

GOVERNMENT OF THE VIRGIN ISLANDS OF THE UNITED STATES
DEPARTMENT OF PLANNING AND NATURAL RESOURCES
DEVELOPMENT PERMIT APPLICATION

FORM L&WD-4
MAJOR PROJECT SUMMARY DATA

Section I. Applicant

1. Name, address and telephone number of applicant:
TotalEnergies Marketing Puerto Rico Corp. Phone: 787-397-8560
PO Box 362916 Email: anthony.sisco@totalenergies.com
San Juan PR 00936-2916 Contact: Anthony J. Sisco
2. Name, address and telephone number of owner of Property and of developer:
Virgin Islands Port Authority Phone: (340) 774-1629
PO Box 301707
St Thomas, USVI 00802

Section II. Summary of Proposed Development

3. Describe the proposed development
Please refer to document titled "Scope of Works Summary for Repair and Maintenance
of the Airport Fuel Terminal located at the Cyril E. King Airport."

Section III. Description of Proposed Development

4. Name of development TotalEnergies Fuel Terminal
5. Plot No. 70Y Lindbergh Bay, Southside Quarter 4A
6. Zoning District: Public (P)
7. PWD Map No. D3-405-T86
8. Proposed use (residential, etc. as listed in Zoning Law):
Airplane and Aircraft Services (fuel sales)
9. Accessory use if any N/A

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MAJOR PROJECT SUMMARY DATA Cont'd

10. Area of Lot(s) (acreage) 1.8 Acres
-
-
-
11. Area covered by existing buildings (sq. ft.) 5833
12. Area covered by proposed buildings (sq. ft.) 5833
13. Floor area total 25035 sq ft
14. Floor area ratio (B-1, B-2 zones only) N/A
15. Number of buildings 7
16. Number of units total N/A
- | | Person | Persons | |
|------------------------|-------------------------------------|---------|------------|
| 17. Schedule of units: | Efficiencies _____ x 1.5 Unit _____ | - | <u>N/A</u> |
| | 1 bedroom _____ x 2 _____ | - | <u>N/A</u> |
| | 2 bedroom _____ x 3 _____ | - | <u>N/A</u> |
| | 3 bedroom _____ x 4 _____ | - | <u>N/A</u> |
| | Other _____ x _____ | - | <u>N/A</u> |
| | Total Persons _____ | | |
18. Number of on-site parking and loading spaces Existing facilities (See Survey)
19. Maximum building height (stories/ft) 20' height, 2 Stories
20. Adjoining property land use(s) Airport
-
-
-
21. Setback of building from street property line (ft.) see survey
22. Side yard setback (ft.) see survey
23. Rear yard setback (ft.) see survey
24. Density (person/acre) 8
25. Area of usable open space (sq. ft. % of lot) 51761 sq ft, 66%

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MAJOR PROJECT SUMMARY DATA Cont'd

Section IV. Comments

26. Proposed Potable Water Supply (method & quality estimate gal/day)

Existing Facility, On Site Water Tanks 250 gls/day avg.

27. Proposed Sewage Treatment (method & quality estimate gal/day)

Existing sewer discharge, 350 gls/day avg

28. Proposed Solid Waste Disposal (method & quality estimate lbs/day)

Existing Facility, 80 lbs/day avg.

29. Proposed Electrical Supply (method & demand estimate KWH for single & 3 phase)

Existing Facility (3-phase, 190 kWh/day avg.)

30. Air Conditioning (method & demand estimate (KWH)

Inverter type split units 2 @ 36,000 btu each, 85 kWh

31. Other Utilities none

32. Other N/A

Section V.

33. Will the development extend onto or adjoin any beach tidelands, submerged lands or public trust lands?

Improvements associated with the project are situated on filled submerged lands. Both repair and maintenance of the existing improvements and modifications of the terminal facility, will take place on filled submerged lands. No proposed modifications and only continued use of any existing improvements on submerged lands.

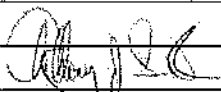
34. Will the development maintain, enhance or conflict with public access to the shoreline and along the coast?
No modifications to existing improvements

35. Will the development protect or provide moderate income housing opportunities?
Will it displace moderate income housing?

No.

36. How will the development affect traffic on the coastal access roads?

N/A



Signature of owner or authorized agent

6/6/2025

Date