED IS THE ONLY BATHING FACILITY IN THE ACCESSIBLE BATHROOM.
2. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING.
3. LAVATORIES SHALL COMPLY WITH SECTION 606 OF ICC/ANSI A117.1-2003.
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3. TOP LOADING LAUNDRY MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT 36" MAX. ABOVE THE FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT 15" MIN. AND 34" MAX. ABOVE THE FLOOR.
4. FOR SIDE OPENING OVENS, THE DOOR LATCH SIDE SHALL BE NEXT TO A COUNTERTOP. OVENS SHALL HAVE CONTROLS ON THE FRONT PANEL.
5. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX. ABOVE THE FLOOR.
6. ALL CABINETS SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH. THE SHELVES NEED NOT BE LOCATED WITHIN REACH RANGES OR THE HANDLES MUST OPERABLE PARTS PROVISIONS.

WINDOWS:
WHERE OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE WINDOW EACH SLEEPING LIVING OR DINING SPACE SHALL HAVE OPERABLE PARTS. EACH REQUIRED OPERABLE WINDOW SHALL HAVE OPERABLE PARTS. ACCESSIBLE CONTROLS SHALL BE AT 48" HIGH MAX.

OPERABLE PARTS:
LIGHTING CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY SHALL BE ACCESSIBLE. CIRCUIT RECEPTACLES SERVING A DEDICATED USE, CONTAIN SINGLE OUTLETS MEETING REQUIREMENTS (2010) IN ICC/ANSI A117.1-2003, SECTION 1003.5. FLOOR ELECTRICAL RECEPTACLES, HVAC DEFLECTORS, CONTROLS MOUNTED ON RANGE HOODS ONLY IF ACCESSIBLE.

GENERAL NOTES:
1. ANSI 2003 TO APPLY TO COMMON USE AREAS AND TYPE 'A' DWELLING UNITS.
2. INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE OF CONSTRUCTION DOCUMENTS AND TO NOTIFY ARCHITECT IF CONFLICTS OCCUR. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACTUAL DESIGN AND CONFIGURATIONS.
3. ACCESSIBILITY DESIGN STANDARDS ARE BASED ON ANSI A117-2003. THEY DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL CODES, LAWS OR REGULATIONS, NOR DO THEY IMPLY IN ANY WAY THAT COMPLIANCE WITH THESE STANDARDS WILL ELIMINATE ALL HAZARDS OR ACCIDENTS.
4. THE INFORMATION INCLUDED ON THIS SHEET IS FOR GEN. REF. TO INSURE THE PROJECT IS IN CONFORMANCE W/ GOVERNING CODES AND STANDARDS. ALL DETAILS AND INFORMATION IS NOT NECESSARILY SPECIFIC TO THIS PROJECT. ANY DETAILS OR REQUIREMENTS INCLUDED ON THIS SHEET RELATED TO THESE REFERENCES OR STANDARDS SHALL CONFORM TO THESE STANDARDS & REQUIREMENTS.
5. ALL DIMENSIONS ON THIS SHEET ARE TO FINISHED FACE
6. OF WALL AND FINISHED FLOOR. HANDLES, FAUCETS, CONTROLS & OTHER OPERATING
7. MECHANISMS SHALL COMPLY WITH ANSI REQUIREMENTS. ALL DIMS. ABSOLUTE UNLESS NOTED OTHERWISE. UNLESS REQ. BY OWNER, GRAB BARS NOT REQ. IN DWELLING UNITS AT THE TIME OF CONSTRUCTION. WALL REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS IS REQ. PER ANSI 2003, SECTION 1003.11.4.

studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

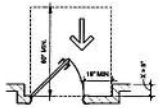
ANSI STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.09

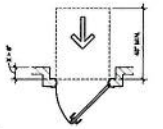
Scale



NOTE:
ALL DOORS & DOORWAYS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY W/ ANSI 404.

25 Maneuvering Clearance at Recessed Doors
N.T.S. ANSI FIG. 404.2.3.4 (a)

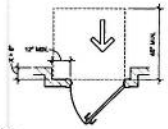
SWINGING DOOR W/ FRONT APPROACH, PULL SIDE.



NOTE:
ALL DOORS & DOORWAYS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY W/ ANSI 404.

24 Maneuvering Clearance at Recessed Doors
N.T.S. ANSI FIG. 404.2.3.4 (b)

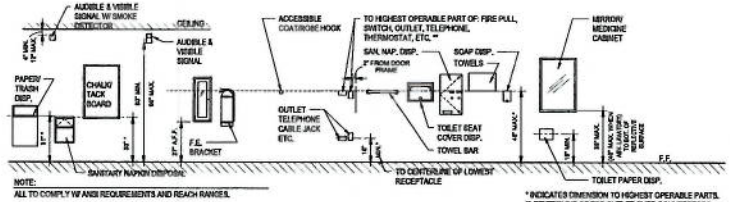
SWINGING DOOR W/ FRONT APPROACH, PUSH SIDE.



NOTE:
ALL DOORS & DOORWAYS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY W/ ANSI 404.

23 Maneuvering Clearance at Recessed Doors
N.T.S. ANSI FIG. 404.2.3.4 (c)

SWINGING DOOR W/ FRONT APPROACH, PUSH SIDE WHERE LATCH & CLOSER ARE PROVIDED.



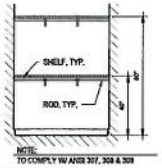
NOTE:
ALL TO COMPLY W/ ANSI REQUIREMENTS AND REACH RANGES.

* INDICATES DIMENSION TO HIGHEST OPERABLE PARTS.
** CENTERLINE OF TOP OUTLET OVER COUNTERTOPS NOT TO EXCEED 44" A.F.F. MAX.

22 Typical Mounting Heights
N.T.S.

NOTE:
TO COMPLY W/ ANSI 307, 308 & 309

21 Pantry Shelving Mounting Heights
N.T.S.



NOTE:
TO COMPLY W/ ANSI 307, 308 & 309

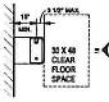
20 Unit Closet Shelving Mounting Heights
N.T.S.

NOTE:
SHELVING TO COMPLY W/ ANSI 307, 308, 309
H.C. LAUNDRY EQUIP. TO COMPLY W/ ANSI 611.

19 Laundry Equip. & Shelving Mounting Heights
N.T.S. ANSI FIG. 611.4(a) & (b)

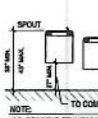
NOTE:
H.C. DRINKING FOUNTAINS TO COMPLY W/ ANSI 602.

18 Drinking Fountain Spout Location w/ Forward Approach
N.T.S. ANSI FIG. 602.5(a)



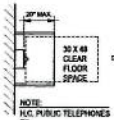
NOTE:
H.C. DRINKING FOUNTAINS TO COMPLY W/ ANSI 602.

17 Drinking Fountain Spout Location w/ Parallel Approach
N.T.S. ANSI FIG. 602.5(b)



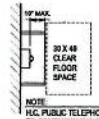
NOTE:
H.C. DRINKING FOUNTAINS TO COMPLY W/ ANSI 602

16 Drinking Fountain
N.T.S.



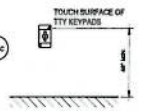
NOTE:
H.C. PUBLIC TELEPHONES TO COMPLY W/ ANSI 704.

15 Clear Floor Space For Telephones - Forward Approach
N.T.S. ANSI FIG. 704.2.1(b)



NOTE:
H.C. PUBLIC TELEPHONES TO COMPLY W/ ANSI 704.

14 Clear Floor Space For Telephones - Parallel Approach
N.T.S. ANSI FIG. 704.2.1(a)

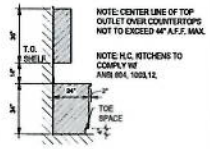


NOTE:
H.C. PUBLIC TELEPHONES TO COMPLY W/ ANSI 704.

13 Telephone
N.T.S.

NOTE:
H.C. KITCHENS TO COMPLY W/ ANSI 804, 1002.12 &/OR 1003.12.

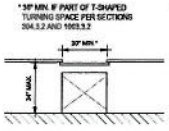
12 Bar & Kitchen - Type A
N.T.S.



NOTE: CENTER LINE OF TOP OUTLET OVER COUNTERTOPS NOT TO EXCEED 44" A.F.F. MAX.

NOTE: H.C. KITCHENS TO COMPLY W/ ANSI 804, 1003.12.

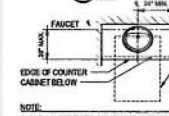
11 Kitchen Cab. - Type A
N.T.S.



ANSI FIG. 1003.12.3

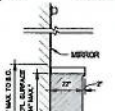
ANSI FIG. 1003.12.4

10 Work Surface / Sink In Kitchen - Type A
N.T.S.



NOTE:
1. H.C. LAVATORY TO COMPLY W/ ANSI 606, AND/OR 1003.11.5.
2. CABINETRY SHALL BE PERMITTED UNDER THE LAVATORY PROVIDED SUCH CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY. THE FLR. FINISH EXTENDS UNDER SUCH CABINETRY, AND THE WALLS BEHIND & SURROUNDING THE CABINETRY ARE FINISHED.

9 Lavatory - Type A
N.T.S. ANSI 606 AND 1003.11.5.

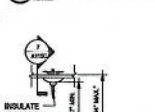


* IF BOWL IS TOP MOUNTED, THEN TO TOP OF BOWL RIM.
H.C. SINKS TO COMPLY W/ ANSI 606, 1003.11.5.

8 Lav. w/ Cab.
N.T.S. ANSI 1003.11.6

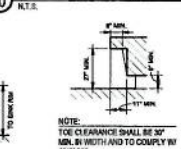
* IF BOWL IS TOP MOUNTED, THEN TO TOP OF BOWL RIM.
H.C. SINKS TO COMPLY W/ ANSI 606, 1003.11.5.

7 Lavatory
N.T.S.



* IF BOWL IS TOP MOUNTED, THEN TO TOP OF BOWL RIM.
H.C. SINKS TO COMPLY W/ ANSI 606, 1003.11.5.

6 H.C. Lavatory
N.T.S.

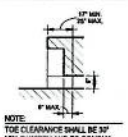


H.C. SINKS TO COMPLY W/ ANSI 606, 1003.11.5.

5 H.C. Wall Mounted Sink
N.T.S.

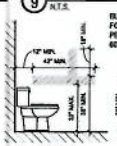
NOTE:
TOE CLEARANCE SHALL BE 30" MIN. IN WIDTH AND TO COMPLY W/ ANSI 306

4 Knee Clearance
N.T.S. ANSI FIG. 306.3 (a&b)

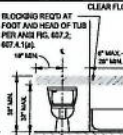


NOTE:
TOE CLEARANCE SHALL BE 30" MIN. IN WIDTH AND TO COMPLY W/ ANSI 306

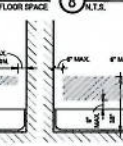
3 Toe Clearance
N.T.S. ANSI FIG. 306.2 (a&b)



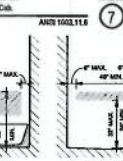
WATER CLOSET SIDE WALL



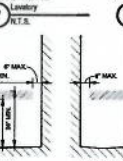
WATER CLOSET / SHOWER HEAD WALL



TUB SIDE WALL

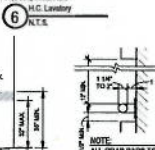


SHOWER BACK WALL



SHOWER SIDE WALL

NOTE:
PROVIDE BLOCKING FOR SEAT @ BATHTUBS



NOTE:
ALL GRAB BARS TO COMPLY W/ ANSI REQ.

1 Grab Bar Size & Spacing
N.T.S. ANSI FIG. 609.2(a) & 609.3

2 Location Of Grab Bar Reinforcing
N.T.S.

REINFORCING MAY BE 3/4" PLYWOOD OR NOMINAL 1X WOOD PLANKING. PROVIDE AT ALL UNIT BATHROOMS.

ACCESSIBILITY NOTES

NOTE: COVERED DWELLING UNITS SHALL COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE, THE 1988 FAIR HOUSING ACT, AND ICC/ANSI A117.1-2003, WHICHEVER IS MORE STRINGENT

DIMENSIONS NOTED AS MINIMUM, MAXIMUM, OR CLEAR DIMENSIONS ARE TO FINISH MATERIALS.

TYPE A DWELLING UNITS:

DISTRIBUTION:
IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS AT LEAST 2% BUT NOT LESS THAN ONE OF UNITS SHALL BE A TYPE A UNIT. TYPE A UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS.

ACCESSIBLE ROUTE:
1. THE ACCESSIBLE ROUTE PRIMARY ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE FROM PUBLIC AND COMMON AREAS.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS WHICH ARE PART OF A DWELLING UNIT. ALL ACCESSIBLE ROUTES SHALL HAVE A CLEAR WIDTH OF 36" MIN. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" WHEELCHAIR TURNING SPACE EXCEPT FOR BATHROOMS NOT REQUIRED TO COMPLY.
3. ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS: FLOOR OR GROUND SURFACE WITH A SLOPE NOT STEEPER THAN 1:20, RAMPS, ELEVATORS, AND WHEELCHAIR PLATFORM LIFTS.
4. WHERE CHANGES IN ELEVATION OF GREATER THAN 1/2" BUT LESS THAN 3/4" EXIST IN THE MEANS OF EGRESS, SLOPED SURFACES SHALL BE USED. CHANGE IN LEVEL OF 1/4" HEIGHT MAX. SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" HEIGHT MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

DOORS:
1. THE PRIMARY ENTRANCE DOOR TO THE DWELLING UNIT AND ALL OTHER DOORWAYS INTENDED FOR USER PASSAGE, SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS MORE THAN 24" DEEP SHALL PROVIDE A CLEAR OPENING OF 36" MIN. THERE SHALL BE NO PROJECTIONS INTO THE CLEAR OPENING WITH LOWER THAN 34" A.F.F. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34" AND 80" A.F.F. SHALL NOT EXCEED 4". THRESHOLDS, IF PROVIDED, AT DOORWAYS SHALL BE 1/2" HEIGHT MAX. WHERE A THRESHOLD IS OVER 1/4" HEIGHT, AT LEAST HALF OF THE HEIGHT OF THE THRESHOLD SHOULD BE BEVELED.
2. ALL DOORS INTENDED FOR USER PASSAGE SHALL HAVE MANEUVERING CLEARANCES AS INDICATED ON THIS SHEET.
3. DOOR CLOSURE SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MIN. DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MIN.
4. THE FORCE FOR PUSHING OR PULLING OPEN DOORS, OTHER THAN FIRE DOORS, SHALL BE 5.0 LBS. MAX. FOR INTERIOR HINED DOORS AND 5.5 LBS. MAX FOR SLIDING OR FOLDING DOORS. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
5. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ALL ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. ABV. WHERE RUBBING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
6. DOOR SURFACES WITHIN 10" OF THE FLOOR MEASURED VERTICALLY SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR EXCEPT SIZING DOORS.

TOILET AND BATHING FACILITIES:
1. AT LEAST ONE TOILET AND BATHING FACILITY MUST COMPLY WHERE AT LEAST ONE LAVATORY, WATER CLOSET, AND EITHER A BATHTUB OR SHOWER, REFER TO ICC/ANSI A117.1-2009 FOR SHOWER REQUIREMENTS WHEN A SHOWER IS THE ONLY BATHING FACILITY IN THE ACCESSIBLE BATHROOM.
2. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE FOR ANY FIXTURE EXCEPT WHEN A CLEAR FLOOR SPACE OF 30" BY 48" IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING.
3. LAVATORIES SHALL COMPLY WITH SECTION 606 OF ICC/ANSI A117.1-2009.
4. THE WATER CLOSET SHALL BE POSITIONED WITH A WALL TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 18" MIN. AND 18" MAX. FROM THE SIDE WALL.
5. REINFORCEMENT SHALL BE PROVIDED IN WALLS TO PERMIT FOR THE FUTURE INSTALLATION OF GRAB BARS.

KITCHEN AND APPLIANCES:
1. A CLEAR FLOOR SPACE OF 30" BY 48" POSITIONED FOR PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE. HOWEVER, A RANGE AND REFRIGERATOR MUST PROVIDE A PARALLEL APPROACH. REFER TO DIAGRAMS.
2. CLEAR FLOOR SPACE SHALL BE POSITIONED ADJACENT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR IN THE OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE FOR THE DISHWASHER OR TOP, BOTTOM-HINGED, DOOR IN THE OPEN POSITION. SHALL NOT BE REQUIRED TO HAVE OPERABLE PARTS WITHIN THE REQUIRED REACH RANGES.
3. TOP LOADING LAUNDRY MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT 36" MAX. ABOVE THE FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT 15" MIN. AND 34" MAX. ABOVE THE FLOOR.
4. FOR SIDE OPENING OVENS, THE DOOR LATCH SIDE SHALL BE NEAT TO A COUNTERTOP. OVENS SHALL HAVE CONTROLS ON THE FRONT PANEL.
5. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX. ABOVE THE FLOOR.
6. ALL CABINETS SHALL HAVE A CLEAR FLOOR SPACE POSITIONED FOR A PARALLEL OR FORWARD APPROACH. THE SHELVES NEED NOT BE LOCATED WITHIN REACH RANGES OR THE HANDLES MEET OPERABLE PARTS PROVISIONS.

WINDOWS:
WHERE OPERABLE WINDOWS ARE PROVIDED, AT LEAST ONE MINIMUM EACH BEDROOM, LIVING, OR DINING SPACE SHALL HAVE OPERABLE PARTS. EACH REQUIRED OPERABLE WINDOW SHALL HAVE OPERABLE PARTS. ACCESSIBLE CONTROLS SHALL BE AT 48" HIGH MAX.

OPERABLE PARTS:
LIGHT AND CONTROLS, ELECTRICAL SWITCHES AND RECEPTACLES, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND USER CONTROLS FOR SECURITY SHALL BE ACCESSIBLE EXCEPT RECEPTACLES SERVING A DEDICATED USE, CERTAIN SINGLE OUTLETS MEETING REQUIREMENTS LISTED IN ICC/ANSI A117.1-2009, SECTION 1008.8. FLOOR ELECTRICAL RECEPTACLES, HVAC DIFFUSERS, CONTROLS MOUNTED ON RANGE HOODS ONLY IF ACCESSIBLE

GENERAL NOTES:
1. ANSI 2003 TO APPLY TO COMMON USE AREAS AND TYPE 'A' DWELLING UNITS.
2. INFORMATION APPEARING ON THIS SHEET IS FOR ILLUSTRATION ONLY. CONTRACTOR TO VERIFY CONFORMANCE OF CONSTRUCTION DOCUMENTS AND TO NOTIFY ARCHITECT IF CONFLICTS OCCUR. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR ACTUAL DESIGN AND CONFIGURATIONS.
3. ACCESSIBILITY DESIGN STANDARDS ARE BASED ON ANSI A117.2003. THEY DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE OR LOCAL CODES, LAWS OR REGULATIONS, NOR DO THEY IMPLY IN ANY WAY THAT COMPLIANCE WITH THESE STANDARDS WILL ELIMINATE ALL HAZARDS OR ACCIDENTS.
4. THE INFORMATION INCLUDED ON THIS SHEET IS FOR GEN. REF. TO INSURE THE PROJECT IS IN CONFORMANCE W/ GOVERNING CODES AND STANDARDS. ALL DETAILS AND INFORMATION IS NOT NECESSARILY SPECIFIC TO THIS PROJECT. ANY DETAILS OR REQUIREMENTS INCLUDED ON THIS SHEET RELATED TO THESE REFERENCES OR STANDARDS SHALL CONFORM TO
5. THESE STANDARDS & REQUIREMENTS. ALL DIMENSIONS ON THIS SHEET ARE TO FINISHED FACE OF WALL AND FINISHED FLOOR.
6. HANDLES, FAUCETS, CONTROLS & OTHER OPERATING MECHANISMS SHALL COMPLY WITH ANSI REQUIREMENTS.
7. ALL DIMS. ABSOLUTE UNLESS NOTED OTHERWISE. UNLESS REQ. BY OWNER, GRAB BARS NOT REQ. IN DWELLING UNITS AT THE TIME OF CONSTRUCTION. WALL REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS IS REQ. PER ANSI 2003, SECTION 1003.11.4.

studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

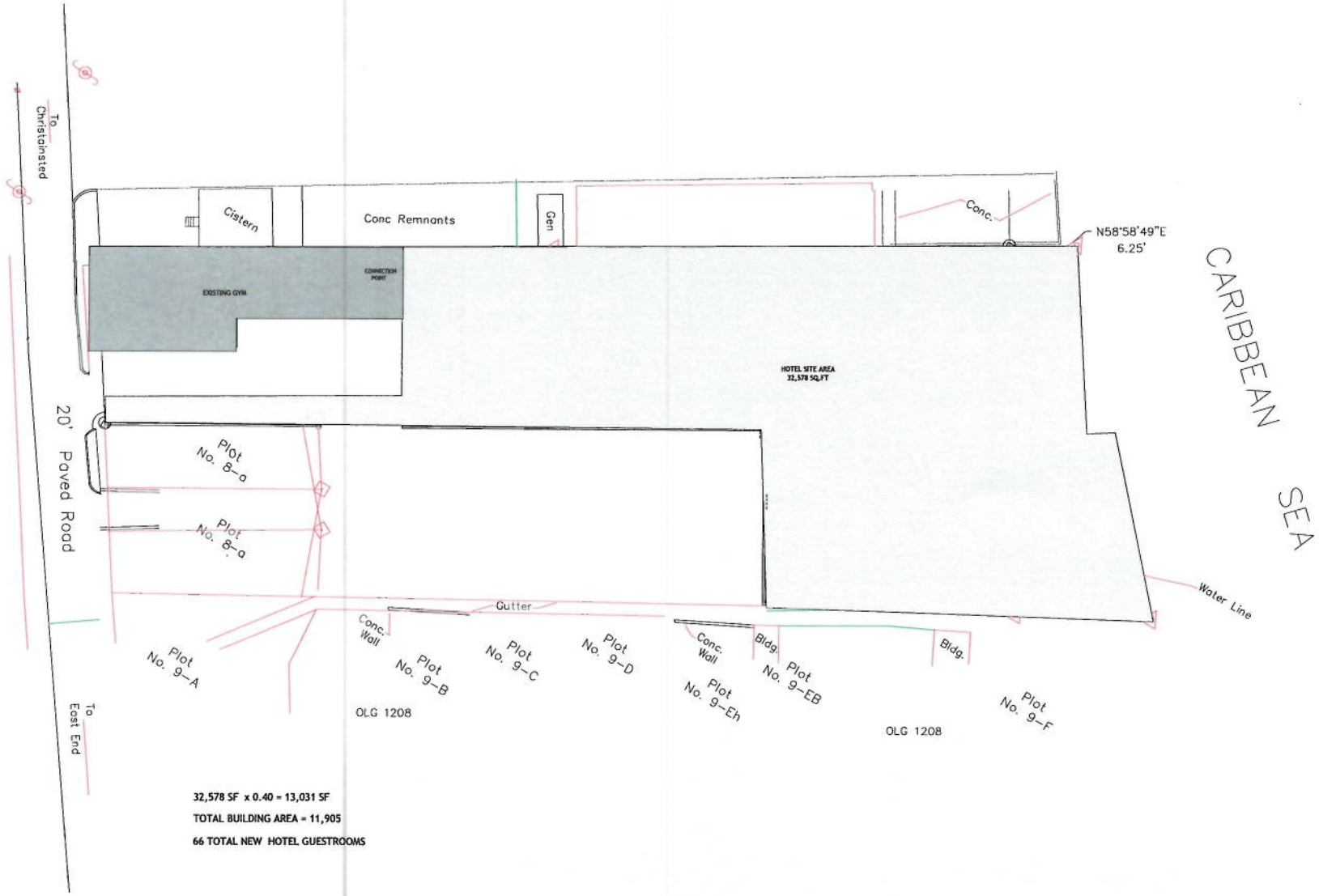
ANSI STANDARDS

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A0.10

Scale



32,578 SF x 0.40 = 13,031 SF

TOTAL BUILDING AREA = 11,905

66 TOTAL NEW HOTEL GUESTROOMS

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brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

SITE PLAN

7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A1.00

Scale 1/16" = 1'-0"

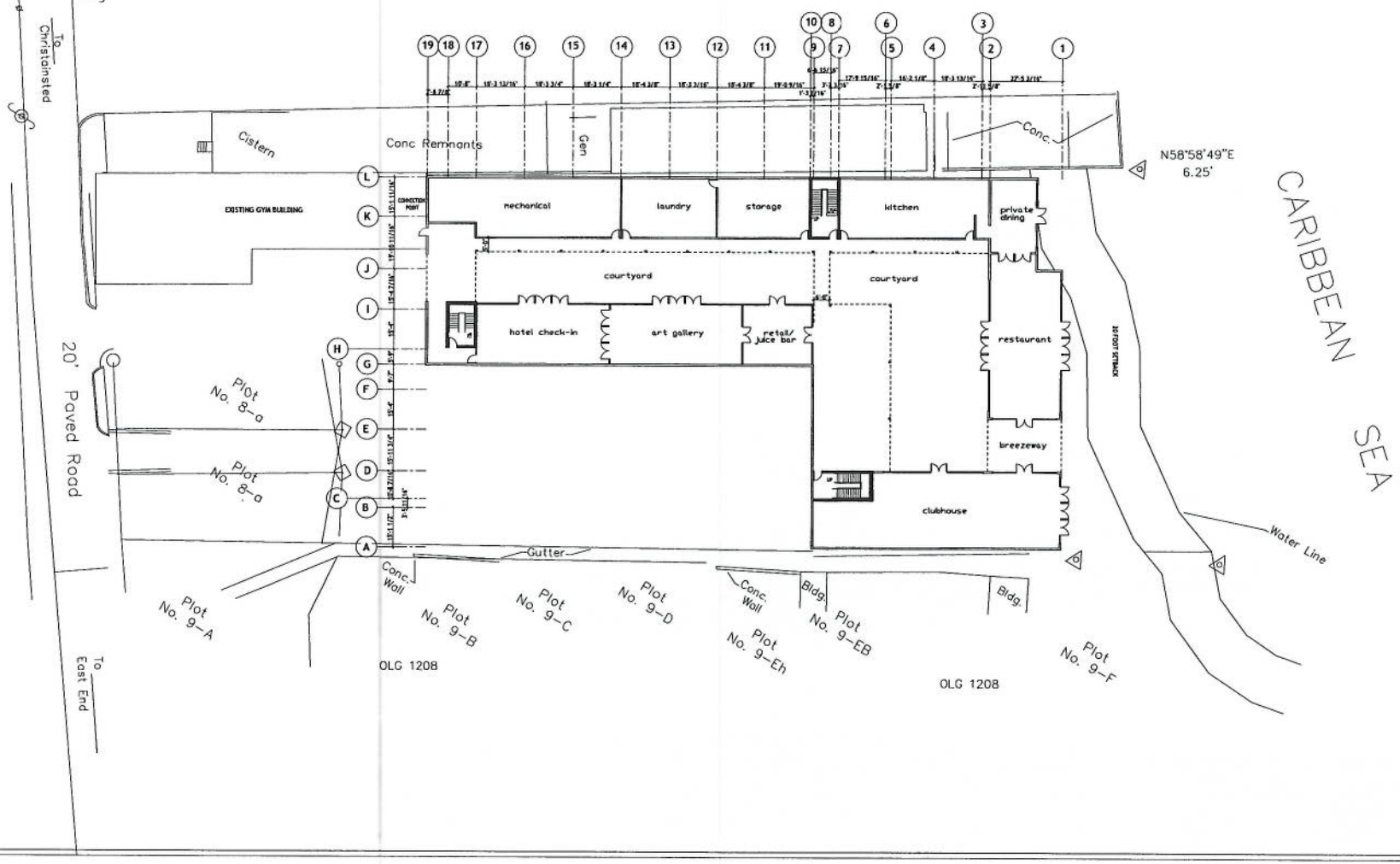
N

GENERAL NOTES

1. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. UNLESS NOTED OTHERWIS
2. FOR DOOR AND WINDOW SCHEDULE REFER T SHEET A.0X & A.0X, RESPECTIVELY
3. REFERENCE CIVIL AND PLUMBING PLANS FOR POINT OF CONNECTION OF SEWER AND GREASE WAS LINES.
4. REFERENCE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, AND LANDSCA DRAWINGS FOR ADDITIONAL INFORMATION.
5. REFER TO ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT.
6. REFER TO FIRE SPRINKLER AND FIRE ALARM PLANS FOR ADDITIONAL INFORMATIO
7. PRIMARY STRUCTURE LOCATED WITHIN FIRE RATED EXTERIOR WALLS SHALL BE PROTECTED, REFER PLANS AND SECTIONS.
8. ALL UTILITIES, INCLUDING CONDEITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF T FLOOR DECK OR ROOF DECK (RUN THROUGH DECK FLUTES WHENEVER POSSIBLE).
9. THE CONSTRUCTION OF THE NEW WORK IN THIS PROJECT SHALL BE ACCOMPLISHED UNDER POSITI CONTROL OF DUST, DEBRIS, ETC. TO PREVENT INTRUSION AND / OR INTERRUPTION OF THE HOTEL OPERATIONS AND INFILTRATION OF DUST INTO THE A.C. SYSTEM. ALL WORK MUST BE COORDINATED WITH THE HOTEL SCHEDULES AND WORK HOURS.
10. GENERAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITION/DIMENSIONS SHO
11. GENERAL CONTRACTOR TO PRIME AND FINISH PER SCHEDULE. WHEN NEEDED, EXISTING AREAS SHO BE PATCHED, REPAIRED, AND REPAINTED.
12. CONTRACTOR SHOULD PROVIDE SUPPORT BLOCKING AS REQUIRED IN WALLS AND CEILI
13. SEE BAR DRAWINGS FOR ALL BAR EQUIPMENT. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS EQUIPMENTS.
14. HAZARDOUS MATERIAL SHALL NOT BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED QUANTITIES LISTED IN CBC TABLES 307.1(1) & 307.1(2). (307.1 CBC) POOL CHEMICALS.
15. CLEAR FLOOR SPACE COMPLYING WITH SECTION 11-309.2 THAT ALLOWS A FORWARD OR PARAL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSER, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT.
16. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
17. ALL CONTROLS IN PUBLIC SPACES FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" & 48" & M HAVE A 30"x48" MIN. CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 20" TO 24" DEEP MAY BE NO HIGHER THAN 48" A.F.F. IF PARALLEL APPROACH IS PROVIDED. WHERE OBSTRUCTIONS ARE INT 20" & 25" W FORWARD APPROACH CONTROLS MUST MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
18. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERA EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15". ALSO SPECIFIED IN SECTION 11B-308. OBSTRUCTED FORWARD APPROACH SHALL HAVE A HIGH FORWARD REACH OF 48" OR 44" MAXIMUM WHERE THE REACH DEPTH IS 20" OR 25" MAXIMUM, RESPECTIVELY. OBSTRUCTED SIDE REACH SHALL HAVE A HEIGHT OF 54" AND 46" MAXIMUM WHERE DEPTH OF OBSTRUCTION SHALL BE 24" AND 10" MAXIMUM, RESPECTIVELY. MORE THAN 10" DEPTH AND MAXIMUM DEPTH 24" THE HIGH SIDE REACH SHALL BE 46". EXCEPTIONS: THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36" MAXIMUM ABOVE THE FINISH FLOOR AND OPERABLE PARTS OF FUEL DISPENSERS SHALL BE PERMITTED TO BE 54" MAXIMUM MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURBS. [11B-308.3 CBC]
19. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SF AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQ'D TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQ'D TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER & EXIT THE SPACE.
20. IN COMMON AREAS WHN EMPLOYEE AREAS @ LEAST ONE OF EACH TYPE OF STORAGE OR W COUNTER, 5% OF LOCKERS, & CONTROLS (EM PHONES, CARD READERS, ETC) MUST BE ON AN ACCESSIBLE ROUTE. WITH REACH RANGE & MUST COMPLY W/ STANDARDS FOR CONTROLS AS DEFINED IN THE ADA STANDARDS OR LOCAL ACCESSIBILITY CODE, WHICHEVER IS STRICTER.
21. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYIN NFPA 72 (1999 OR 2002 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUESTROOMS DESIGNATED AS "GUESTROOMS W/ COMMUNICATION FEATURES" @ A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.
22. OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FRONT OR PARALLEL APPROACH.
23. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQ'D TO HAVE VISUAL AND RAI CHARACTERS & BRAILLE TO BE MOUNTED ON LATCH SIDE OF DOOR W/ THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" & THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
24. ANY PORTION OF A WALL SCONE OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH AB 27" & BELOW 80" IS LIMITED TO A 4" MAX. PROJECTIONS.
25. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE COMPLIANT KNEE AND TOE CLEARANCE & LOCATED ON AN ACCESSIBLE ROUTE & DISTRIBUTED THROUGHOUT THE SPACE. ACCESSIBLE SEATING MUST BE DISPERSED AMONG THE SEATING TYPES, INCLUDING BAR SEATING.
26. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCE REACH RANGES AS DEFINED BY ACCESSIBILITY CODE.
27. ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSI GUESTROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATIONS MUST BE NO GREATER THAN 5 LBS.
28. PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR @ DOOR THRESHOLDS, THE CHANGE OF LEVEL B/W MATERIALS MUST BE NO MORE THAN ¼" OR UP TO ½" BEVELED AT 1:2. REFER TO SHEET A.0X - FLOOR TRANSITION DETAILS
29. ALL DATA & POWER RECEPTACLES IN PUBLIC SPACE INTENDED FOR GUEST ACCESS/ USE MUST INSTALLED WITH ACC. REACH RANGES - REFER TO GENERAL NOTE #17
30. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD TH OF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80" BUILDING CODE 1008.1.1
31. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.3 FIRE CODE 1004.3
32. LOBBY ENCLOSURE SHALL SEPARATE THE ELEVATOR SHAFT ENCLOSURE DOORS FROM EACH FLOOR B HOUR FIRE PARTITIONS. DOOR PROTECTING OPENING IN THE ELEVATOR LOBBY ENCLOSURE WALLS SHALL BE 20 MIN. FIRE RATED SMOKE AND DRAFT CONTROL IN ACCORDANCE WITH 717.5.4.1 (713, 708).
33. ELEVATOR LOBBY TO BE SEPARATED FROM RATED CORRIDOR WITH 1-HR ENCLOSURE AND 20 MIN RA DOORS CBC 3006.3
34. CARBON DIOXIDE SYSTEM WITH MORE THAN 100 POUNDS CARBON DIOXIDE USED IN BEVER DISPENSING REQUIRED A FIRE PERMIT FROM THE FIRE DEPARTMENT.
35. WHERE CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND EQUIPMENT ARE LOCATED INDOO ROOMS OR AREAS CONTAINING CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND FITTINGS AND OTHERS AREA WHERE A LEAK OF CARBON DIOXIDE CAN COLLECT SHALL BE PROVIDE WITH EITHER VENTILATION OR AN EMERGENCY ALARM SYSTEM.
36. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
   CLASS A: = FLAME SPREAD INDEX 0-25 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS B: = FLAME SPREAD INDEX 26-75 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS C: = FLAME SPREAD INDEX 76-200 ; SMOKE DEVELOPED INDEX 0-450.
37. INTERIOR WALL AND CEILING FINISH SHALL HAVE FLAME SPREAD INDEX NOT GREATER THAN T SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.
38. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZ SEVERITY ZONE. (1006.1, 7207.4)

LEGEND

- EXISTING NON-STRUCTURAL METAL STUD WALL TO REMAIN
- NEW NON STRUCTURAL METAL STUDS
- EXISTING CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXPANSION JOINT WITH FIRE BARRIER
- ILLUMINATED EXIT SIGN WALL-MOUNTED - DARKENED QUADRANT SHOWS FACE OF SIGN
- ILLUMINATED EXIT SIGN CEILING-MOUNTED - DARKENED QUADRANT SHOWS FACE OF SIGN - ARROW PROVIDED TO SHOW DIRECTION OF SURGE
- ILLUMINATED FLOOR EXIT SIGN (8" - 6" AFF) - DARKENED QUADRANT SHOWS FACE OF SIGN
- ILLUMINATED FLOOR EXIT SIGN (8" - 6" AFF) - DARKENED QUADRANT SHOWS FACE OF SIGN - ARROW PROVIDED TO SHOW DIRECTION OF SURGE
- EXIT SIGNS TO BE ILLUMINATED AT ALL TIMES, AND CONNECTED TO EMERGENCY POWER TO ENSURE CONTINUED ILLUMINATION FOR 90 MINUTES MIN. IN CASE OF PRIMARY POWER LOSS
- ROOM IDENTIFICATION
  - ROOM NAME
  - ROOM NUMBER
  - ROOM FLOOR AREA
- WALL TYPE
  - WALL TYPE
  - SUBJECT WALL
- DOOR TYPE REFER TO SHEET A0.11
- STOREFRONT/WINDOW TYPE REFER TO SHEET A0.14
- GUESTROOM WITH MOBILITY FEATURES
- GUESTROOM WITH COMMUNICATION FEATURES REFER TO DETAIL 7 / FL1-4
- FIRE EXTINGUISHER 3A:20BC
- ESM STEEL TIG-BACK POST



studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

BASEMENT FLOOR PLAN

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A1.01

Scale 1/16" = 1'-0"

GENERAL NOTES

1. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWIS
2. FOR DOOR AND WINDOW SCHEDULE REFER T SHEET X.XX & X.XX, RESPECTIVELY
3. REFERENCE CIVIL AND PLUMBING PLANS FOR POINT OF CONNECTION OF SEWER AND GREASE WAS LINES.
4. REFERENCE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, AND LANDSCA DRAWINGS FOR ADDITIONAL INFORMATION.
5. REFER TO ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT.
6. REFER TO FIRE SPRINKLER AND FIRE ALARM PLANS FOR ADDITIONAL INFORMATIO
7. PRIMARY STRUCTURE LOCATED WITHIN FIRE RATED EXTERIOR WALLS SHALL BE PROTECTED, REFER PLANS AND SECTIONS.
8. ALL UTILITIES, INCLUDING CONDUITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF T FLOOR DECK OR ROOF DECK (RUN THROUGH DECK FLUTES WHENEVER POSSIBLE).
9. THE CONSTRUCTION OF THE NEW WORK IN THIS PROJECT SHALL BE ACCOMPLISHED UNDER POSITI CONTROL OF DUST, DEBRIS, ETC. TO PREVENT INTRUSION AND / OR INTERRUPTION OF THE HOTEL OPERATIONS AND INFILTRATION OF DUST INTO THE A.C. SYSTEM. ALL WORK MUST BE COORDINATED WITH THE HOTEL SCHEDULES AND WORK HOURS.
10. GENERAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITION/DIMENSIONS SHO
11. GENERAL CONTRACTOR TO PRIME AND FINISH PER SCHEDULE, WHEN NEEDED, EXISTING AREAS SHO BE PATCHED, REPAIRED, AND REPAINTED.
12. CONTRACTOR SHOULD PROVIDE SUPPORT BLOCKING AS REQUIRED IN WALLS AND CEILI
13. SEE BAR DRAWINGS FOR ALL BAR EQUIPMENT. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS EQUIPMENTS.
14. HAZARDOUS MATERIAL SHALL NOT BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED QUANTITIES LISTED IN CBC TABLES 307.1(1) & 307.1(2). (247.1 CBC) POOL CHEMICALS.
15. CLEAR FLOOR SPACE COMPLYING WITH SECTION 11-309.2 THAT ALLOWS A FORWARD OR PARAL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSER, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT.
16. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVI CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
17. ALL CONTROLS IN PUBLIC SPACES FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" & 44" & M HAVE A 30"x48" MIN. CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 9/T 10" & 24" DEEP MAY BE NO HIGHER THAN 46" A.F.F. IF PARALLEL APPROACH IS PROVIDED. WHERE OBSTRUCTIONS ARE 0/T 20" & 25" W FORWARD APPROACH CONTROLS MUST MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
18. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERA EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15". ALSO SPECIFIED IN SECTION 118-308, OBSTRUCTED FORWARD APPROACH SHALL HAVE A HIGH FORWARD REACH OF 48" OR 44" MAXIMUM WHERE THE REACH DEPTH IS 20" OR 25" MAXIMUM, RESPECTIVELY. OBSTRUCTED SIDE REACH SHALL HAVE A HEIGHT OF 34" AND 46" MAXIMUM WHERE DEPTH OF OBSTRUCTION SHALL BE 24" AND 10" MAXIMUM, RESPECTIVELY. MORE THAN 10" DEPTH AND MAXIMUM DEPTH 24" THE HIGH SIDE REACH SHALL BE 44". EXCEPTIONS; THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36" MAXIMUM ABOVE THE FINISH FLOOR AND OPERABLE PARTS OF FUEL DISPENSERS SHALL BE PERMITTED TO BE 54" MAXIMUM MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURBS. [118-308.3 CBC]
19. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SF AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQ'D TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQ'D TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER & EXIT THE SPACE.
20. IN COMMON AREAS WIN EMPLOYEE AREAS @ LEAST ONE OF EACH TYPE OF STORAGE OR W COUNTER, 0% OF LOCKERS, & CONTROLS (EM PHONES, CARD READERS, ETC) MUST BE ON AN ACCESSIBLE ROUTE, WIN REACH RANGE & MUST COMPLY W/ STANDARDS FOR CONTROLS AS DEFINED IN THE ADA STANDARDS OR LOCAL ACCESSIBILITY CODE, WHICHEVER IS STRICTER.
21. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYIN NFPA 72 (1999 OR 2022 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUESTROOMS DESIGNATED AS "GUESTROOMS W/ COMMUNICATION FEATURES" @ A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.
22. OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FRONT OR PARALLEL APPROACH.
23. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQ'D TO HAVE VISUAL AND RAI CHARACTERS & BRAILLE TO BE MOUNTED ON LATCH SIDE OF DOOR W/ THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" & THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
24. ANY PORTION OF A WALL SCONE OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH AB 27" & BELOW 80" IS LIMITED TO A 4" MAX. PROJECTIONS.
25. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE COMPLIANT KNEE AND TOE CLEARANCE & LOCATED ON AN ACCESSIBLE ROUTE & DISTRIBUTED THROUGHOUT THE SPACE. ACCESSIBLE SEATING MUST BE DISPERSED AMONG THE SEATING TYPES, INCLUDING BAR SEATING.
26. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCE REACH RANGES AS DEFINED BY ACCESSIBILITY CODE.
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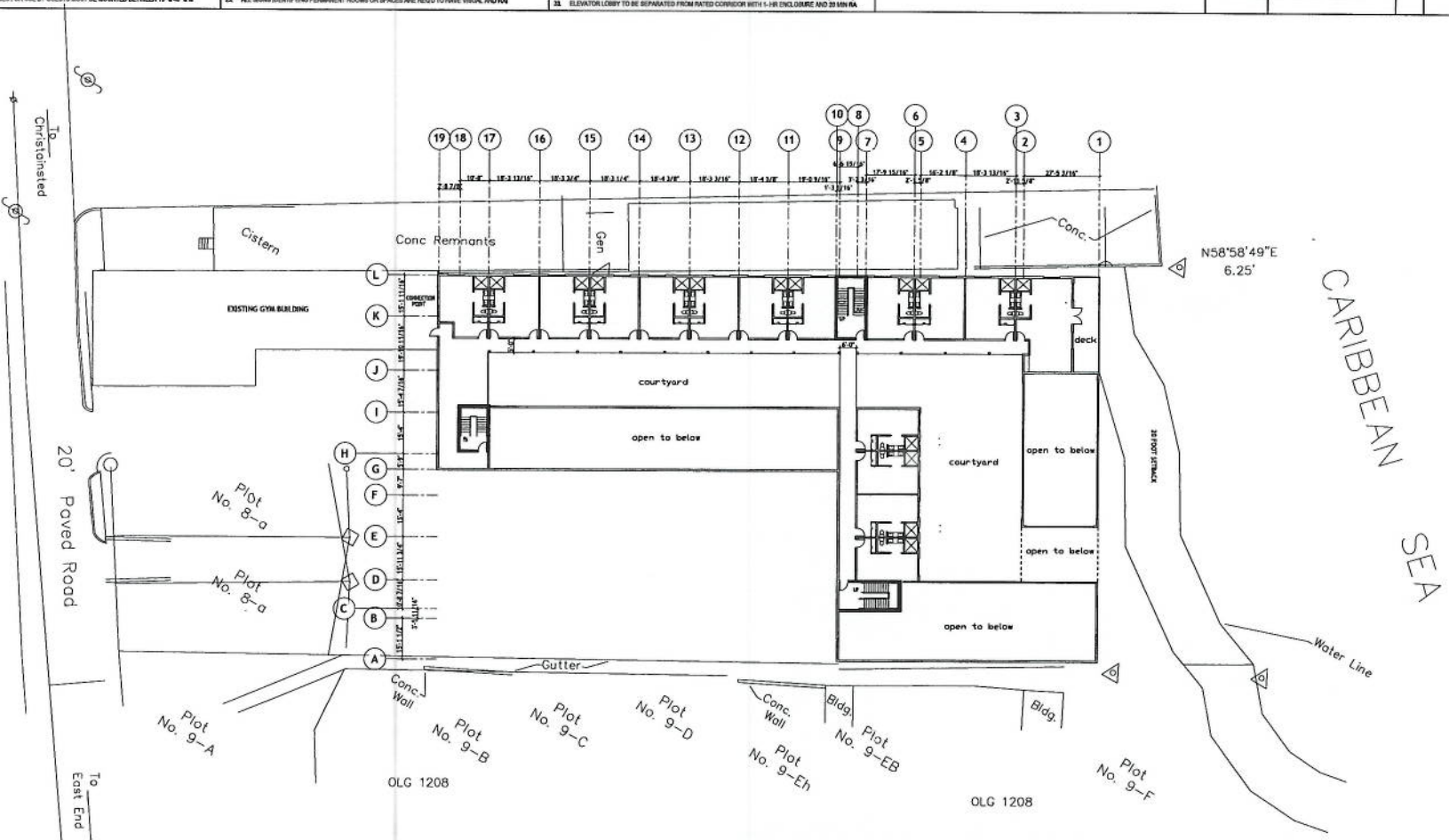
29. ALL DATA & POWER RECEPTACLES IN PUBLIC SPACE INTENDED FOR GUEST ACCESSI USE MUST INSTALLED WIN ACC. REACH RANGES - REFER TO GENERAL NOTE #17
30. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD TH OF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80" BUILDING CODE 1008.1.1
31. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.3 FIRE CODE 1004.3
32. LOBBY ENCLOSURE SHALL SEPARATE THE ELEVATOR SHAFT ENCLOSURE DOORS FROM EACH FLOOR B HOUR FIRE PARTITIONS. DOOR PROTECTING OPENING IN THE ELEVATOR LOBBY ENCLOSURE WALLS SHALL BE 20 MIN. FIRE RATED SMOKE AND DRAFT CONTROL IN ACCORDANCE WITH 717.5.4.1 (715, 716).
33. ELEVATOR LOBBY TO BE SEPARATED FROM RATED CORRIDOR WITH 1-HR ENCLOSURE AND 20 MIN RA DOORS CBC 3006.3
34. CARBON DIOXIDE SYSTEM WITH MORE THAN 100 POUNDS CARBON DIOXIDE USED IN BEVER DISPENSING REQUIRED A FIRE PERMIT FROM THE FIRE DEPARTMENT.
35. WHERE CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND EQUIPMENT ARE LOCATED INDOO ROOMS OR AREAS CONTAINING CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND FITTINGS AND OTHERS AREA WHERE A LEAK OF CARBON DIOXIDE CAN COLLECT SHALL BE PROVIDE WITH EITHER VENTILATION OR AN EMERGENCY ALARM SYSTEM.
36. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
   CLASS A: = FLAME SPREAD INDEX 0-25 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS B: = FLAME SPREAD INDEX 26-75 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS C: = FLAME SPREAD INDEX 76-200 ; SMOKE DEVELOPED INDEX 0-450.
37. INTERIOR WALL AND CEILING FINISH SHALL HAVE FLAME SPREAD INDEX NOT GREATER THAN T SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.
38. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZ SEVERITY ZONE. (1505.1, 7207.4)

LEGEND

- EXISTING NON-STRUCTURAL METAL STUD WALL TO REMAIN
- NEW NON STRUCTURAL METAL STUDS
- EXISTING CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXPANSION JOINT WITH FIRE BARRIER
- ILLUMINATED EXIT SIGN WALL-MOUNTED - DARKENED QUADRANT SHOWS FACE OF SIGN
- ILLUMINATED EXIT SIGN CEILING-MOUNTED - DARKENED QUADRANT SHOWS FACE OF SIGN - ARROW PROVIDED TO SHOW DIRECTION OF SURFACE
- ILLUMINATED FLOOR EXIT SIGN (8" - 8" AFF) - DARKENED QUADRANT SHOWS FACE OF SIGN
- ILLUMINATED FLOOR EXIT SIGN (8" - 8" AFF) - DARKENED QUADRANT SHOWS FACE OF SIGN - ARROW PROVIDED TO SHOW DIRECTION OF SURFACE
- EXIT SIGNS TO BE ILLUMINATED AT ALL TIMES, AND CONNECTED TO EMERGENCY POWER TO ENSURE CONTINUED ILLUMINATION FOR 90 MINUTES MIN. IN CASE OF PRIMARY POWER LOSS
- ROOM IDENTIFICATION
  - ROOM NAME
  - ROOM NUMBER
  - ROOM FLOOR AREA
- WALL TYPE
  - WALL TYPE
  - SUBJECT WALL
- DOOR TYPE REFER TO SHEET A6.01
- STOREFRONT/WINDOW TYPE REFER TO SHEET A6.14
- GUESTROOM WITH MOBILITY FEATURES
- GUESTROOM WITH COMMUNICATION FEATURES REFER TO DETAIL 7 / TL1-4
- FIRE EXTINGUISHER 3A:20BC
- 63M STEEL TIE-BACK POST



studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

FIRST LEVEL PLAN

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A1.02

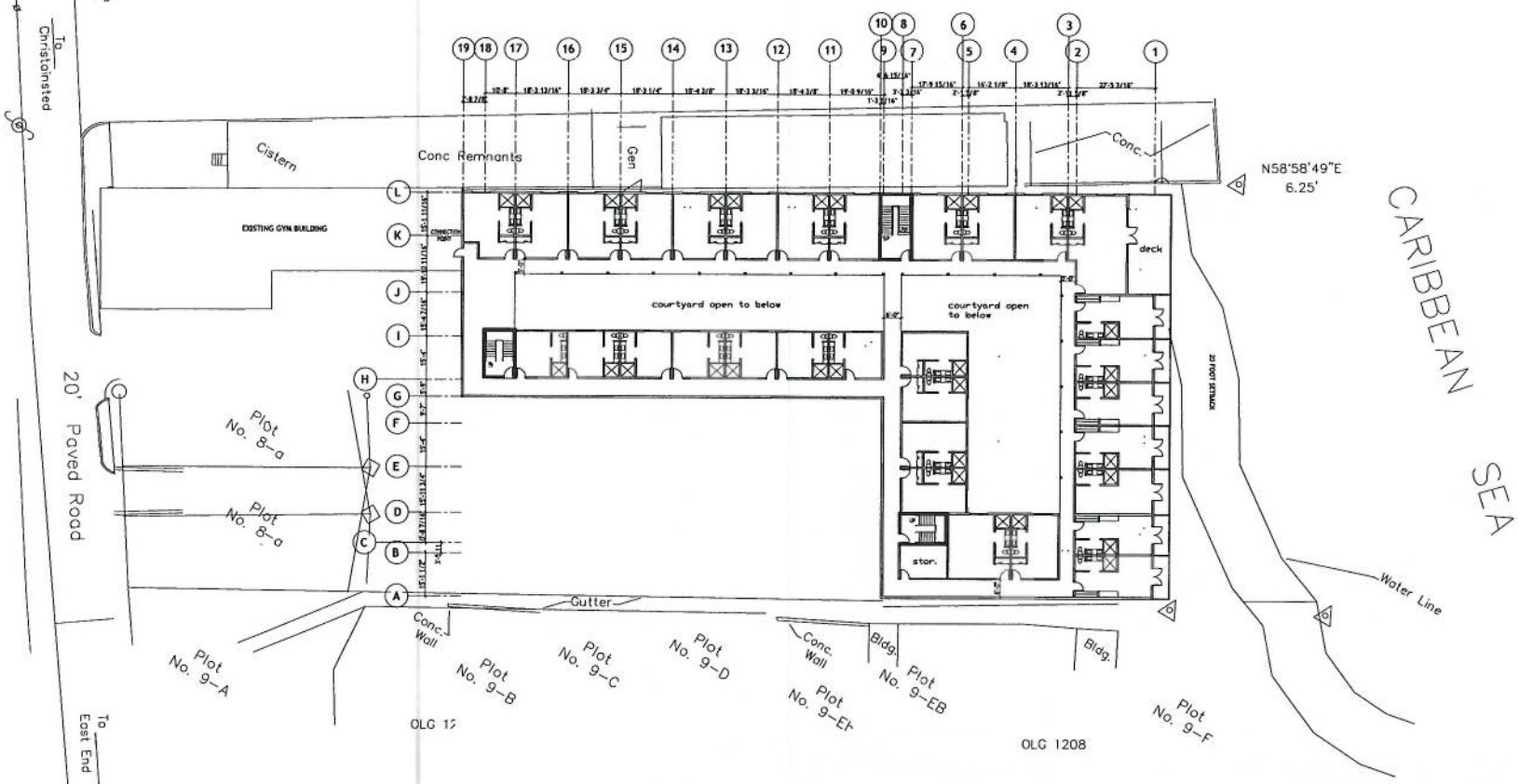
Scale 1/16" = 1'-0"

GENERAL NOTES

1. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWIS
2. FOR DOOR AND WINDOW SCHEDULE REFER T SHEET 3.XX & 3.XX, RESPECTIVELY
3. REFERENCE CIVIL AND PLUMBING PLANS FOR POINT OF CONNECTION OF SEWER AND GREASE WAS LINES.
4. REFERENCE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, AND LANDSCA DRAWINGS FOR ADDITIONAL INFORMATION.
5. REFER TO ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT.
6. REFER TO FIRE SPRINKLER AND FIRE ALARM PLANS FOR ADDITIONAL INFORMATIO
7. PRIMARY STRUCTURE LOCATED WITHIN FIRE RATED EXTERIOR WALLS SHALL BE PROTECTED, REFER PLANS AND SECTIONS.
8. ALL UTILITIES, INCLUDING CONDUITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF T FLOOR DECK OR ROOF DECK (RUN THROUGH DECK FLUTES WHENEVER POSSIBLE).
9. THE CONSTRUCTION OF THE NEW WORK IN THIS PROJECT SHALL BE ACCOMPLISHED UNDER POSITI CONTROL OF DUST, DEBRIS, ETC. TO PREVENT INTRUSION AND / OR INTERRUPTION OF THE HOTEL OPERATIONS AND INFILTRATION OF DUST INTO THE A.C. SYSTEM. ALL WORK MUST BE COORDINATED WITH THE HOTEL SCHEDULES AND WORK HOURS.
10. GENERAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS/DIMENSIONS SHO
11. GENERAL CONTRACTOR TO PRIME AND FINISH PER SCHEDULE. WHEN NEEDED, EXISTING AREAS SHO BE PATCHED, REPAIRED, AND REPAINTED.
12. CONTRACTOR SHOULD PROVIDE SUPPORT BLOCKING AS REQUIRED IN WALLS AND CEILI
13. SEE BAR DRAWINGS FOR ALL BAR EQUIPMENT. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS EQUIPMENTS.
14. HAZARDOUS MATERIAL SHALL NOT BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED QUANTITIES LISTED IN CBC TABLES 307. 1(1) & 307. 1(2). (307.1 CBC) POOL CHEMICALS.
15. CLEAR FLOOR SPACE COMPLYING WITH SECTION 11-309.2 THAT ALLOWS A FORWARD OR PARAL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSER, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT.
16. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
17. ALL CONTROLS IN PUBLIC SPACES FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" & 44" & M HAVE A 30"x48" MIN. CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 8/T 10" & 24" DEEP MAY BE NO HIGHER THAN 44" A.F.F. IF PARALLEL APPROACH IS PROVIDED. WHERE OBSTRUCTIONS ARE B/T 20" & 25" W FORWARD APPROACH CONTROLS MUST MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
18. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERA EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15". ALSO SPECIFIED IN SECTION 118-308, OBSTRUCTED FORWARD APPROACH SHALL HAVE A HIGH FORWARD REACH OF 48" OR 44" MAXIMUM WHERE THE REACH DEPTH IS 20" OR 25" MAXIMUM, RESPECTIVELY. OBSTRUCTED SIDE REACH SHALL HAVE A HEIGHT OF 34" AND 48" MAXIMUM WHERE DEPTH OF OBSTRUCTION SHALL BE 24" AND 10" MAXIMUM, RESPECTIVELY. MORE THAN 10" DEPTH AND MAXIMUM DEPTH 24" THE HIGH SIDE REACH SHALL BE 46". EXCEPTIONS: THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36" MAXIMUM ABOVE THE FINISH FLOOR AND OPERABLE PARTS OF FUEL DISPENSERS SHALL BE PERMITTED TO BE 54" MAXIMUM MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURBS. [118-308.3 CBC]
19. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES, EMPLOYEE WORK AREAS LESS THAN 1000 SF AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQ'D TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQ'D TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER & EXIT THE SPACE.
20. IN COMMON AREAS WIN EMPLOYEE AREAS @ LEAST ONE OF EACH TYPE OF STORAGE OR W COUNTER, 5% OF LOCKERS, & CONTROLS (EM PHONES, CARD READERS, ETC) MUST BE ON AN ACCESSIBLE ROUTE, WIN REACH RANGE & MUST COMPLY W/ STANDARDS FOR CONTROLS AS DEFINED IN THE ADA STANDARDS OR LOCAL ACCESSIBILITY CODE, WHICHEVER IS STRICTER.
21. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYIN NFPA 72 (1999 OR 2002 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUESTROOMS DESIGNATED AS "GUESTROOMS W/ COMMUNICATION FEATURES" @ A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.
22. OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FRONT OR PARALLEL APPROACH.
23. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQ'D TO HAVE VISUAL AND RAI CHARACTERS & BRAILLE TO BE MOUNTED ON LATCH SIDE OF DOOR W/ THE LOWEST TACTILE CHARACTERS NO LONGER THAN 48" & THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" A/F.
24. ANY PORTION OF A WALL SCONE OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH AS 27" & BELOW 80" IS LIMITED TO A 4" MAX. PROJECTIONS.
25. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE COMPLIANT KNEE AND TOE CLEARANCE & LOCATED ON AN ACCESSIBLE ROUTE & DISTRIBUTED THROUGHOUT THE SPACE. ACCESSIBLE SEATING MUST BE DISPERSED AMONG THE SEATING TYPES, INCLUDING BAR SEATING.
26. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCE REACH RANGES AS DEFINED BY ACCESSIBILITY CODE.
27. ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSI GUESTROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATIONS MUST BE NO GREATER THAN 5 LBS.
28. PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR @ DOOR THRESHOLDS. THE CHANGE OF LEVEL B/W MATERIALS MUST BE NO MORE THAN ½" OR UP TO ½" IF BEVELED AT 1:2. REFER TO SHEET 3.XX - FLOOR TRANSITION DETAILS
29. ALL DATA & POWER RECEPTACLES IN PUBLIC SPACE INTENDED FOR GUEST ACCESS/ USE MUST INSTALLED WIN ACC. REACH RANGES - REFER TO GENERAL NOTE #17
30. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD TH OF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80" BUILDING CODE 1008.1.1
31. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.3 FIRE CODE 1004.3
32. LOBBY ENCLOSURE SHALL SEPARATE THE ELEVATOR SHAFT ENCLOSURE DOORS FROM EACH FLOOR B HOUR FIRE PARTITIONS. DOOR PROTECTING OPENING IN THE ELEVATOR LOBBY ENCLOSURE WALLS SHALL BE 20 MIN. FIRE RATED SMOKE AND DRAFT CONTROL IN ACCORDANCE WITH 717.5.4.1 (713, 709).
33. ELEVATOR LOBBY TO BE SEPARATED FROM RATED CORRIDOR WITH 1-HR ENCLOSURE AND 20 MIN RA DOORS CBC 3008.3
34. CARBON DIOXIDE SYSTEM WITH MORE THAN 100 POUNDS CARBON DIOXIDE USED IN BEVER DISPENSING REQUIRED A FIRE PERMIT FROM THE FIRE DEPARTMENT.
35. WHERE CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND EQUIPMENT ARE LOCATED INDOO ROOMS OR AREAS CONTAINING CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND FITTINGS AND OTHERS AREA WHERE A LEAK OF CARBON DIOXIDE CAN COLLECT SHALL BE PROVIDE WITH EITHER VENTILATION OR AN EMERGENCY ALARM SYSTEM.
36. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
    CLASS A = FLAME SPREAD INDEX 0-25 ; SMOKE DEVELOPED INDEX 0-450.
    CLASS B = FLAME SPREAD INDEX 26-75 ; SMOKE DEVELOPED INDEX 0-450.
    CLASS C = FLAME SPREAD INDEX 76-200 ; SMOKE DEVELOPED INDEX 0-450.
37. INTERIOR WALL AND CEILING FINISH SHALL HAVE FLAME SPREAD INDEX NOT GREATER THAN T SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.
38. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZ SEVERITY ZONE. (1505.1, 7207.4)

LEGEND

- EXISTING NON-STRUCTURAL
- METAL STUD WALL TO REMAIN
- NEW NON STRUCTURAL METAL STUDS
- EXISTING CONCRETE STRUCTURE, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW CONCRETE STRUCTURE, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXPANSION JOINT WITH FIRE BARRIER
- ILLUMINATED EXIT SIGN WALL-MOUNTED - DARKENED QUADRANT SHOWS FACE OF SIGN
- ILLUMINATED EXIT SIGN CEILING-MOUNTED - DARKENED QUADRANT SHOWS FACE OF SIGN - ARROW PROVIDED TO SHOW DIRECTION OF FLOW
- ILLUMINATED FLOOR EXIT SIGN (8" - 6" AFF) - DARKENED QUADRANT SHOWS FACE OF SIGN
- ILLUMINATED FLOOR EXIT SIGN (8" - 6" AFF) - DARKENED QUADRANT SHOWS FACE OF SIGN - ARROW PROVIDED TO SHOW DIRECTION OF FLOW
- EXIT SIGNS TO BE ILLUMINATED AT ALL TIMES, AND CONNECTED TO EMERGENCY POWER TO ENSURE CONTINUED ILLUMINATION FOR 90 MINUTES MIN. IN CASE OF PRIMARY POWER LOSS
- ROOM IDENTIFICATION
  - ROOM NAME
  - ROOM NUMBER
  - ROOM FLOOR AREA
- WALL TYPE
  - WALL TYPE
  - SUBJECT WALL
- DOOR TYPE REFER TO SHEET A6.01
- STOREFRONT/WINDOW TYPE REFER TO SHEET A6.14
- GUESTROOM WITH MOBILITY FEATURES
- GUESTROOM WITH COMMUNICATION FEATURES REFER TO DETAIL 7 / T1.1-4
- FIRE EXTINGUISHER 2A:20BC
- EBM STEEL TIG-BACK POST



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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

SECOND LEVEL PLAN

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A1.03

Scale 1/16" = 1'-0"

GENERAL NOTES

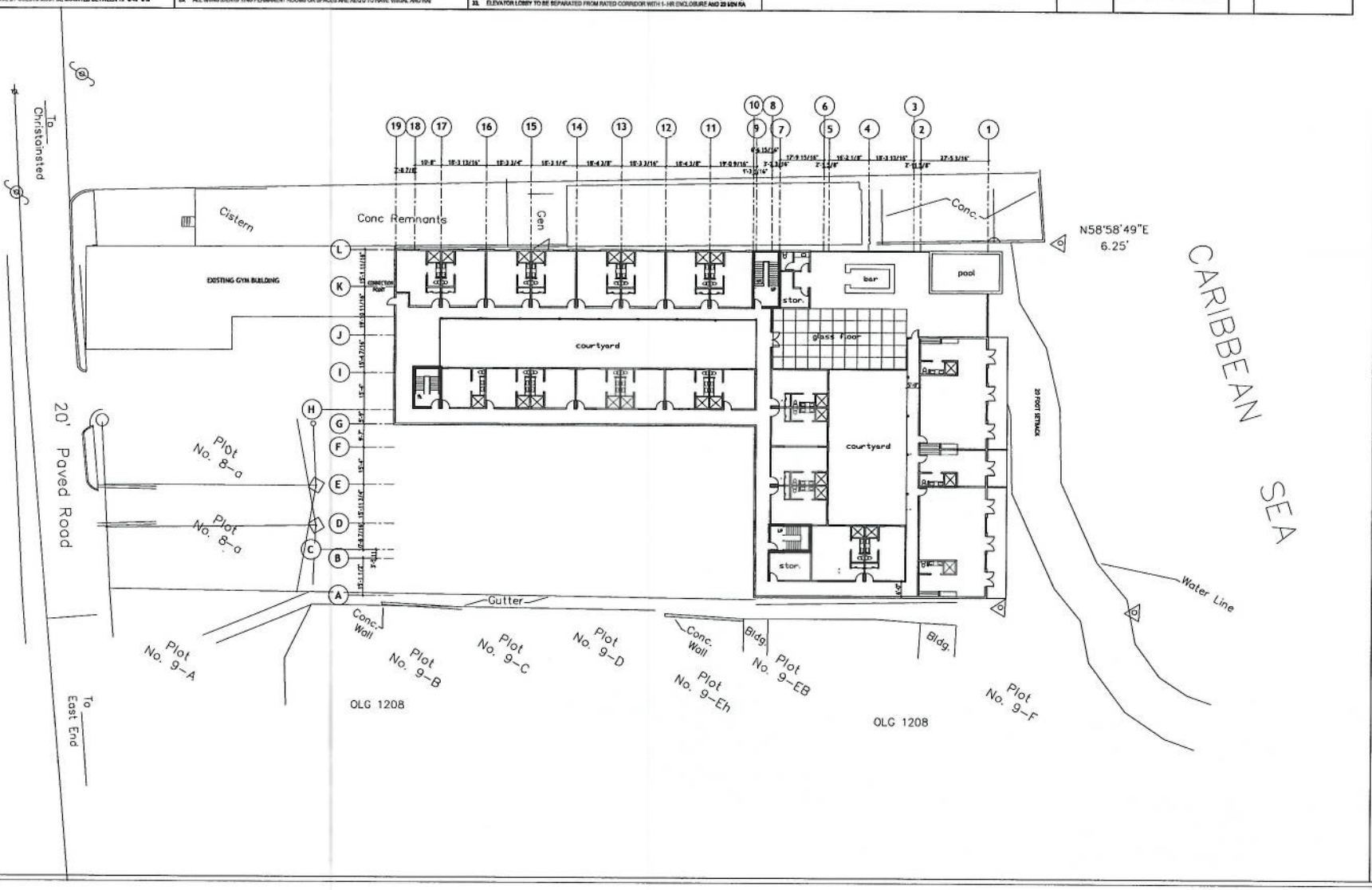
1. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE
2. FOR DOOR AND WINDOW SCHEDULE REFER T SHEET X.XX & X.XX, RESPECTIVELY
3. REFERENCE CIVIL AND PLUMBING PLANS FOR POINT OF CONNECTION OF SEWER AND GREASE WAS LINES.
4. REFERENCE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, AND LANDSCA DRAWINGS FOR ADDITIONAL INFORMATION.
5. REFER TO ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT.
6. REFER TO FIRE SPRINKLER AND FIRE ALARM PLANS FOR ADDITIONAL INFORMATIO
7. PRIMARY STRUCTURE LOCATED WITHIN FIRE RATED EXTERIOR WALLS SHALL BE PROTECTED, REFER PLANS AND SECTIONS.
8. ALL UTILITIES, INCLUDING CONDUITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF T FLOOR DECK OR ROOF DECK (RUN THROUGH DECK FLUTES WHENEVER POSSIBLE).
9. THE CONSTRUCTION OF THE NEW WORK IN THIS PROJECT SHALL BE ACCOMPLISHED UNDER POSITI CONTROL OF DUST, DEBRIS, ETC. TO PREVENT INTRUSION AND / OR INTERRUPTION OF THE HOTEL OPERATIONS AND INFILTRATION OF DUST INTO THE A.C. SYSTEM. ALL WORK MUST BE COORDINATED WITH THE HOTEL SCHEDULES AND WORK HOURS.
10. GENERAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS/DIMENSIONS SHO
11. GENERAL CONTRACTOR TO PRIME AND FINISH PER SCHEDULE, WHEN NEEDED, EXISTING AREAS SHO BE PATCHED, REPAIRED, AND REPAINTED.
12. CONTRACTOR SHOULD PROVIDE SUPPORT BLOCKING AS REQUIRED IN WALLS AND CEILI
13. SEE BAR DRAWINGS FOR ALL BAR EQUIPMENT. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS EQUIPMENTS.
14. HAZARDOUS MATERIAL SHALL NOT BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED QUANTITIES LISTED IN CBC TABLES 307.1(1) & 307.1(2). (307.1 CBC) POOL CHEMICALS.
15. CLEAR FLOOR SPACE COMPLYING WITH SECTION 11-309.2 THAT ALLOWS A FORWARD OR PARAL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSER, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT.
16. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
17. ALL CONTROLS IN PUBLIC SPACES FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" & 44" & M HAVE A 30"x48" MIN. CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 9/T 10" & 24" DEEP MAY BE NO HIGHER THAN 44" A.F.F. IF PARALLEL APPROACH IS PROVIDED. WHERE OBSTRUCTIONS ARE 9/T 25" & 25" W FORWARD APPROACH CONTROLS MUST MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
18. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERA EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15". ALSO SPECIFIED IN SECTION 11B-308, OBSTRUCTED FORWARD APPROACH SHALL HAVE A HIGH FORWARD REACH OF 48" OR 44" MAXIMUM WHERE THE REACH DEPTH IS 20" OR 25" MAXIMUM, RESPECTIVELY. OBSTRUCTED SIDE REACH SHALL HAVE A HEIGHT OF 34" AND 48" MAXIMUM WHERE DEPTH OF OBSTRUCTION SHALL BE 24" AND 10" MAXIMUM, RESPECTIVELY. MORE THAN 10" DEPTH AND MAXIMUM DEPTH 24" THE HIGH SIDE REACH SHALL BE 46". EXCEPTIONS; THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36" MAXIMUM ABOVE THE FINISH FLOOR AND OPERABLE PARTS OF FUEL DISPENSERS SHALL BE PERMITTED TO BE 54" MAXIMUM MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURBS. [11B-308.3 CBC]
19. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SF AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQ'D TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQ'D TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER & EXIT THE SPACE.
20. IN COMMON AREAS W/IN EMPLOYEE AREAS @ LEAST ONE OF EACH TYPE OF STORAGE OR W COUNTER, 5% OF LOCKERS, & CONTROLS (EM PHONES, CARD READERS, ETC) MUST BE ON AN ACCESSIBLE ROUTE, W/IN REACH RANGE & MUST COMPLY W/ STANDARDS FOR CONTROLS AS DEFINED IN THE ADA STANDARDS OR LOCAL ACCESSIBILITY CODE, WHICHEVER IS STRICTER.
21. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYIN NFPA 72 (1999 OR 2002 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUESTROOMS DESIGNATED AS "GUESTROOMS W/ COMMUNICATION FEATURES" @ A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.
22. OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FRONT OR PARALLEL APPROACH.
23. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQ'D TO HAVE VISUAL AND RA CHARACTERS & BRAILLE TO BE MOUNTED ON LATCH SIDE OF DOOR W/ THE LOWEST TACTILE CHARACTERS NO LONGER THAN 48" & THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
24. ANY PORTION OF A WALL SCONE OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH AB 27" & BELOW 80" IS LIMITED TO A 4" MAX. PROJECTION.
25. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE COMPLIANT KNEE AND TOE CLEARANCE & LOCATED ON AN ACCESSIBLE ROUTE & DISTRIBUTED THROUGHOUT THE SPACE. ACCESSIBLE SEATING MUST BE DISPERSED AMONG THE SEATING TYPES, INCLUDING BAR SEATING.
26. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCE REACH RANGES AS DEFINED BY ACCESSIBILITY CODE.
27. ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSI GUESTROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATIONS MUST BE NO GREATER THAN 8 LBS.
28. PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR @ DOOR THRESHOLDS. THE CHANGE OF LEVEL B/W MATERIALS MUST BE NO MORE THAN ¼" OR UP TO ½" IF BEVELED AT 1:2. REFER TO SHEET X.XX - FLOOR TRANSITION DETAILS
29. ALL DATA & POWER RECEPTACLES IN PUBLIC SPACE INTENDED FOR GUEST ACCESS/ USE MUST BE/ALLED W/IN ACC. REACH RANGES - REFER TO GENERAL NOTE #17
30. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD TH OF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80" BUILDING CODE 1008.1.1
31. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.3 FIRE CODE 1004.3
32. LOBBY ENCLOSURE SHALL SEPARATE THE ELEVATOR SHAFT ENCLOSURE DOORS FROM EACH FLOOR B HOUR FIRE PARTITIONS. DOOR PROTECTING OPENING IN THE ELEVATOR LOBBY ENCLOSURE WALLS SHALL BE 20 MIN. FIRE RATED SMOKE AND DRAFT CONTROL IN ACCORDANCE WITH 717.5.4.1 (718, 719).
33. ELEVATOR LOBBY TO BE SEPARATED FROM RATED CORRIDOR WITH 1-HR ENCLOSURE AND 20 MIN RA DOORS CBC 3008.3
34. CARBON DIOXIDE SYSTEM WITH MORE THAN 100 POUNDS CARBON DIOXIDE USED IN BEVER DISPENSING REQUIRED A FIRE PERMIT FROM THE FIRE DEPARTMENT.
35. WHERE CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND EQUIPMENT ARE LOCATED INDOO ROOMS OR AREAS CONTAINING CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND FITTINGS AND OTHERS AREA WHERE A LEAK OF CARBON DIOXIDE CAN COLLECT SHALL BE PROVIDE WITH EITHER VENTILATION OR AN EMERGENCY ALARM SYSTEM.
36. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.
   CLASS A: = FLAME SPREAD INDEX 0-25 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS B: = FLAME SPREAD INDEX 26-75 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS C: = FLAME SPREAD INDEX 76-200 ; SMOKE DEVELOPED INDEX 0-450.
37. INTERIOR WALL AND CEILING FINISH SHALL HAVE FLAME SPREAD INDEX NOT GREATER THAN T SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.
38. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZ SEVERITY ZONE. (1505.1, 7207.4)

LEGEND

- EXISTING NON-STRUCTURAL
- METAL STUD WALL TO REMAIN
- NEW NON STRUCTURAL METAL STUDS
- EXISTING CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXPANSION JOINT WITH FIRE BARRIER
- ILLUMINATED EXIT SIGN WALL-MOUNTED (HARDWIRED QUADRANT SHOWS FACE OF SIGN)
- ILLUMINATED EXIT SIGN CEILING-MOUNTED (HARDWIRED QUADRANT SHOWS FACE OF SIGN; ARROW PROVIDED TO SHOW DIRECTION OF EGRESS)
- ILLUMINATED FLOOR EXIT SIGN (8" - 6" AFF) (HARDWIRED QUADRANT SHOWS FACE OF SIGN)
- ILLUMINATED FLOOR EXIT SIGN (8" - 6" AFF) (HARDWIRED QUADRANT SHOWS FACE OF SIGN; ARROW PROVIDED TO SHOW DIRECTION OF EGRESS)

EXIT SIGNS TO BE ILLUMINATED AT ALL TIMES, AND CONNECTED TO EMERGENCY POWER TO ENSURE CONTINUED ILLUMINATION FOR 90 MINUTES MIN. IN CASE OF PRIMARY POWER LOSS

- ROOM IDENTIFICATION
  - ROOM NAME
  - ROOM NUMBER
  - ROOM FLOOR AREA
- WALL TYPE
  - WALL TYPE
  - SUBJECT WALL
- 101 — REFER TO SHEET A6.01
- 101 — DOOR TYPE REFER TO SHEET A6.11
- MT-1 — STOREFRONT/WINDOW TYPE REFER TO SHEET A6.14
- GUESTROOM WITH MOBILITY FEATURES
- GUESTROOM WITH COMMUNICATION FEATURES REFER TO DETAIL 7 / T1.1-4
- FIRE EXTINGUISHER 2A:20BC
- EBM STEEL TIE-BACK POST



studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

THIRD LEVEL PLAN

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A1.04

Scale 1/16" = 1'-0"

GENERAL NOTES

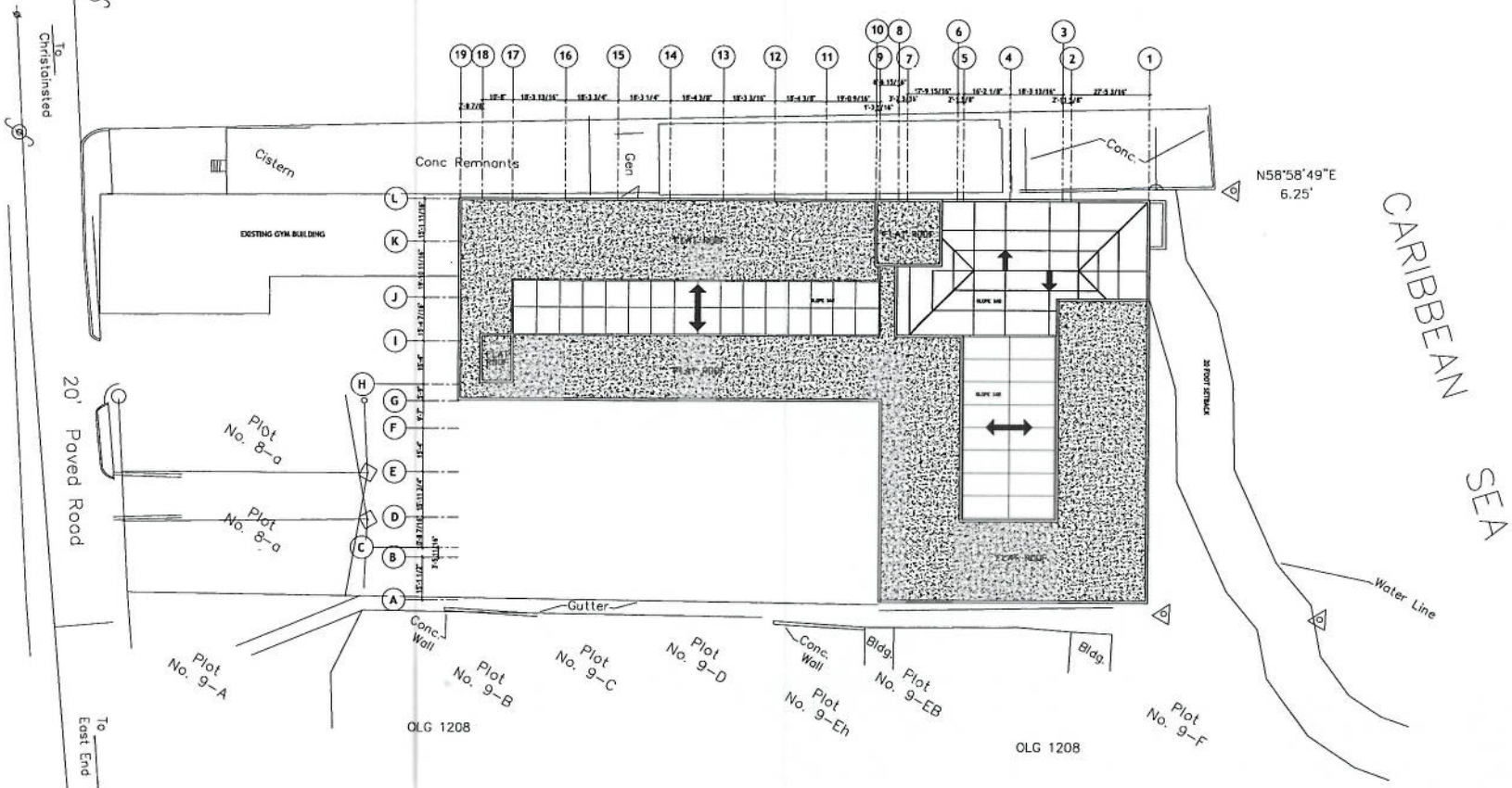
1. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWIS
2. FOR DOOR AND WINDOW SCHEDULE REFER T SHEET A.00 & A.00X, RESPECTIVELY
3. REFERENCE CIVIL AND PLUMBING PLANS FOR POINT OF CONNECTION OF SEWER AND GREASE WAS LINES.
4. REFERENCE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR DESIGN, AND LANDSCA DRAWINGS FOR ADDITIONAL INFORMATION.
5. REFER TO ELECTRICAL DRAWINGS FOR THE REQUIRED WORKING CLEARANCE AROUND ELECTRICAL EQUIPMENT.
6. REFER TO FIRE SPRINKLER AND FIRE ALARM PLANS FOR ADDITIONAL INFORMATIO
7. PRIMARY STRUCTURE LOCATED WITHIN FIRE RATED EXTERIOR WALLS SHALL BE PROTECTED, REFER PLANS AND SECTIONS.
8. ALL UTILITIES, INCLUDING CONDUITS AND PIPING, SHALL BE HELD TIGHT TO THE UNDERSIDE OF T FLOOR DECK OR ROOF DECK (RUN THROUGH DECK FLUTES WHENEVER POSSIBLE).
9. THE CONSTRUCTION OF THE NEW WORK IN THIS PROJECT SHALL BE ACCOMPLISHED UNDER POSIT CONTROL OF DUST, DEBRIS, ETC. TO PREVENT INTRUSION AND / OR INTERRUPTION OF THE HOTEL OPERATIONS AND INFILTRATION OF DUST INTO THE A.C. SYSTEM. ALL WORK MUST BE COORDINATED WITH THE HOTEL SCHEDULES AND WORK HOURS.
10. GENERAL CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS/DIMENSIONS SHO
11. GENERAL CONTRACTOR TO PRIME AND FINISH PER SCHEDULE, WHEN NEEDED, EXISTING AREAS SHO BE PATCHED, REPAIRED, AND REPAINTED.
12. CONTRACTOR SHOULD PROVIDE SUPPORT BLOCKING AS REQUIRED IN WALLS AND CEILI
13. SEE BAR DRAWINGS FOR ALL BAR EQUIPMENT. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS EQUIPMENTS.
14. HAZARDOUS MATERIAL SHALL NOT BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEED QUANTITIES LISTED IN CBC TABLES 307.1(1) & 307.1(2). (307.1 CBC) POOL CHEMICALS.
15. CLEAR FLOOR SPACE COMPLYING WITH SECTION 11-309.2 THAT ALLOWS A FORWARD OR PARAL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSER, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT.
16. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
17. ALL CONTROLS IN PUBLIC SPACES FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" & 48" & M HAVE A 30"x48" MIN. CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 20" TO 34" & 24" DEEP MAY BE NO HIGHER THAN 48" A.F.F. IF PARALLEL APPROACH IS PROVIDED. WHERE OBSTRUCTIONS ARE 34" 20" & 25" W FORWARD APPROACH CONTROLS MUST MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
18. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERA EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15". ALSO SPECIFIED IN SECTION 11B-308, OBSTRUCTED FORWARD APPROACH SHALL HAVE A HIGH FORWARD REACH OF 48" OR 44" MAXIMUM WHERE THE REACH DEPTH IS 20" OR 25" MAXIMUM, RESPECTIVELY. OBSTRUCTED SIDE REACH SHALL HAVE A HEIGHT OF 34" AND 46" MAXIMUM WHERE DEPTH OF OBSTRUCTION SHALL BE 24" AND 10" MAXIMUM, RESPECTIVELY. MORE THAN 10" DEPTH AND MAXIMUM DEPTH 24" THE HIGH SIDE REACH SHALL BE 46". EXCEPTIONS: THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36" MAXIMUM ABOVE THE FINISH FLOOR AND OPERABLE PARTS OF FUEL DISPENSERS SHALL BE PERMITTED TO BE 54" MAXIMUM MEASURED FROM THE SURFACE OF THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURBS. [11B-308.3 CBC]
19. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET SHOWER ROOMS MUST ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SF AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CABINWORK OR FURNISHINGS ARE NOT REQ'D TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQ'D TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER & EXIT THE SPACE.
20. IN COMMON AREAS WITH EMPLOYEE AREAS @ LEAST ONE OF EACH TYPE OF STORAGE OR W COUNTER, 5% OF LOCKERS, & CONTROLS (SW PHONES, CARD READERS, ETC) MUST BE ON AN ACCESSIBLE ROUTE, WITH REACH RANGE & MUST COMPLY W STANDARDS FOR CONTROLS AS DEFINED IN THE ADA STANDARDS OR LOCAL ACCESSIBILITY CODE, WHICHEVER IS STRICTER.
21. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYIN NFPA 72 (1999 OR 2002 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUESTROOMS DESIGNATED AS "GUESTROOMS W/ COMMUNICATION FEATURES" @ A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.
22. OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FRONT OR PARALLEL APPROACH.
23. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQ'D TO HAVE VISUAL AND RAI CHARACTERS & BRAILLE TO BE MOUNTED ON LATCH SIDE OF DOOR W/ THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" & THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
24. ANY PORTION OF A WALL SCONE OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH AB 27" & BELOW 80" IS LIMITED TO A 4" MAX. PROJECTIONS.
25. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE COMPLIANT KNEE AND TOE CLEARANCE & LOCATED ON AN ACCESSIBLE ROUTE & DISTRIBUTED THROUGHOUT THE SPACE. ACCESSIBLE SEATING MUST BE DISPERSED AMONG THE SEATING TYPES, INCLUDING BAR SEATING.
26. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCE REACH RANGES AS DEFINED BY ACCESSIBILITY CODE.
27. ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSI GUESTROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATIONS MUST BE NO GREATER THAN 5 LBS.
28. PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR @ DOOR THRESHOLDS, THE CHANGE OF LEVEL B/W MATERIALS MUST BE NO MORE THAN 1/2" OR UP TO 3/4" SLOPED AT 1:2. REFER TO SHEET A.00X - FLOOR TRANSITION DETAILS
29. ALL DATA & POWER RECEPTACLES IN PUBLIC SPACE INTENDED FOR GUEST ACCESS/USE MUST INSTALLED WITH ACC. REACH RANGES - REFER TO GENERAL NOTE #17
30. THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD TH OF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32". THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80" BUILDING CODE 1008.1.1
31. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. BUILDING CODE 1004.3 FIRE CODE 1004.3
32. LOBBY ENCLOSURE SHALL SEPARATE THE ELEVATOR SHAFT ENCLOSURE DOORS FROM EACH FLOOR B HOUR FIRE PARTITIONS. DOOR PROTECTING OPENING IN THE ELEVATOR LOBBY ENCLOSURE WALLS SHALL BE 20 MIN. FIRE RATED SMOKE AND DRAFT CONTROL IN ACCORDANCE WITH 717.5.4.1 (713, 715). ELEVATOR LOBBY TO BE SEPARATED FROM RATED CORRIDOR WITH 1-HR ENCLOSURE AND 20 MIN RA DOORS CBC 3008.3
34. CARBON DIOXIDE SYSTEM WITH MORE THAN 100 POUNDS CARBON DIOXIDE USED IN BEVER DISPENSING REQUIRED A FIRE PERMIT FROM THE FIRE DEPARTMENT.
35. WHERE CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND EQUIPMENT ARE LOCATED INDOO ROOMS OR AREAS CONTAINING CARBON DIOXIDE STORAGE TANKS, CYLINDERS, PIPING AND FITTINGS AND OTHERS AREA WHERE A LEAK OF CARBON DIOXIDE CAN COLLECT SHALL BE PROVIDE WITH EITHER VENTILATION OR AN EMERGENCY ALARM SYSTEM.
36. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
   CLASS A: = FLAME SPREAD INDEX 0-25 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS B: = FLAME SPREAD INDEX 26-75 ; SMOKE DEVELOPED INDEX 0-450.
   CLASS C: = FLAME SPREAD INDEX 76-200 ; SMOKE DEVELOPED INDEX 0-450.
37. INTERIOR WALL AND CEILING FINISH SHALL HAVE FLAME SPREAD INDEX NOT GREATER THAN T SPECIFIED IN TABLE 803.11 FOR THE GROUP AND LOCATION DESIGNATED.
38. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZ SEVERITY ZONE. (1505.1, 7207.4)

LEGEND

- EXISTING NON-STRUCTURAL METAL STUD WALL TO REMAIN
- NEW NON STRUCTURAL METAL STUDS
- EXISTING CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- NEW CONCRETE STRUCTURE. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXPANSION JOINT WITH FIRE BARRIER
- ILLUMINATED EXIT SIGN WALL-MOUNTED (ARROWHEAD DIRECTION SHOWN FACE OF SIGN)
- ILLUMINATED EXIT SIGN CEILING-MOUNTED (ARROWHEAD DIRECTION SHOWN FACE OF SIGN; ARROW PROVIDED TO SHOW DIRECTION OF EGRESS)
- ILLUMINATED FLOOR EXIT SIGN (8" - 8" AFF) (ARROWHEAD DIRECTION SHOWN FACE OF SIGN)
- ILLUMINATED FLOOR EXIT SIGN (8" - 8" AFF) (ARROWHEAD DIRECTION SHOWN FACE OF SIGN; ARROW PROVIDED TO SHOW DIRECTION OF EGRESS)

EXIT SIGNS TO BE ILLUMINATED AT ALL TIMES, AND CONNECTED TO EMERGENCY POWER TO ENSURE CONTINUED ILLUMINATION FOR 90 MINUTES MIN. IN CASE OF PRIMARY POWER LOSS

- ROOM IDENTIFICATION
  - ROOM NAME
  - ROOM NUMBER
  - ROOM FLOOR AREA
- WALL TYPE
  - WALL TYPE
  - SUBJECT WALL
- 101 DOOR TYPE REFER TO SHEET A0.01
- W10 STOREFRONT/WINDOW TYPE REFER TO SHEET A0.14
- GUESTROOM WITH MOBILITY FEATURES
- GUESTROOM WITH COMMUNICATION FEATURES REFER TO DETAIL 7 / TL1.4
- FIRE EXTINGUISHER 2A:20BC
- EDM STEEL 705-BACK PORT



studio. nile. brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

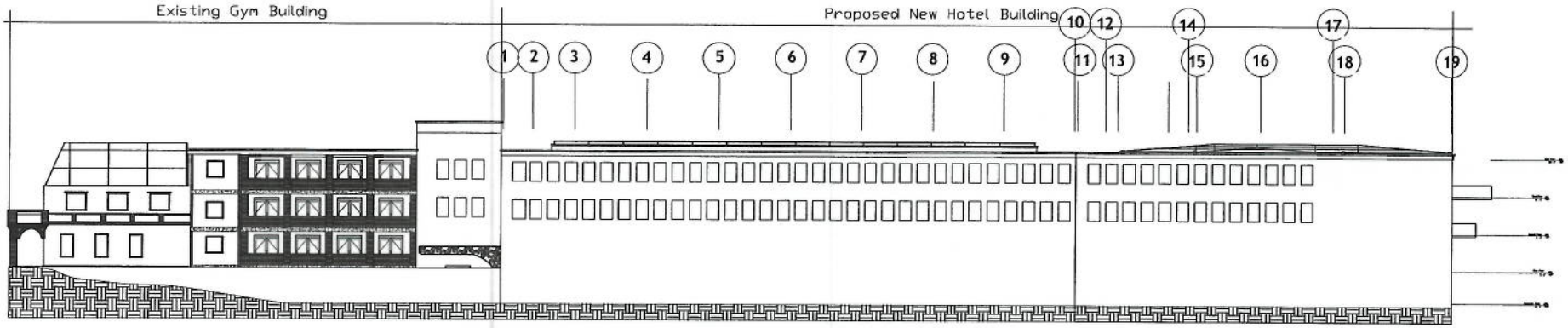
ROOF PLAN

7A HOSPITAL STREET, ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A1.05

Scale 1/16" = 1'-0"



ELEVATION A

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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

ELEVATION - A

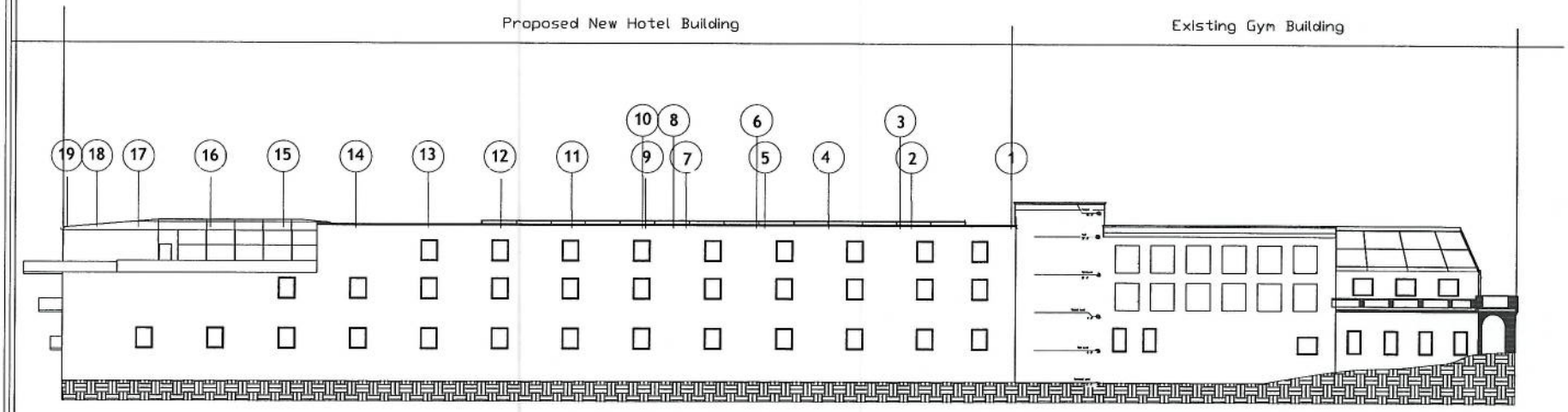
7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A2.01

Scale 3/32" = 1'-0"

N



ELEVATION B

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brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

ELEVATION - B

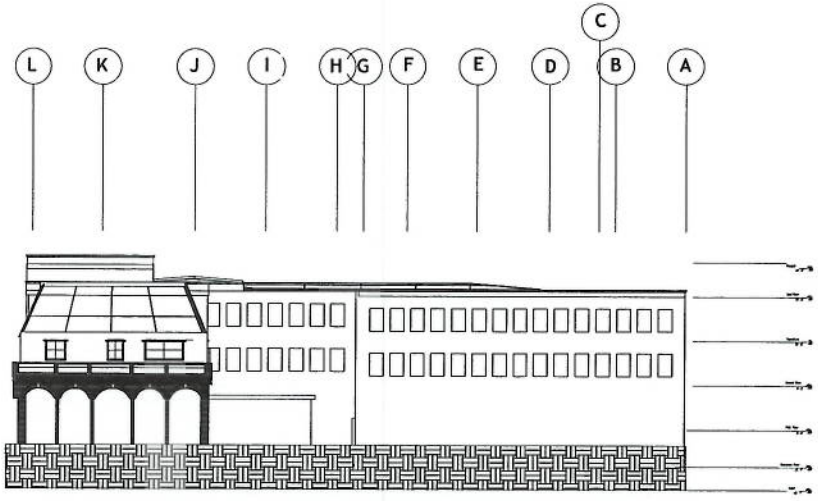
7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A2.02

Scale 3/32" = 1'-0"

N



ELEVATION C

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brand.

NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

ELEVATION - C

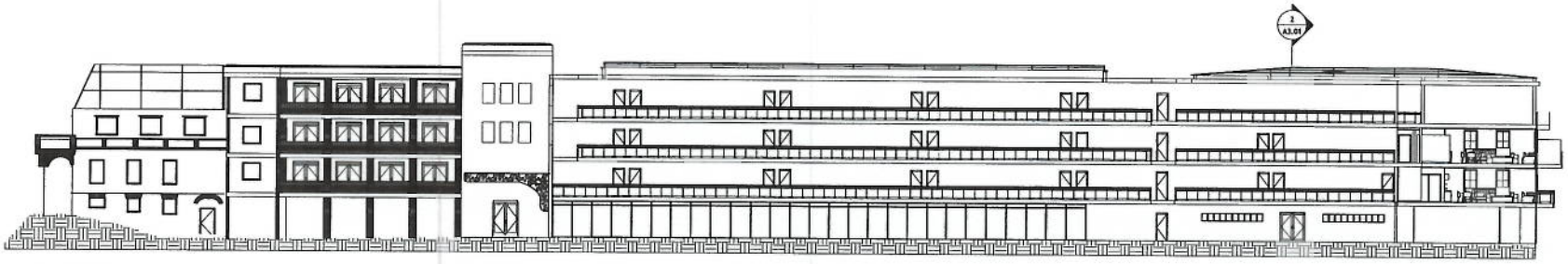
7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

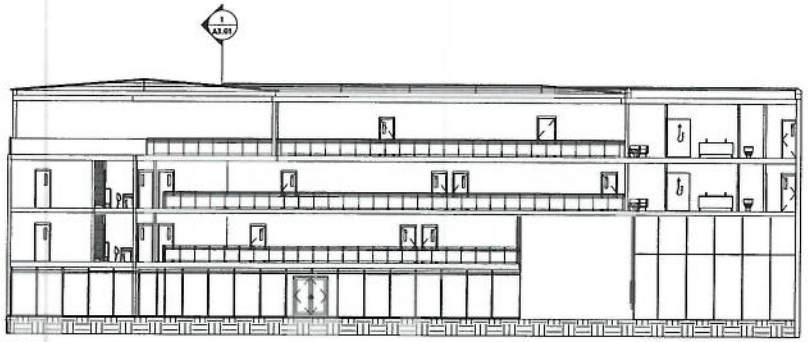
A2.03

Scale 3/32" = 1'-0"

N



SECTION 1



SECTION 2

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NEW BOUTIQUE HOTEL ST. CROIX USVI

No.	Description	Date

SECTIONS

7A HOSPITAL STREET,
ST.CROIX USVI

Date	06/02/2024
Drawn By	Author
Checked By	Checker

A3.01

Scale 3/32" = 1'-0"

N

I. DESIGN CRITERIA

A. GENERAL BUILDING CODE

The Contract Documents are based on the requirements of the International Building Code 2018

B. DEAD LOADS / SUPER IMPOSED DEAD LOADS

1. Partitions. An allowance of 10 PSF or the actual weight of the wall, whichever is greater, has been made for partitions as a uniformly distributed dead load.
2. Floor Finishes. An allowance of 10 PSF has been made for this as a uniformly distributed dead load.
3. Hanging Ceiling and Mechanical Loads. An allowance of 5 PSF has been made for hanging ceiling loads and 10 PSF for mechanical equipment loads such as duct work and sprinkler pipes.
4. Hanging MEP Loads - Parking Areas. An allowance of 5 PSF has been made in the parking areas for hanging MEP and fire protection loads such as drainage and sprinkler pipes.
5. At perimeter areas, an additional super imposed dead load of 120 PSF is considered in the design.

C. LIVE LOADS

1. Design live loads are based on the more restrictive of the uniform load listed below or the concentrated load listed acting over an area 2.5 feet square or, in the case of parking garages, 30 square inches.

Unless noted on the above loading plan, the loads to be considered are as follows:

CATEGORY	UNIFORM LOAD (PSF)	CONCENTRATED LOAD (LB)
1. Roof	20 (unreduced)	N/A
2. Assembly Areas, Plaza, Terraces, Lobbies	100	0
3. Balconies	100	0
4. Lobbies & Corridors (Public)	100	0
5. Operators	80	0
6. Elevator Machine Rooms	125	Equip. Wt.
	40	2000
	80	Equip. Wt.
7. Floor Voids	40	0

ADDITIONAL NOTE ON EXTERIOR CLADDING
Exterior cladding connections shall account for structural deflections, volume shortening, and construction tolerances as determined from AISI 501. The cladding design shall also consider a vertical movement = ½" at every floor due to variation of live loads. This movement is expected at free ends of cantilevers and also at mid-span of specified beams and slabs.

The cladding shall be designed to develop lateral movements between adjacent floors perpendicular and/or parallel to the walls as follows:

Story drift for which cladding is remain undamaged: 1/4"
Story drift for which cladding must not fall off the structure: 2-1/2"

D. ELEVATOR LOADS

Machine Beam, Car Buffer, Counterweight Buffer, and Guide Rail Loads. Assumed elevator loads to the supporting structure are shown on the drawings, including machine beam reactions, car buffer reactions, counterweight buffer reactions, and horizontal and vertical guide rail loads. The General Contractor shall submit to the Structural Engineer final elevator shop drawings showing all loads to the structure prior to the installation of the elevators for verification of load carrying capacity.

E. MECHANICAL EQUIPMENT LOADS

The General Contractor shall submit actual weights of equipment to be used in the project to the Structural Engineer for verification of loads used in the design at least three weeks prior to fabrication and construction of the supporting structure.

E. LATERAL LOADS

E1. WIND LOADS
As per IBC 2018

E2. SEISMIC LOADS

REFER SECTION / TABLE AT END OF NOTES FOR DETAILS OF WIND LOADS AND SEISMIC LOADS

As per IBC 2018. The following note from the Geotech report issued by Vient Engineers LLC is proposed to be followed:

Seismic Considerations - Since the island of St Croix is subjected to occasional earthquake forces, the buildings should be designed to account for lateral earthquake forces. Liquefaction of the subsoil soils is a concern for buildings foundations on earthquake zones. Liquefaction is a concern when the foundation soils are predominantly loose, saturated sand deposits. The groundwater table at the subject site is expected to be within 1.5 feet of the surface in wet conditions. The underlying soils are slightly silty to silty fine sand that is in a very loose condition in the upper 7 feet. Because of the sandy nature of the soils and the shallow depth to the water table, we anticipate that the liquefaction potential is moderate to high. The use of piles will help to mitigate the liquefaction potential. Larger pile dimensions and reinforcing will also provide sufficient resistance. However, there should be a flexible connection between the top of the pile and the pile cap. Also connecting the piles with grade beams will minimize movement to horizontal movement and bending moments. Utilities such as water and sewer lines should have a flexible connection at the building.

G. GARAGE BUMPER LOAD

Not applicable.

H. LATERAL FORCE RESISTING SYSTEM

The ability of the structural frame to resist lateral loads and provide stability under gravity loads derives from the "X" and "Y" bracing systems - to be designed in structural steel frame.

Load path for lateral forces: Lateral forces are carried by the roof deck and floor diaphragms to the "X" and "Y" frames.

I. BUILDING MOVEMENT AND DEFLECTIONS

The building movement specified herein is anticipated to occur and should be considered by the Contractor in the performance of the work.

1. Superimposed Load Deflections. The following provision should be made for superimposed load deflection of area floor relative to an adjacent floor in the design, fabrication, and erection of the building/cladding:
a. Typical Interior Beam - L/60"

Superimposed load deflection is defined as all deflection anticipated to occur after the cladding has been erected. The relative deflection also does not include the floor deflection caused by the weight of the cladding itself or the dead load deflection of the floor framing itself, nor does it include any allowance for fabrication or erection tolerances.

2. Floor Deflections. The following provision for a superimposed load deflection shall be made in the design, fabrication, and installation of partitions, glass walls, and other elements supported by and attached to the structure:
a. Typical Floor Members - Span/360 but not less than 3/8"
b. Typical Roof Members - Span/360 but not less than 5/8"

3. Lateral Frame Deflection (Drift). The following provision for lateral frame deflection in the plane of the all of one floor relative to an adjacent floor shall be made in the design, fabrication and installation of the building cladding:
a. Typical Floor to Floor - Floor Height/400
b. First Floor to Second Floor - Floor Height/500

4. Lateral Frame Lateral Deflection. The following provision for lateral lateral frame deflection in the plane of the and one floor relative to an adjacent floor shall be made in the design, fabrication and installation of building cladding as specified in the building code:
a. Typical Floor to Floor - Floor Height/60

J. ASSEMBLY CONSTRUCTION CLASSIFICATION

In accordance with ASTM E119, all floor construction is classified as noncombustible construction.

K. HARDWARE AND GUARDS

The handrail assemblies and guards shall be designed for 50lb/ft or a concentrated load of 200-pounds at any point applied in any direction at the top and to transfer this load through the supports to the structure. These loads need not be assumed to act concurrently.

L. THE CONCENTRATED LOAD FOR STAIR TREADS

The individual stair treads shall be designed to support a 300-pound concentrated load placed in a position which would cause maximum stress.

II. FOUNDATION

A. GEOTECHNICAL REPORT

Foundation design is based on the geotechnical investigation report. The geotechnical report issued by WEST INDIANS, LLC dt October 28 2021 is available to the General Contractor upon request to the Owner. The information included therein may be used by the General Contractor for his general information only. The Architect and Engineer will not be responsible for the accuracy or applicability of such data thereto.

B. FOUNDATION TYPE

1. Foundation is drilled piers (auger piled of 24" diameter. The piles are expected to be 50ft long, with the capacities as listed below from the geotechnical report:

PILE CAPACITIES

Pile Diameter (ins)	Ultimate Axial Capacity (kips)	Allowable Axial Capacity (kips)	Allowable uplift Capacity (kips)	Lateral Capacity at 0.5 inch deflection (kips)
12	75	38	7	16
16	130	65	4.5	28
18	165	75	5.5	35
24	268	130	8.5	62

Use this with 10ft length

As noted above, only 24" diameter piles are proposed to be used for the foundations.

For additional details refer the Geotech report as above.

C. GRADE BEAMS

1. Grade Beam Sides. Except as noted on the drawings, non-exposed grade beam sides may be work formed. A minimum 3" side cover must be provided.
2. Bar Supports for Grade Beam Caps. Grade beam bottom steel shall be started at 3'-0" maximum centers using beam bolsters providing 3" bottom cover to reinforcing steel. Beam bolsters used shall be designed and manufactured for support on soil.

D. SLAB-ON-GRADE

Due to the been soil at shallow depth, the Geotech report recommends the use of structural slab at grade level, in place of the usual slab on grade. The loads from this structural ground floor slab will thus go directly to the piles via the grade beams.

E. CONSTRUCTION DEWATERING & TEMPORARY EXCAVATION / SHORING / BASEMENT CONSTRUCTION

The Contractor shall determine the extent of construction dewatering required for the excavation. The Contractor shall submit to the Geotechnical Engineer for review the proposed plan for construction dewatering, prior to beginning the excavation.

For additional details refer the Geotech report as mentioned in Section II - A.

III. REINFORCED CONCRETE

A. CLASSES OF CONCRETE

All concrete shall conform to the requirements as specified in the table below unless noted otherwise on the drawings - all concrete is Normal Weight Concrete (NWC).
[Number in brackets is maximum water cement ratio]

Usage (Max w/c ratio)	Comp. Strength (PSI)	Test Age	Max Size Agg.
1. Grade Beams (0.44)	3000	28 days	1"
2. Drilled Piers (auger piled) (0.44)	3000	28 days	1"
3. Suspended Floor System (0.44) • Ground floor slab	3000	28 days	3/4"
4. Composite floor / roof slab (0.44)	3000	28 days 28 days	3/4" 1"

NWC = normal weight concrete
NOTE 1: Sand-light weight concrete (if used for composite metal deck) shall have 4 to 7% air entrainment.
NOTE 2: In addition to minimum strength requirement, concrete shall be proportioned for maximum water cement ratio of 0.50. This note is only to be applied to concrete types that have this note called out in the tabulated columns.
NOTE 3: Type (II) cement shall be used for all foundation concrete. In addition to minimum strength requirement, concrete shall be proportioned for maximum water cement ratio of 0.50.
NOTE 4: Where indicated in the table above, concrete shall be proportioned for a maximum allowable unit shrinkage of 0.0005 measured at 28 days after curing in lime water as determined by ASTM C157 (using 4" sections).

B. HORIZONTAL CONSTRUCTION JOINTS IN CONCRETE PLANS

There shall be no horizontal construction joints in any concrete pours unless shown on the drawings. The Architect/Engineer shall approve all deviations or additional joints in writing.

C. REINFORCING STEEL SPECIFICATION

1. Unless noted, all Reinforcing Steel shall be Grade 60 unless noted otherwise on the drawings or in these notes. All steel shall comply with AS 3679.1 / BS - 4449.
2. Deformed Bar Anchors. ASTM A496 minimum yield strength 75,000 PSI as noted on the drawings. Reinforcing bars shall not be substituted for deformed bar anchors.
3. Welded wire reinforcement. Welded smooth wire reinforcement, ASTM A 185, yield strength 65,000PSI where noted on the drawings. Welded deformed wire reinforcement, ASTM A 497, yield strength 70,000 PSI where noted on the drawings.
4. Headed Stud Anchors. Headed stud anchors used in seismic plate applications are AWS D1.1 Type A studs manufactured in conformance with specification ASTM A108 with a minimum yield strength of 50,000 PSI.

D. PLACEMENT OF WELDED WIRE REINFORCEMENT

Wherever welded wire reinforcement is specified as reinforcement, it shall be continuous across the orthogonal surface and not interrupted by beams or girders and properly lapped one cross wire spacing plus 2".

E. REINFORCEMENT IN TOPPING SLABS

Provide welded smooth wire reinforcement minimum 6 x 6 W2.9 x W2.9 minimum in all housekeeping pads incorporating mechanical equipment whether shown on the drawings or not unless heavier reinforcement is called for on the drawings.

F. REINFORCING STEEL COVERAGE

Reinforcing steel coverage should conform to the requirements specified below. Cover specified shall be considered minimum that may require increasing where reinforcing steel bar sizes to different number bars. Cover to structural members not specified below shall conform to the requirements of ACI 318 unless specified otherwise on the drawings.

1. Foundation Members
a. Grade beams - 1 1/2" top, 3" bottom, 3" formed
b. Drilled piers - 3" for all sides cast against earth / 3" otherwise
c. Sump Walls, 1 1/2" for all and smaller bars
Pit Walls 2" for all and larger bars
d. Structural Slab on Grade - 1" top cover
1" bottom cover

2. MEP Reinforced Members, Interior Exposure (air conditioned space)
a. Structural Slabs - 3/4" top, 3/4" bottom
b. Composite slabs - 3/4" top cover to mesh

The reinforcing steel detailer shall adjust reinforcing steel cage sizes at intersecting structural members as required to allow clearance for intersecting reinforcing bar layers with minimum specified cover.

G. SPLICES IN REINFORCING STEEL

1. Lap splice Location And Type For Unshouldered Beams, Slabs And Walls.
a. Beams and Slabs. Unshouldered beams and slabs, including grade beams, shall have continuous top bars lapped at midspan between supports with a Class A tension splice. Bottom bars shall be lapped at the supports with a Class

A tension splice.
2. Mechanical splices shall be used as directed in drawings and shall be as per the following specifications:
a. All mechanical splices shall be Type I or II and conform to ACI 318-14 / Sec 18.2.7.3 and 18.2.7.2.
b. Splices shall be ICC approved with a minimum tensile strength of 1.25fy. Bars shall be staggered by 2'-6" and located halfway between floors.

IV. POST TENSIONED CONCRETE - Not Applicable

V. STRUCTURAL STEEL

A. MATERIAL

1. Hot Rolled Structural Members. All hot rolled steel plates, shapes, sheet piling, and bars shall be new steel conforming to ASTM Specification AS.
2. ASTM Specification and Grade. Clearly mark the grade of steel on each plate, with a distinguishing mark visible from floor surface, for the purpose of field inspection of proper grade of steel. Unless noted otherwise on the drawings, structural steel shall be as follows:
a. Wide Flange Beams. All wide-flange beams and WT shapes shall conform to ASTM A992. ASTM A572 Grade 50 is acceptable as a substitute for A992.
b. Channel Beams. All channels used as beams shall conform to ASTM A36.
c. Channel Girts. All channels used as girts shall conform to ASTM A36.
d. Elevator Divider Beams. All elevator divider beams designated as S shapes shall conform to ASTM A36.
e. Angle Angles, Steel Plates, Angle Stringer, and Angle Girts. All angles and bent plates shall conform to ASTM A36.
f. Square and Rectangular Hollow Structural Shape Columns. All square and rectangular HSS used as columns shall conform to
(1) ASTM A500, Grade B (Fy=46 ksi).
(2) ASTM A500, Grade C (Fy=50 ksi).
g. Bearplates. All bearplates shall conform to ASTM A36.
h. Connection Material.
(1) Beam Column Stiffener Plates and Doubler Plates. Beam column stiffener plates and doubler plates shall conform to ASTM A572 Grade 50.
(2) All connection material, except as noted otherwise herein or on the drawings, including bearing plates, gusset plates, stiffener plates, filler plates, angles, etc. shall conform to ASTM A36 unless a higher grade of steel is required by strength and provided the resulting sizes are compatible with the connected members.
i. Other Steel. Any other steel not indicated otherwise shall conform to ASTM A36 or ASTM A572GR50 except plates and angles that shall be ASTM A36.

B. CONNECTIONS

1. Connection details not designed and completely detailed on the drawings indicating material grade and sizes, weld sizes, and number of bolts shall be designed by the Contractor per the specifications.
Conceptual connection details with the required member design forces are shown on the drawings and are applicable to all connections not designed and fully detailed on the drawings. The conceptual details are provided only to indicate the connection type required and may not fully represent the complexity of the connection as required by the final connection design for the forces the actual member. Additional connection elements may not be specifically shown in the conceptual details but may be required by the final connection design, such as stiffener plates, doubler plates, supplemental reinforcing plates or other connection material. The fabricator is responsible for engaging the services of a connection specialty engineer to prepare a final connection design for submission that meets the requirements of the conceptual connection details and meets the indicated design forces.
2. Refer to the specifications for additional requirements.
3. Reactions noted on the plans are based on factored loads and are intended for use with the Load and Resistance Factor design method.

C. STRUCTURAL BOLTS AND THREADED FASTENERS

1. A325 Bolts. All bolts in structural connections shall conform to ASTM A325 Type 1, unless indicated otherwise on the drawings.
2. A490 Bolts. See drawings for locations requiring ASTM A490 Type 1 bolts.
3. Threaded Round Steels. Threaded rods shall conform to
a. ASTM A36.
b. ASTM A108 (corrosion resistant).
See drawings for locations.
4. Pins. All pins in pin-connected members of all members shall conform to ASTM A36 and ASTM A105 for pins four inches in diameter or less, and to ASTM A668 Class D (Fy = 37,500 PSI) for pins greater than four inches in diameter.

D. WELDING

1. Unless noted otherwise, electrodes for welding shall conform to E7000 (SMAW), E70X-X000 (GMAW), E6700-X (SMAW), or E7XT-X (FCAW).

E. ANCHOR RODS

Unless indicated otherwise in the Column Schedule or on the drawings, anchor rods shall conform to ASTM F1554 Grade 36 and the size shall be 3/4" x and shall extend into the masonry foundation a distance of 7'-0" with a hooks bent at the embedded end. Strike both threads at the embedded end of two plates below thread.

F. GROUT

Grout below structural steel base plates shall be non-metallic, non-shrink grout with a minimum strength of 2000 PSI when bearing on 3000 PSI concrete or less, a strength of 3000 PSI when bearing on concrete between 3000 and 4000 PSI, and, unless noted otherwise on the drawings, a strength of 4000 PSI when bearing on concrete greater than 4000 PSI.

VI. GARAGE CABLE VEHICLE BARRIER - Not Applicable

VII. CONCRETE MASONRY

A. SCOPE

Reinforced concrete masonry shall be used as back-up for exterior brick walls and elsewhere as indicated on the drawings. See architectural wall sections.

B. COMPRESSIVE STRENGTH, Fm, OF REINFORCED MASONRY

Class of Reinforced Masonry	28 Day Compressive Strength, Fm
Single Wythe Grouted Masonry	1500 psi

C. STABILITY AND BRACING OF MASONRY WALLS DURING CONSTRUCTION

All masonry walls shown on the architectural and structural drawings have been designed to resist the required code vertical and lateral forces applied to them in the final constructed configuration only assuming full bracing top, bottom, and/or side shall as shown. It is the responsibility of the Contractor to properly and adequately brace all masonry walls at all stages during construction to resist erection loads and lateral loads that could possibly be applied prior to completion of construction.

VIII. SPECIAL INSPECTIONS

A. The Owner's testing laboratory shall provide special inspection services in accordance with the International Building Code for the following items.
1. Reinforcing Steel Placement
2. Continuous Inspection of Reinforcing Steel Welding
3. Prestressing Tendon Placement
4. Bolts Installed in Concrete
5. Concrete Work
6. Fireproofing
7. Fireproofing Operation
8. Grouting of Bonded Prestressing Tendons
9. Inspection of Structural Steel, Welding, Welding Material
10. Welding of Structural Steel
11. Welding of Reinforcing Steel
12. Auger Cast-In-Place Pile
Refer to Specification Section 014110 for additional information

The following items require special inspection and testing to IBC 1704. The frequency shall be as outlined below:

ITEM	DESCRIPTION (IBC 1704)	IBC TABLE REQUIREMENTS
Concrete	Main concrete frame of structure	1704.4 / Table 5, 6, 7, 8
Bolts installed in concrete	Anchor bolts and headed studs	1704.4 Item 3
Anchors installed in hardened concrete	Installation of mechanical / adhesive anchors to be as per manufacturer's recommendations and the requirements of the ICC-ES report	1704.4 Item 4
Reinforcing steel and prestressing steel tendons	• Grouting & grouting of tendons • Placement of reinforcing steel and pre stressing tendons • Welding of reinforcing steel by butt welding, mechanical splicing or threaded couplers	1704.3 Item 3 1704.3 Item 4, 5 1704.3 Item 9
Special grading, excavation and filling	• Foundation excavations & bearing strata • Backfill behind structural basement walls or supporting slab on grade	1704.7

IX. MISCELLANEOUS

A. CONTRACT DOCUMENTS

1. It is the responsibility of the General Contractor to obtain all contract documents and latest addenda and to submit such documents to all subcontractors and material suppliers prior to the submittal of shop drawings, fabrication of any structural members, and erection in the field.
2. The contract structural drawings and specifications represent the finished structure, and, except where specifically shown, do not indicate the method or means of construction. The Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, procedures, techniques, and sequence.

B. DRAWING CONFLICTS

The General Contractor shall compare the Architectural and Structural drawings and report any discrepancy between each set of drawings and within each set of drawings to the Architect and Engineer prior to the fabrication and installation of any structural members.

C. EXISTING CONDITIONS

The General Contractor shall verify all dimensions and conditions of the existing building at the job site and report any discrepancies from assumed conditions shown on the drawings to the Architect and Engineer prior to the fabrication and erection of any members.

D. RESPONSIBILITY OF THE CONTRACTOR FOR STABILITY OF THE STRUCTURE DURING CONSTRUCTION

All structural elements of the project have been designed by the Structural Engineer to resist the required code vertical and lateral forces that could occur in the final completed structure only. It is the responsibility of the Contractor to provide all required bracing during construction to maintain the stability and safety of all structural elements during the construction process until the lateral load resisting or stability providing system is completely installed and the structure is completely tied together.

E. CONFLICTS IN STRUCTURAL REQUIREMENTS

Where conflict exists among the various parts of the structural contract documents, structural drawings, general notes, and specifications, the strictest requirements, as indicated by the Engineer, shall govern.

F. STABILITY AND BRACING OF MASONRY WALLS DURING CONSTRUCTION

All masonry walls shown on the architectural and structural drawings have been designed to resist the required code vertical and lateral forces applied to them in the final constructed configuration only assuming full bracing top, bottom, and/or side of wall as shown. It is the responsibility of the Contractor to properly and adequately brace all masonry walls at all stages during construction to resist erection loads and lateral loads that could possibly be applied prior to completion of construction.

G. CONTRACTOR SUBSTITUTIONS

Any materials or products submitted for approval that are different from the material or products specified in the structural contract documents will be approved only if the following criteria are satisfied:
1. A cost savings to the Owner is documented and submitted with the request.
2. The material or product has been approved by the International Conference of Building Officials (ICBO) and the ICBO report is submitted with the request.
Substitutes not satisfying the above criteria will not be considered.

H. ELEVATOR GUIDE RAIL SUPPORTS

The General Contractor shall provide intermediate guide rail supports for elevator cab rails and counterweight rails wherever the floor to floor height exceeds 14'-0".

I. THE STRUCTURAL ENGINEER'S ROLE DURING CONSTRUCTION / STRUCTURAL OBSERVATIONS

1. The Engineer shall not have control nor charge of, and shall not be responsible for, construction means, methods, techniques, sequences, or procedures, or safety precautions and programs in connection with the work, for the acts or omission of the Contractor, Subcontractor, or any other person performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
2. Periodic site observations by field representatives is solely for the purpose of becoming generally familiar with the progress and quality of the Work completed and determining, in general, if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in accordance with the structural contract documents. This limited site observation should not be construed as exhaustive or continuous to check the quality or quantity of the work, but rather periodic in an effort to guard the Owner against defects or deficiencies in the work of the Contractor.
3. Structural observation reports shall be issued to the design and construction team members and building officials at all significant construction stages.

J. MAINTENANCE STATEMENT

All structures require periodic maintenance to extend lifespan and to insure structural integrity from exposure to the environment. A planned program of maintenance shall be established by the building owner. This program shall include such items such as but not limited to patching of structural steel, protective coating for concrete, products, caulked joints, expansion joints, control joints, cracks and seams in concrete, and pressure washing of exposed structural elements exposed to a salt environment or other harsh chemicals.

X. SUBMITTALS

A. SUBMITTAL LIST AND SCHEDULE

The General Contractor shall prepare a detailed list and schedule of all submittal items to be sent to the Structural Engineer prior to the start of construction. This list shall be updated and revised and kept current as the job progresses. The submittal list shall be organized as shown below:
1. Shop Drawings
2. Manufacturer's Literature for Products, Assemblies, and Hardware
3. Products, Assemblies and Hardware
4. Product Certifications, NOI Certificates, and Affidavits
5. Design Calculations

B. SHOP DRAWINGS

1. The General Contractor shall submit for Engineer review shop drawings for the following items:
(1) Concrete Mix Designs (*)
(2) Construction joint Locations in Structural Floors, Walls, and Slabs on Grade
(3) Erection (*)
(4) Embedded Items (Plates, Angles, Rods, etc.) or items attached to the structural frame for building cladding attachment or for attachment of other items (*)
(5) Connection Detailing (*,A,*)
(6) Formwork, Shoring, Reshoring (*,B)
(7) Penetrations in floors and beams
(8) Reinforcing Steel
(9) Steel Stairs (*)
(10) Structural Steel, Shop and Erection Drawings (*)
Notes:
(*) Items marked thus shall have shop drawings sealed by a registered engineer in the state where the project is located per the project specifications.
(A) Items marked thus shall be submitted to Engineer for Owner's record only and will not have the Engineer's shop drawing stamp affixed.
(*) Items marked thus shall be submitted to the Owner's Testing Agency for their review.
(*) Items marked thus shall be submitted to the Construction Manager/Owner for their review.
2. All shop drawings must be reviewed and stamped by the General Contractor prior to submittal.
3. Contractor shall submit one set of reproducibles and two sets of prints for all shop drawings specified to be returned by the Engineer.
4. The omission from the shop drawings of any materials required by the Contract Documents to be furnished shall not relieve the Contractor of the responsibility of furnishing and installing such materials, regardless of whether the shop drawing have been reviewed and approved.

C. MANUFACTURER'S LITERATURE

Submit two copies of manufacturer literature for all materials and products used in construction on the project.

D. DESIGN CALCULATIONS

The General Contractor shall submit for Engineer review two sets of design calculations sealed by a registered engineer in the state where the project is located for the following items:
1. Structural Steel Connections
2. Steel Stairs
3. Excavation Protection (B)
4. Formwork, Shoring, Reshoring (B)
Items marked thus (B) shall be submitted for Owner's record only.

E. REPRODUCTION

The use of electronic files or reproductions of these contract documents by any contractor, subcontractor, vendor, fabricator, or material supplier in lieu of preparation of shop drawings signifies their acceptance of all information shown hereon as correct, and obligates themselves to any job expense, real or implied, arising due to any errors that may occur hereon.

I. DRAWING INTERPRETATION

A. STRUCTURAL ABBREVIATIONS

The abbreviations used on the structural drawings are explained on the respective drawings.

B. TYPICAL DETAILS

Details labeled "Typical Details" on the drawings shall apply to all situations occurring on the project that are the same or similar to those specifically detailed. The applicability of the detail to its location on the plans can be determined by the title of the detail. Such details shall apply whether or not they are keyed in at each location. Decisions regarding applicability of Typical Details shall be determined by the Engineer.

C. SYMBOLS AND NOTATIONS

The general and structural symbols used on the structural drawings are explained on the cover sheet drawing S.0.00.

SECTION F (continued)
CONTINUATION OF SECTIONS F1 & F2
WIND & SEISMIC LOADS

WIND LOADS

ULTIMATE DESIGN WIND SPEED Vult	165 MPH
EQUIVALENT ALLOWABLE WIND SPEED Vasd	128 MPH
RISK CATEGORY	II
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT (ENCLOSED)	±0.18
INTERNAL PRESSURE COEFFICIENT (OPEN BLDG)	±0.00

SEE BUILDING'S ROOF UPLIFT PLAN AND WALL WIND LOAD TABLES FOR APPLICABLE PRESSURES

SEISMIC LOADS

SEISMIC IMPORTANCE FACTOR	1.0
SITE CLASS:	D
SPECTRAL RESPONSE ACCEL. Ss	0.825 g
SPECTRAL RESPONSE ACCEL. S1	0.305 g
SPECTRAL RESPONSE COEF. Sds	0.660 g
SPECTRAL RESPONSE COEF. Sd1	0.406 g
SEISMIC DESIGN CATEGORY.	D
BASIC SEISMIC FORCE RESISTING SYSTEM.	
SPECIAL REINFORCED CONCRETE MOMENT FRAMES	
SEISMIC RESPONSE COEFFICIENT. Cs	0.083
RESPONSE MODIFICATION FACTOR. R	8
DESIGN BASE SHEAR. V	0.083W
OVERSTRENGTH FACTOR	3
DEFLECTION AMPLIFICATION FACTOR. Cd	5.5
ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE	

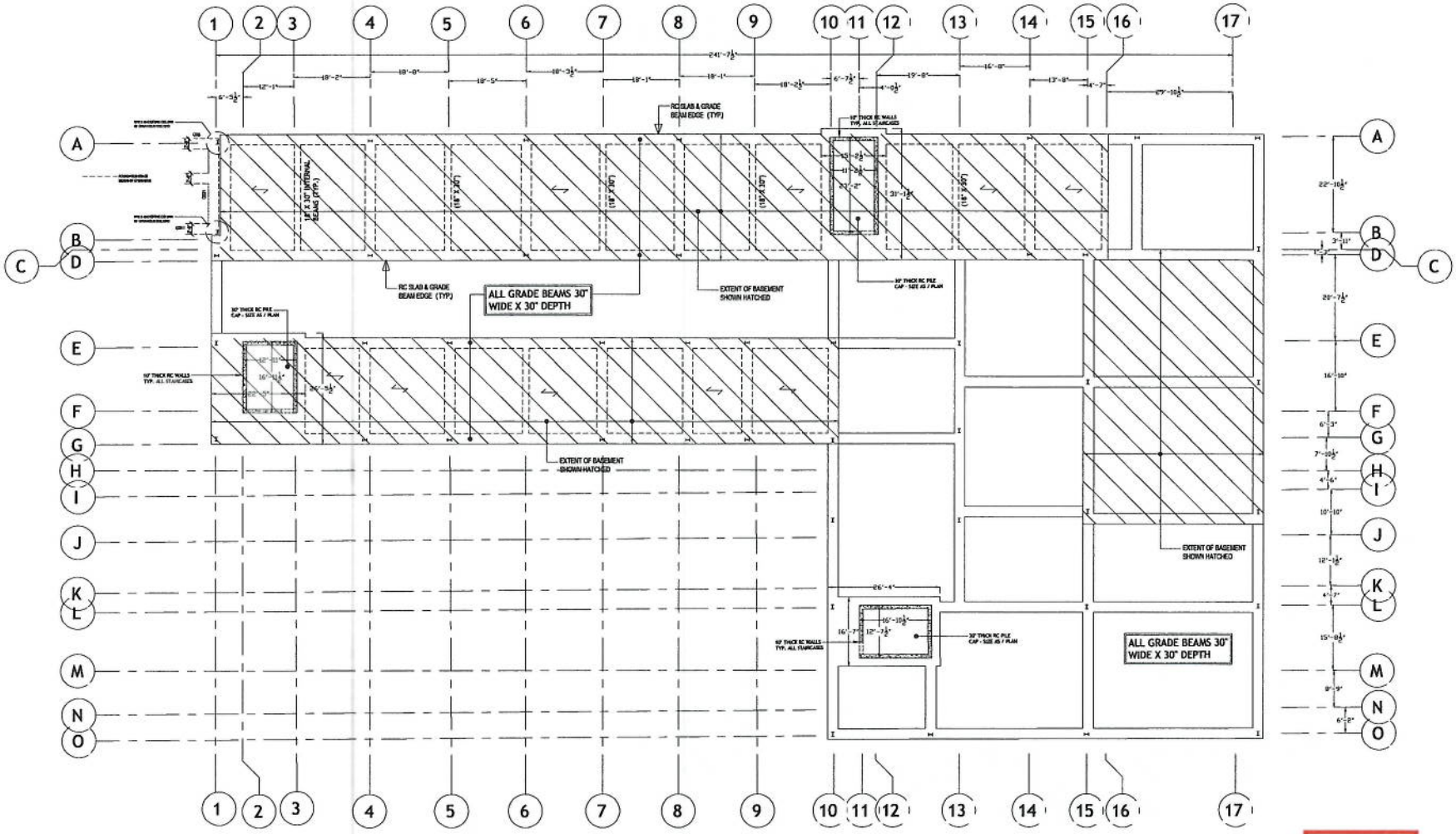
30% COMPLETE

COLACO ENGINEERS

ST CROIX HOTEL
St Croix, USVI

GENERAL NOTES

DWG NO: SK-A0 DT: 05 30 24



BASEMENT LEVEL PLAN

SCALE: 1/4" = 1'-0"

NOTES:
1. T. O. SLAB (-) 8'-1".

STEEL COLUMNS SCHEDULE	
• FOUNDATION TO LEVEL 10.67 (+) 8'-1"	W12
• LEVEL 10 TO ROOF LEVEL	W12

TOP OF GRADE BEAMS (-) 8'-1"

ALL GRADE BEAMS 30" WIDTH X 30" DEPTH

LEGEND

I W12 COLUMN (TYP)

8" THK RC STRUCTURAL SLAB - TO BE CAST ON COMPACTED FILL AS BASE - SLAB SUPPORTED ON GRADE BEAMS

1. ALL STEEL Fy 50 ksi.
2. ALL 60 CAR STUDS @ 0.84 X 8" HEIGHT.
3. ALL COMPOSITE BEAM CONSTRUCTION SHALL BE UNSHORED TYPE.
4. SLAB CONCRETE 3000 psi.
5. GENERAL NOTES REFER DWG S-001.
6. BEAM CAMBERS SHOWN THUS (3/4") .
7. METAL DECKS GRADE 40 & GALVANIZED.

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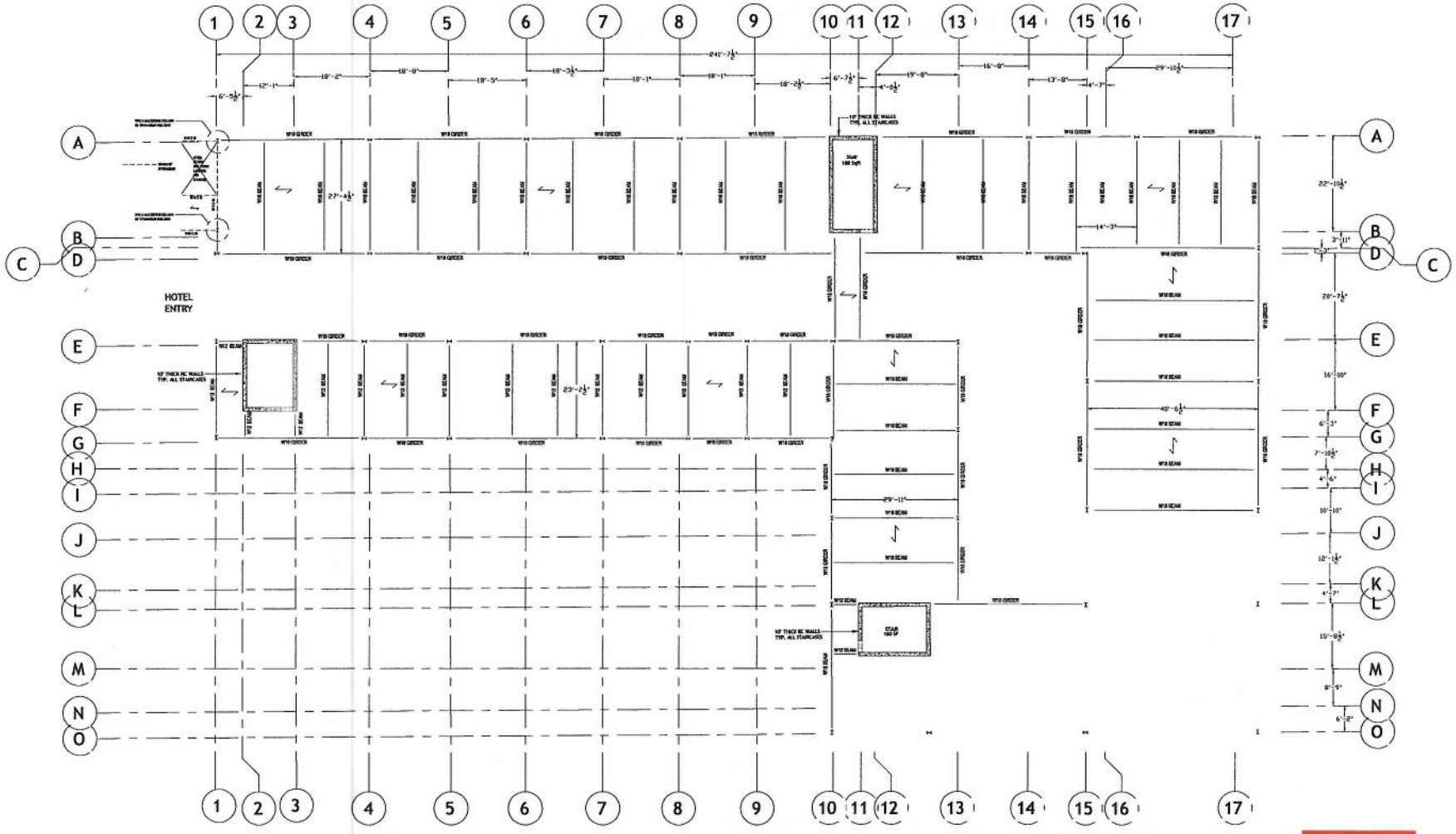
BASEMENT LEVEL PLAN

DWG NO: SK-A1 DT: 05 30 24



FRAMING PLAN LEVEL 01

SCALE: 1/4" = 1'-0"

NOTES:
1. T.O. SLAB (+) 0'-0".

TOP OF SLAB LEVEL (+) 0'-0"

TOP OF GRATING LEVEL (+) 0'-0"

STEEL COLUMN SCHEDULE

+	FOUNDATION TO LEVEL SLAB (+) 0'-0"	W12
+	LEVEL 02 TO ROOF LEVEL	W12

LEGEND

3" DEPTH GALVANIZED GAGE 18 METAL DECK + 4-1/2" THK RC SLAB = TOTAL 7-1/2" SLAB

7-1/2" THK COMPOSITE DECK SLAB DECK GAGE 19- VULCRAFT 3VLJ-36 OR EQUIVALENT

I W12 COLUMN (TYP.)

<45> NUMBER OF SHEAR STUDS / BEAM

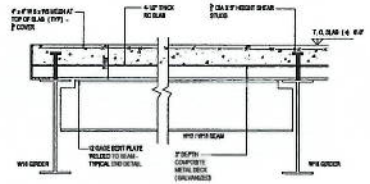
XB1, XB2 X-BRACING WITHIN VERTICAL PLANE

KB1 K-BRACING WITHIN VERTICAL PLANE

(3/4") CAMBER TO BEAMS

W10 X 12 * TOP OF STEEL BEAM SAME AS BEAMS AT GRIDS "11" - "1"

1. ALL STEEL Fy 50 ksi.
2. ALL SHEAR STUDS 3/4" DIA X 3" HEIGHT.
3. ALL COMPOSITE BEAM CONSTRUCTION SHALL BE UNSHORED TYPE.
4. SLAB CONCRETE 3000 psi.
5. GENERAL NOTES REFER DWG S-001.
6. BEAM CAMBERS SHOWN THUS (3/4")
7. METAL DECKS GAGE 18 & GALVANIZED.



TYP. SECTION

SCALE: 3" = 1'-0"

STEEL CONNECTION DETAILS NOT SHOWN FOR CLARITY

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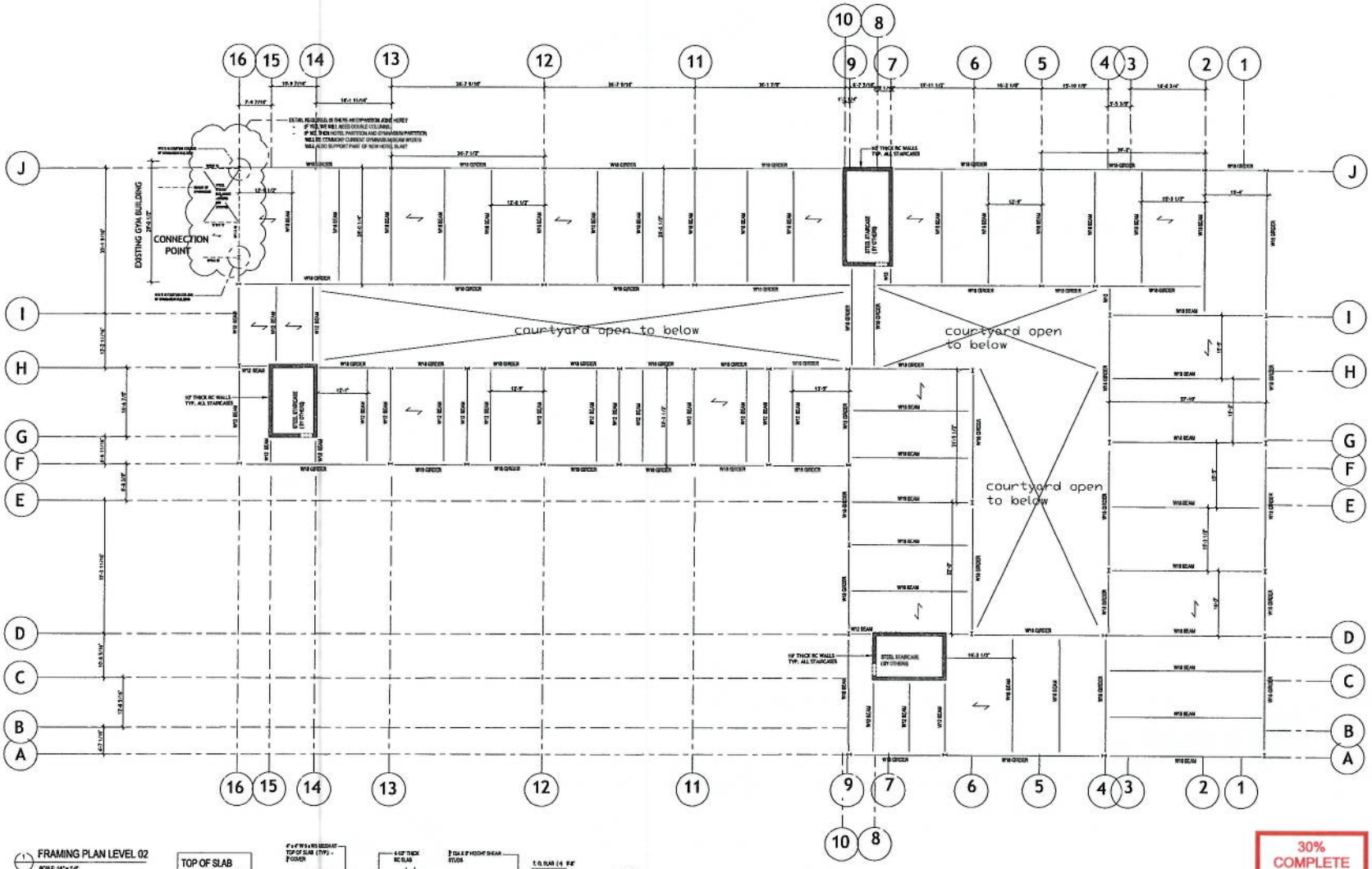
LEVEL 01 PLAN

DWG NO: SK-A2 DT: 05 30 24



1 FRAMING PLAN LEVEL 02

SCALE: 1/4" = 1'-0"

NOTES

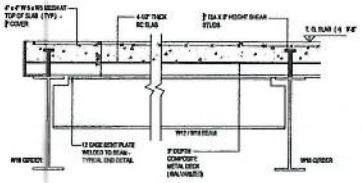
1. T.O. SLAB (+) 9'-8"

STEEL COLUMNS SCHEDULE:

*	FOUNDATION TO LEVEL 02 AT (+) 9'-8"	W12
*	LEVEL 02 TO ROOF LEVEL	W12

TOP OF SLAB LEVEL (+) 9'-8"

TOP OF GRATING LEVEL (+) 9'-8"



2 TYP. SECTION

SCALE: 2" = 1'-0"

STEEL CONNECTION DETAILS NOT SHOWN FOR CLARITY

LEGEND

	3" DEPTH GALVANIZED GAGE 18 METAL DECK + 4-1/2" THK RC SLAB = TOTAL 7-1/2" SLAB 7-1/2" THK COMPOSITE DECK SLAB DECK GAGE 18 - VULCRAFT SM. JOB OR EQUIVALENT	XB1, XB2	X-BRACING WITHIN VERTICAL PLANE
		KB1	K-BRACING WITHIN VERTICAL PLANE
		(3/4")	CAMBER TO BEAMS
I	W12 COLUMN (TYP.)	W10 X 12"	TOP OF STEEL BEAM SAME AS BEAMS AT GRIDS "11"-"1"
<45>	NUMBER OF SHEAR STUDS / BEAM		

1. ALL STEEL Fy 50 ksi.
2. ALL SHEAR STUDS 3" DIA X 8" HEIGHT.
3. ALL COMPOSITE BEAM CONSTRUCTION SHALL BE UNSHORED TYPE.
4. SLAB CONCRETE: 3000 psi.
5. GENERAL NOTES REFER ONCE 0 SHT.
6. BEAM CAMBERS SHOWN THUS: (3/4").
7. METAL DECKS GAGE 18 & GALVANIZED.

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ST CROIX HOTEL
St Croix, USVI

LEVEL 02 PLAN

DWG NO: SK-A3 DT: 05 30 24

MAP SCALE 1" = 500'

250 0 500 1000 FEET

0 0 150 300 METERS

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0072G

FIRM

FLOOD INSURANCE RATE MAP

U.S. VIRGIN ISLANDS

PANEL 72 OF 94

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
U.S. VIRGIN ISLANDS	780000	0072	G

- NOTE -

THIS MAP INCLUDES COASTAL BARRIER RESOURCES SYSTEM BOUNDARIES ESTABLISHED UNDER THE COASTAL BARRIER RESOURCES ACT OF 1982 AND/OR SUBSEQUENT LEGISLATION.

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
7800000072G

MAP REVISED
APRIL 16, 2007

Federal Emergency Management Agency

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at https://msc.fema.gov.