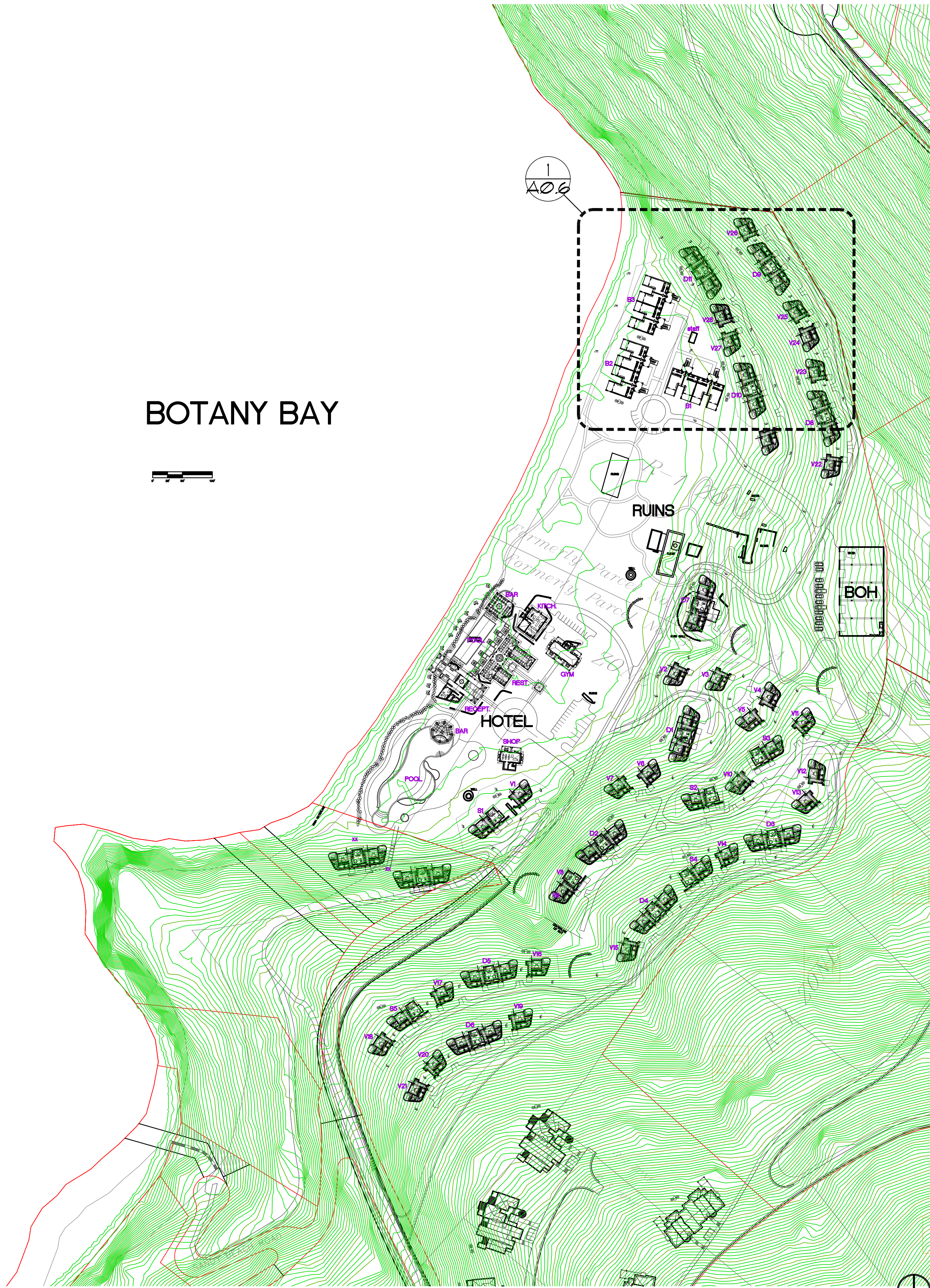


SANDY BAY

BOTANY BAY



SITE NOTES:

- Contractor shall visit the site to verify plan and existing dimensions and conditions and shall notify the Architect and/or Engineer, in writing, of discrepancies before proceeding with the work. Contractor accepts responsibility for information reasonably inferred from site visit and from information provided.
- Notify Planning and Natural Resources within 48 hours of commencement of work.
- Provide signage visible and accessible from road with estate parcel number and all required permit information.
- Erosion control shall be implemented as required by local authorities. During construction, provide siltation fence or brush berm at all excavated areas.
- Site disturbance shall be limited as close as possible to the area of construction. Natural slope shall be retained as such as possible.
- Trees shall be retained where possible and protected from damage of construction processes and machines during construction. Where tree removal is required, stumps shall be removed.
- Maintain 3% minimum slope away from building for at least five (5) feet from the perimeter. Natural drainage shall not be concentrated or diverted onto adjacent property or public right of way.
- The top of the septic tank shall be located at a lower elevation than the bottom of the cisterns.
- Retaining walls shall be erected where shown or as required. They shall be constructed of reinforced concrete, reinforced concrete masonry, or stone and to a height required for retention.
- New exterior walks, patios, driveways, etc., shall be constructed on a minimum of 4" of compacted, non-expansive soil.
- Soil beneath slabs and of perimeter or foundations shall be treated for termites before placing concrete. Soil and perimeter shall be treated at completion of work. An approved termite exterminator shall poison the ground in accordance with the Building Research Advisory Board report and provide a five (5) year warranty of its work, covering repair and replacement of termite damage.
- Low maintenance ground cover such as *Wedelia* or *Goats Foot* shall be planted on all cut/fill slopes and other disturbed grades as final grades are established within three (3) months of construction.
- Footing design is based on the following conditions:
SOIL BEARING CAPACITY: Minimum assumed 3000 psf, this value is to be verified in the field prior to pouring footings by the Structural Engineer.
SOILS: Footings, foundations walls & slabs shall not be placed on or in marine clay, peat or other organic materials.
- All footings shall project at least 1'-0" into undisturbed natural soil or compacted structural fill. Where required, step footings in a ratio of 2 horizontal to 1 vertical.
- Compact backfill below building slabs and footings. Soil fill material must be approved by the Structural Engineer prior to placement. Material to be free from organic material, concrete, asphalt, or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of refuse or organic materials. Prohibit subgrade removing soft or compressive materials. Fill material shall be placed in layers not to exceed 8" and compacted to minimum 95% of the dry maximum density as determined by ASTM D698.
- Footing excavations shall be inspected by the building official prior to pouring concrete.
- Provide 4" minimum porous pipe at exterior side of all exterior footings at basement walls. Tile to be set on 2" gravel bed with 6-8" gravel cover and should drain to daylight. Install filter fabric around gravel and drain tile.
- Provide free draining, granular backfill with a maximum equivalent fluid pressure $= 30\text{ pcf}$ per foot of depth against basement & retaining walls. If back-fill pressure exceeds 30 pcf then wall must be designed for actual pressures by the Structural Engineer.
- Five grading around new construction shall be included in the contract for construction. Save and store topsoil in a manner as to provide it and prevent its loss through runoff. Topsoil shall be placed in an approved manner. Bringing soil to or removing soil from the site as needed is considered the responsibility of the General Contractor and to be included in this Contract.
- Elevations on the drawings are referenced to the benchmark on the site plan.
- During the initial excavation of the site, the Architect is to be on site to assist in the placement of large boulders for future decorative use. During the excavation for foundations, the structural engineer is to be present to inspect soil. It is understood that the engineer will adjust the structure as necessary. Construction of the foundation will not begin without permission from the Structural Engineer.

GENERAL NOTES:

- ALL CONSTRUCTION, INCLUDING MATERIALS AND WORKMANSHIP, SHALL COMPLY TO ALL APPLICABLE GOVERNING CODES AND REGULATIONS.
- THE OWNER SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS PRIOR TO STARTING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM THE DRAWINGS.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS CONTAINED IN THE DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER. A SOLUTION IS TO BE AGREED UPON BEFORE PROCEEDING WITH THE WORK.
- IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE SIMILAR WORK ON THE PROJECT.
- ELEVATIONS ON THE DRAWINGS ARE REFERENCED TO THE SITE PLAN.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH THE APPROPRIATE TYPE OF CAULK OR SEALANT.

PROJECT TEAM:

PROJECT APPLICANT: BAREFOOT DESIGN GROUP, LLC
P.O. BOX 1172
ST. JOHN, USVI 00831
TEL: (340) 693-1665, FAX: (340) 693-8411

PROJECT OWNER: BY-THE-SEA RESORT PROPERTIES, LLC
2603 Oak Lawn Ave, Suite 300
Dallas, TX 75219
TEL: / -

PROJECT ARCHITECT: BAREFOOT DESIGN GROUP, LLC
P.O. BOX 1172
ST. JOHN, USVI 00831
TEL: (340) 693-1665, FAX: (340) 693-8411

STRUCTURAL ENGINEER: TOTAL ENGINEERING LTD.
PO BOX 3881 SEA COUS BAY
TORTOLA, BVI
TEL: (284) 494-2981, FAX: (284) 494-0715

SURVEYOR: BRIAN MOSELEY A 4660C, INC.
P.O. BOX 1110
ST. THOMAS, USVI 00003
(O) 340-115-6551

SITE INFORMATION:

FLLOT: PARCEL NO. 1
ESTATE: EST. BOTANY BAY
ISLAND: ST. THOMAS, USVI.
ZONING: R-1, RESIDENTIAL (VARIANCE)
PROPOSED USE: HOTEL - MAJOR CZT-05-06(L)
AREA OF LOT: 30.8 ACRES (1341648 SF)
PROPOSED FLOOR AREA: SEE CHART
FOOT PRINT: (INCL. VERANDAS, POOL, ROOF): SEE CHART
FLOOR AREA RATIO (FAR): SEE CHART
NUMBER OF ON-SITE PARKING SPACES: SEE CHART
SET BACK FROM STREET PROPERTY LINES: 15'-0" MIN, SEE SITE PLAN
SET BACK FROM SIDE PROPERTY LINES: 15'-0" MIN, SEE SITE PLAN
SET BACK FROM REAR PROPERTY LINE: 15'-0" MIN, SEE SITE PLAN

BUILDING TABULATIONS (per individual unit):

VILLA AREA:	INTERIOR SPACE *	113,500 SF.	
CISTERNs *		26,550 SF.	
EQUIPMENT / STORAGE ROOMS *		98,500 SF.	
UNCOVERED EXTERIOR VERANDAS *		28,050 SF.	
ROOF *		96,400 SF.	
SUITE AREA *			
INTERIOR SPACE *	123,000 SF.		
CISTERNs *		59,850 SF.	
EQUIPMENT / STORAGE ROOMS *		115,500 SF.	
UNCOVERED EXTERIOR VERANDAS *		28,050 SF.	
ROOF *		16,480 SF.	
DUPLEX AREA *			
INTERIOR SPACE *	192,150 SF.		
CISTERNs *		89,150 SF.	
EQUIPMENT / STORAGE ROOMS *		231,000 SF.	
UNCOVERED EXTERIOR VERANDAS *		50,000 SF.	
ROOF *		256,800 SF.	
BEACH BLOCK AREA *			
INTERIOR SPACE *	125,000 SF.		
CISTERNs *		42,150 SF.	
EQUIPMENT / STORAGE ROOMS *		0,000 SF.	
UNCOVERED EXTERIOR VERANDAS *		0,000 SF.	
ROOF *		92,650 SF.	
TOTAL HABITABLE (INTERIOR) AREA *		3,871,000 SF.	

CISTERN REQUIREMENTS:

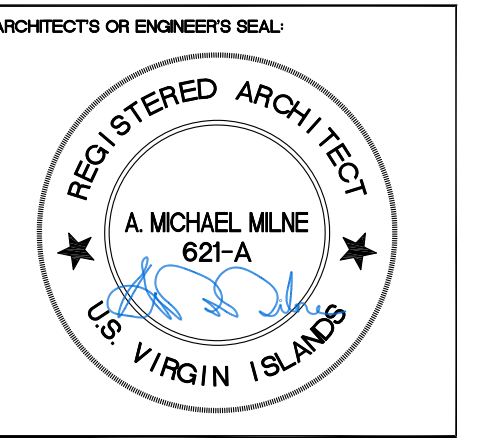
BEACH BLOCK #1 ROOF AREA (TWO STORY) *	125,000 SF.	10,875.0 GAL.
125,000 SF. x 15 GAL. / SF.		
BEACH BLOCK #1 ROOF AREA (TWO STORY) *	125,000 SF.	10,875.0 GAL.
125,000 SF. x 15 GAL. / SF.		
BEACH BLOCK #1 ROOF AREA (TWO STORY) *	125,000 SF.	10,875.0 GAL.
125,000 SF. x 15 GAL. / SF.		
BEACH BLOCK #1 ROOF AREA (TWO STORY) *	125,000 SF.	10,875.0 GAL.
125,000 SF. x 15 GAL. / SF.		
TOTAL CISTERN REQUIREMENTS *		43,500.0 GAL.

CISTERN CAPACITY:

BEACH BLOCK CISTERN #1 *	23'-4" x 16'-0" x 4'-0" = 1,493.0 CF. x 15 GAL. / CF. =	11,984 GAL.
BEACH BLOCK CISTERN #2 *	23'-4" x 16'-0" x 3'-6" = 1,306.5 CF. x 15 GAL. / CF. =	11,984 GAL.
BEACH BLOCK CISTERN #3 *	23'-4" x 16'-0" x 3'-6" = 1,306.5 CF. x 15 GAL. / CF. =	11,984 GAL.
BEACH BLOCK CISTERN #4 *	23'-4" x 16'-0" x 3'-6" = 1,306.5 CF. x 15 GAL. / CF. =	11,984 GAL.
FRESH WATER CISTERN CAPACITY PER BLOCK *		44,193.6 GAL.
TOTAL FRESH WATER CISTERN CAPACITY (3 BLOCKS) *		134,380.8 GAL.

TOTAL UNIT COUNTS:

DESCRIPTION	PER TYPE	TOTAL
VILLAS *		
QUANTITY	1	28
FLOOR AREA	714 SF.	19,918 SF.
CISTERN REQUIREMENT	7,135 GAL.	199,780 GAL.
CISTERN CAPACITY	8,955 GAL.	250,740 GAL.
SUITE *		
QUANTITY	1	5
FLOOR AREA	1230 SF.	6,150 SF.
CISTERN REQUIREMENT	12,300 GAL.	61,500 GAL.
CISTERN CAPACITY	17,190 GAL.	85,950 GAL.
DUPLEX *		
QUANTITY	1	10
FLOOR AREA	1928 SF.	19,275 SF.
CISTERN REQUIREMENT	19,275 GAL.	192,750 GAL.
CISTERN CAPACITY	26,865 GAL.	268,650 GAL.
BEACH BLOCKs *		
QUANTITY	1	3
FLOOR AREA	5,800 SF.	17,400 SF.
CISTERN REQUIREMENT	43,500 GAL.	130,500 GAL.
CISTERN CAPACITY	44,794 GAL.	134,381 GAL.
TOTAL FLOOR AREA		62,003 SF.
TOTAL CISTERN REQUIREMENT		584,530 GAL.
TOTAL CISTERN CAPACITY		743,321 GAL.



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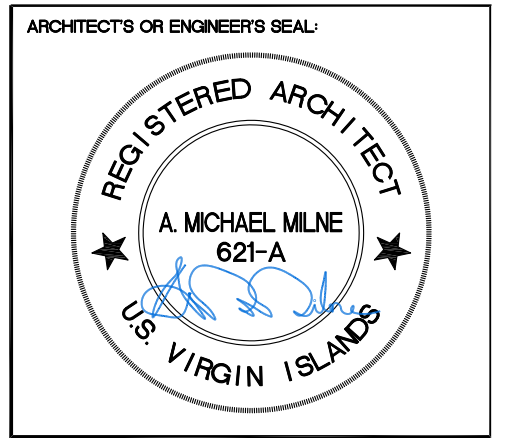
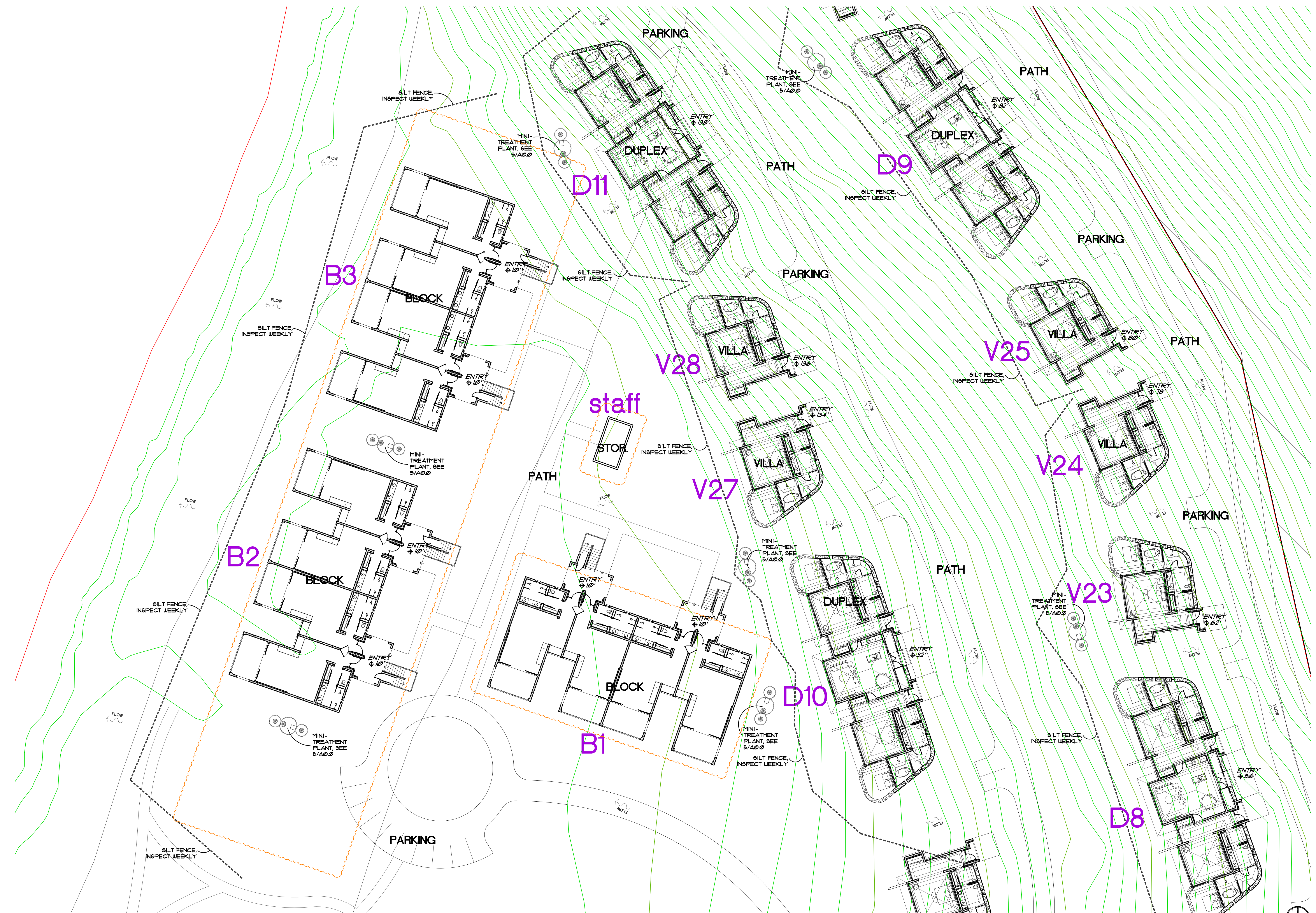
Botany Bay Hotel - Rooms
Parcel 7 Estate Botany Bay, St Thomas, United States Virgin Islands

Barefoot Design Group, LLC
P.O. box 1772 mongoose junction st. john usvi 00831 (340) 693-7665

NO.	DATE	ITEM
1	6/11/25	BLDG Permits - beach room
2	8/11/22	Requested Changes
3	11/6/20	BLDG Permits Amendment
4	11/6/20	Construction Set
5	9/30/20	Building Permit Set
6	7/20/20	CZT Permit Set
7	9/10/19	Owner's Review

PROJECT DATA
SITE PLAN and
DETAILS

SHEET #
A0.0



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Botany Bay Hotel - Rooms

Parcel 7 Estate Botany Bay, St Thomas, United States Virgin Islands

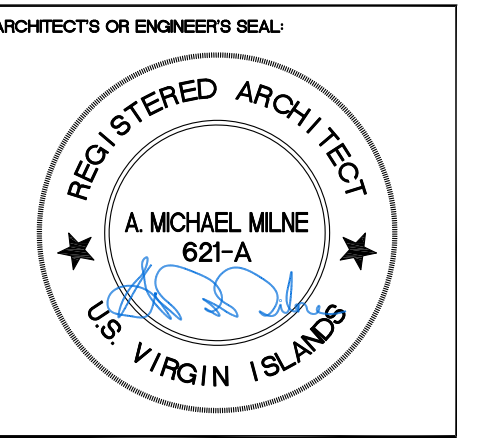
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5	9/30/20	Building Permit Set
6	7/22/20	22nd Permits Set
7	9/10/19	Owner's Review

DRAWING TITLE
DETAIL SITE PLAN

SHEET #
A0.6

1 PROPOSED DETAIL SITE PLAN
A06
SCALE: 1" = 16'-0"



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Botany Bay Hotel - Rooms

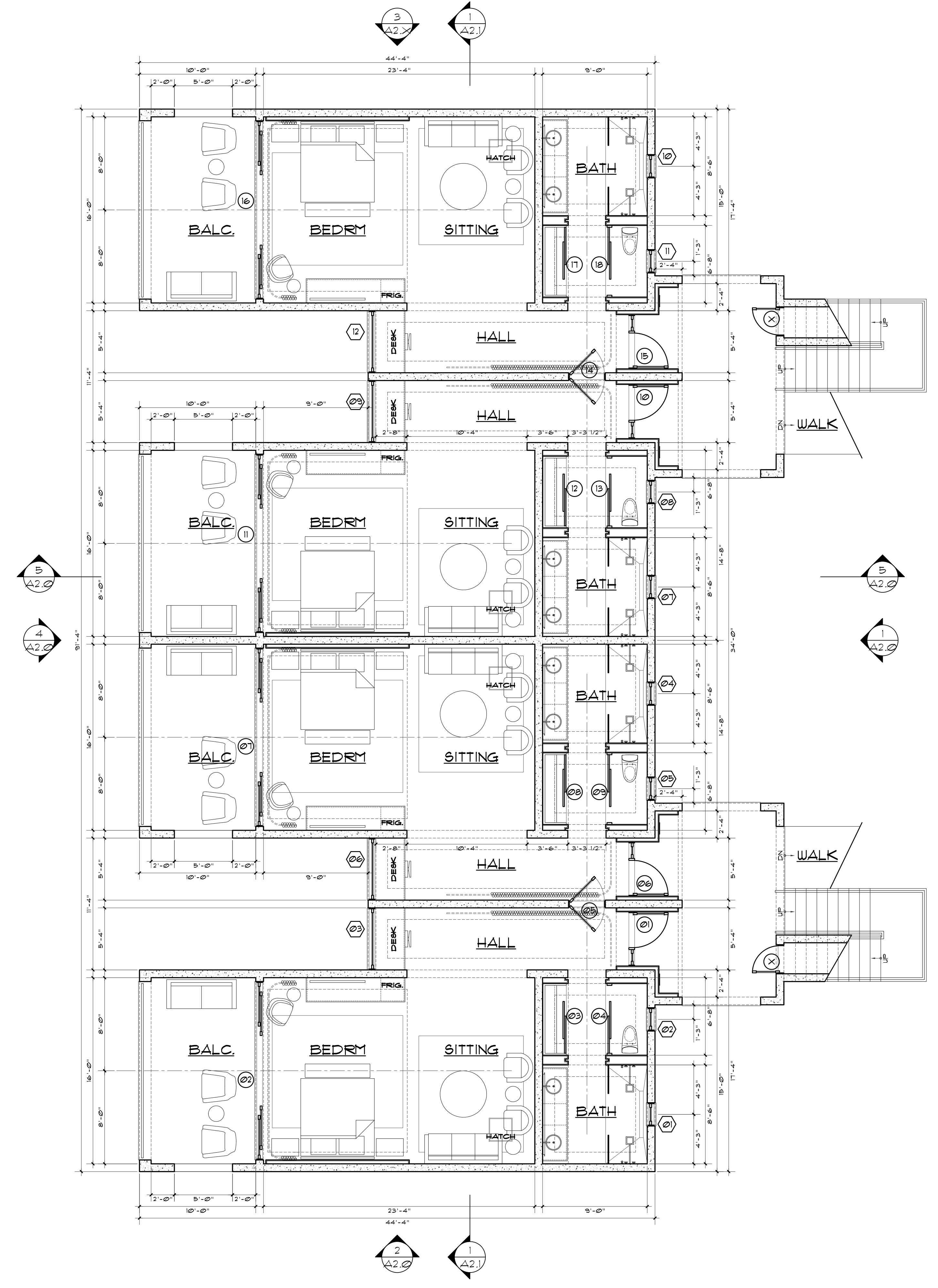
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P.O. box 1772 mongoose junction st. john usvi 00831 (340) 693-7665

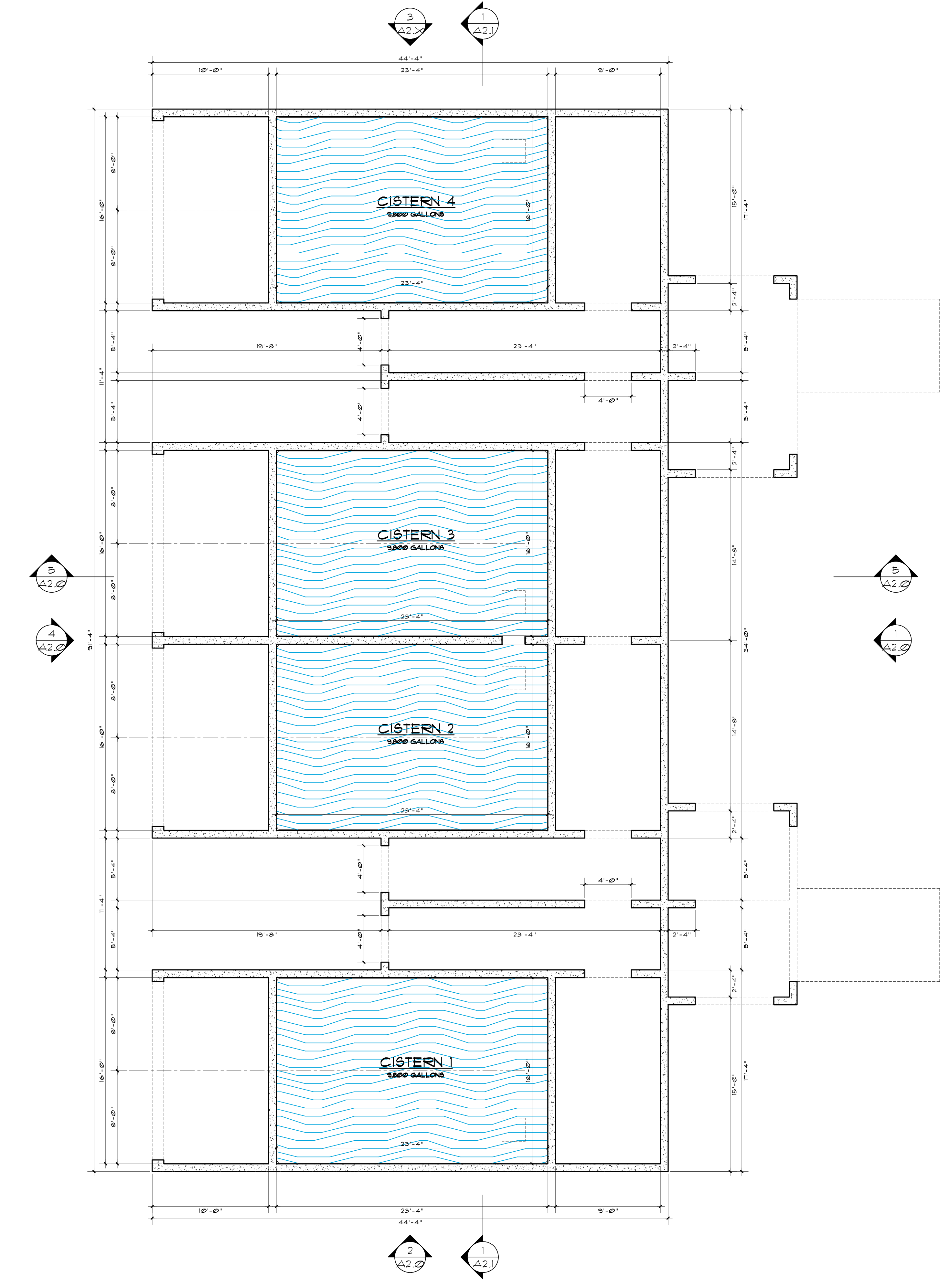
NO.	DATE	ITEM
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2	8/11/22	Requested Changes
3	11/26/21	BLDG Permits Amendment
4	11/16/20	Construction Set
5	9/30/20	Building Permit Set
6	7/20/20	C221 Permit Set
7	9/10/19	Owner's Review

DRAWING TITLE
**BEACH
CISTERN and
MAIN LEVEL
FLOOR PLANS**

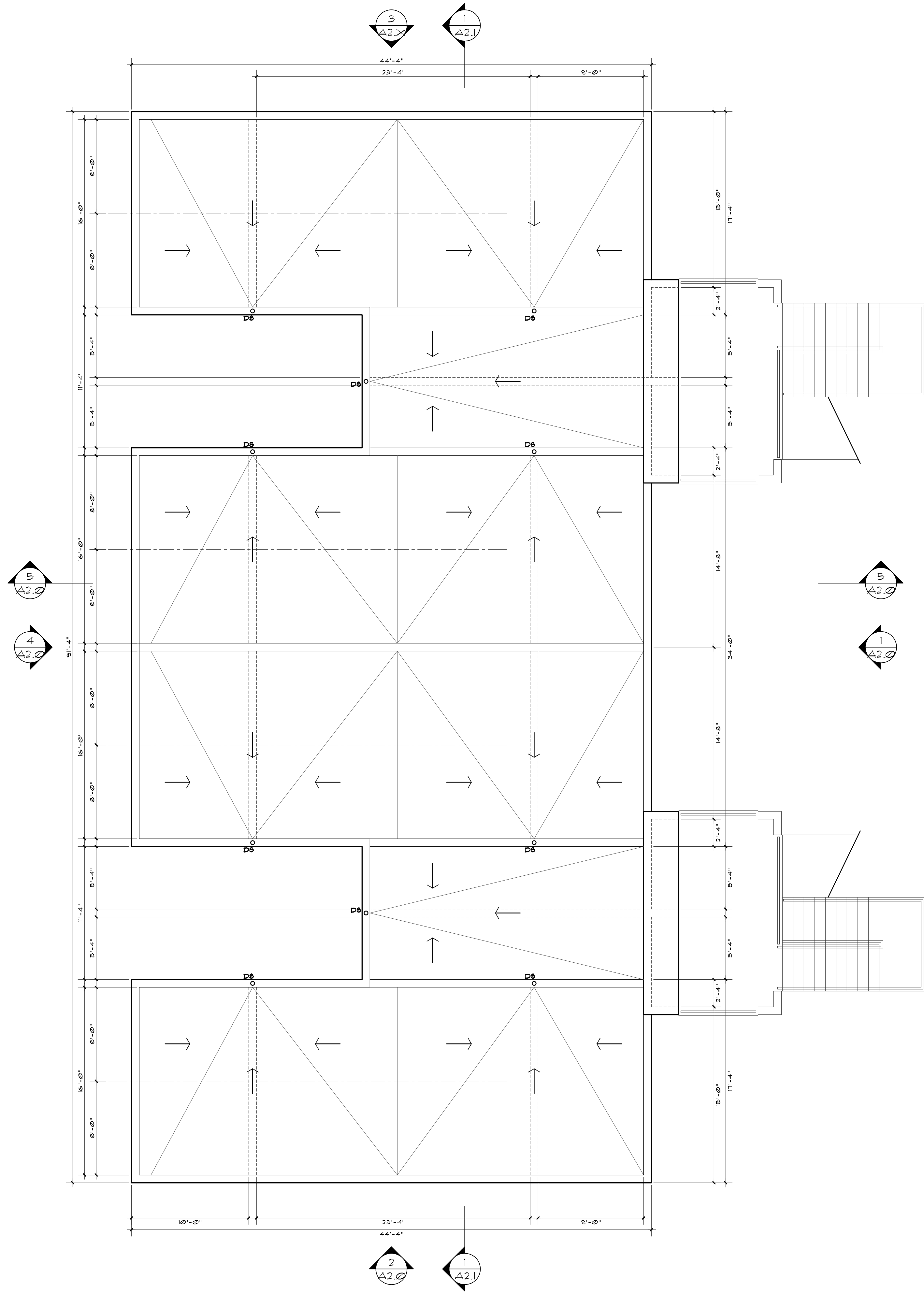
SHEET #
A1.6



2
A1.6
MAIN FLOOR PLAN - BEACH ROOMS
SCALE: 3/16" = 1'-0"

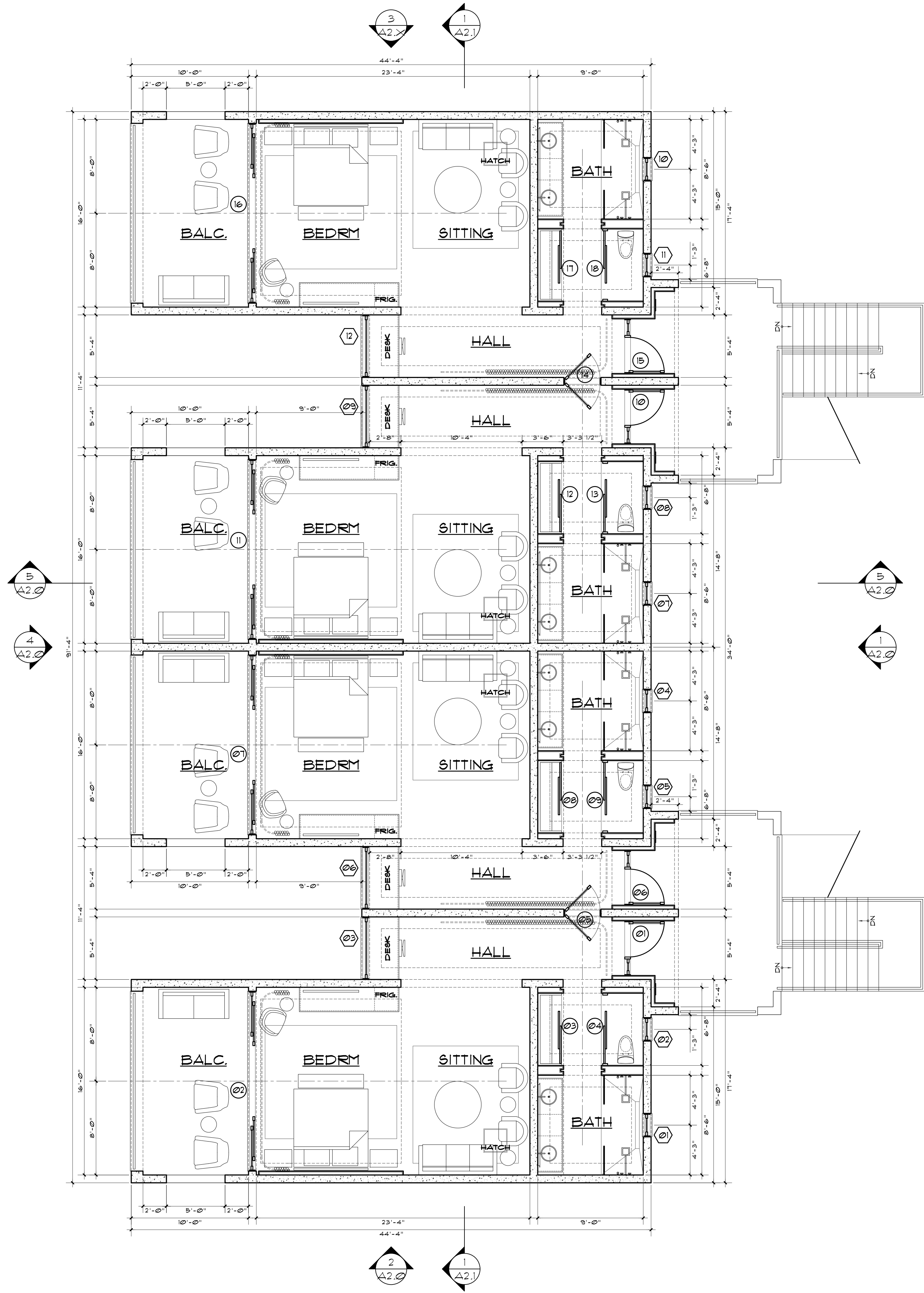


1
A1.6
LOWER FLOOR PLAN - BEACH ROOMS
SCALE: 3/16" = 1'-0"



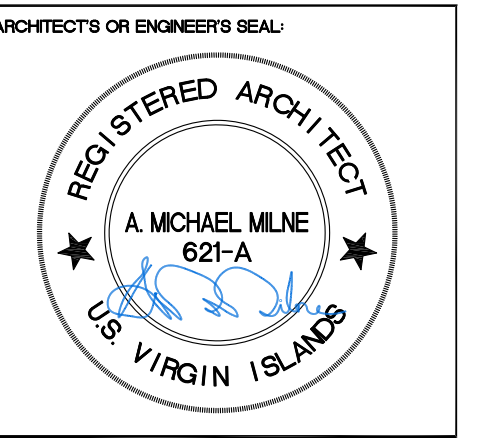
2 ROOF PLAN - BEACH ROOMS

SCALE: 3/16" = 1'-0"



1 UPPER FLOOR PLAN - BEACH ROOMS

SCALE: 3/16" = 1'-0"



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Botany Bay Hotel - Rooms

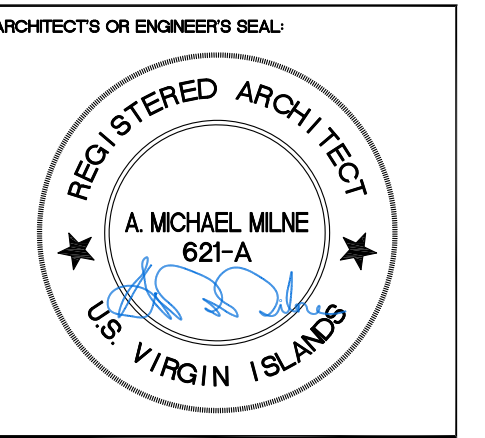
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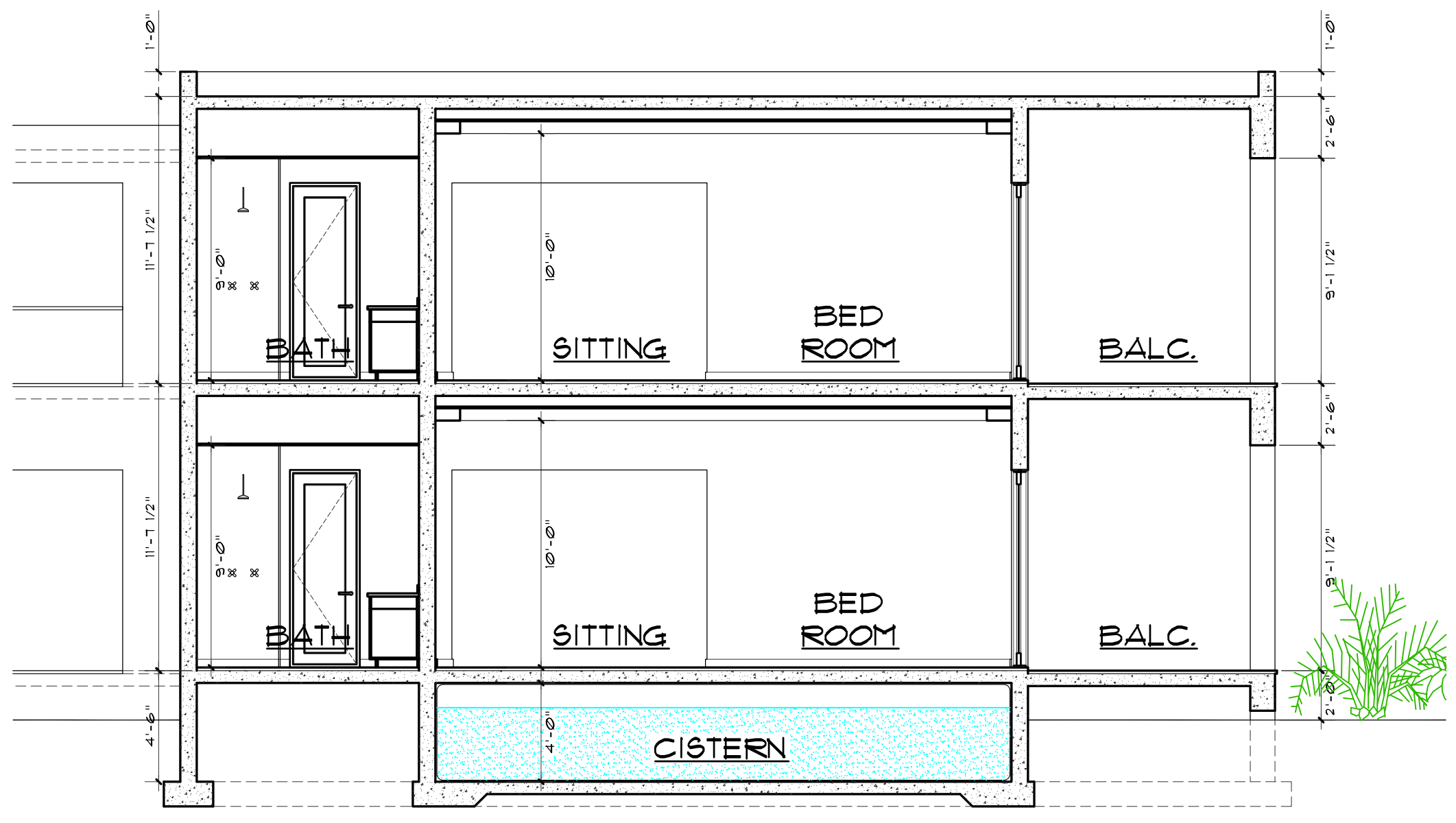
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6	7/29/20	CPZ Permit Set
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DRAWING TITLE
BEACH UPPER and ROOF PLANS

SHEET #
A1.7

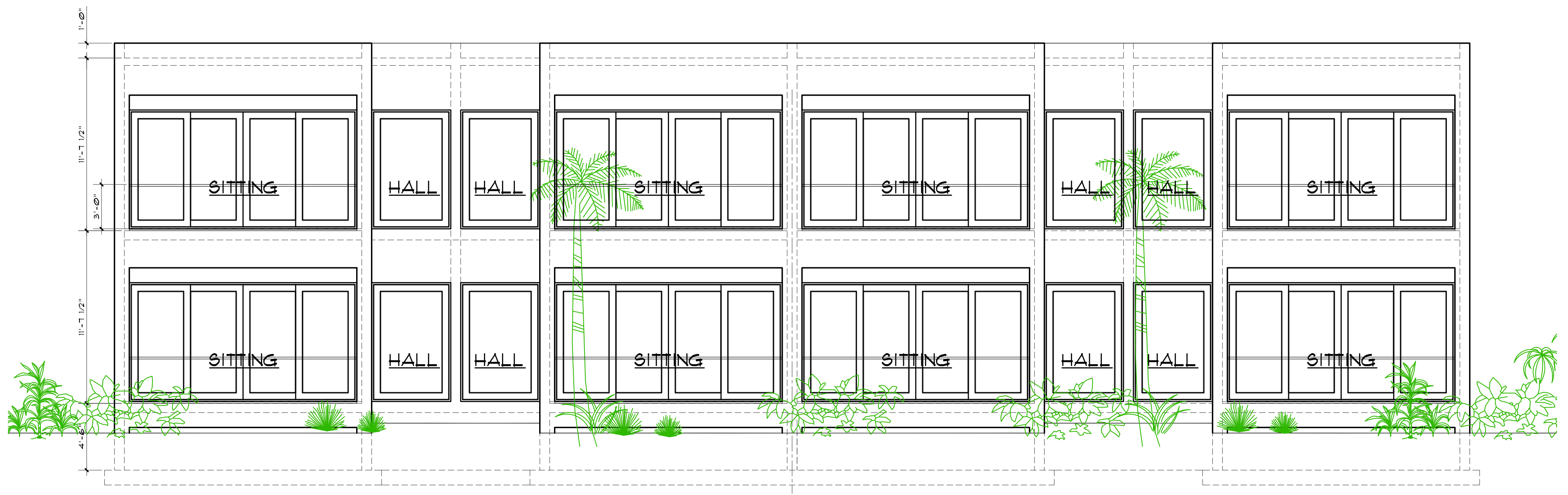


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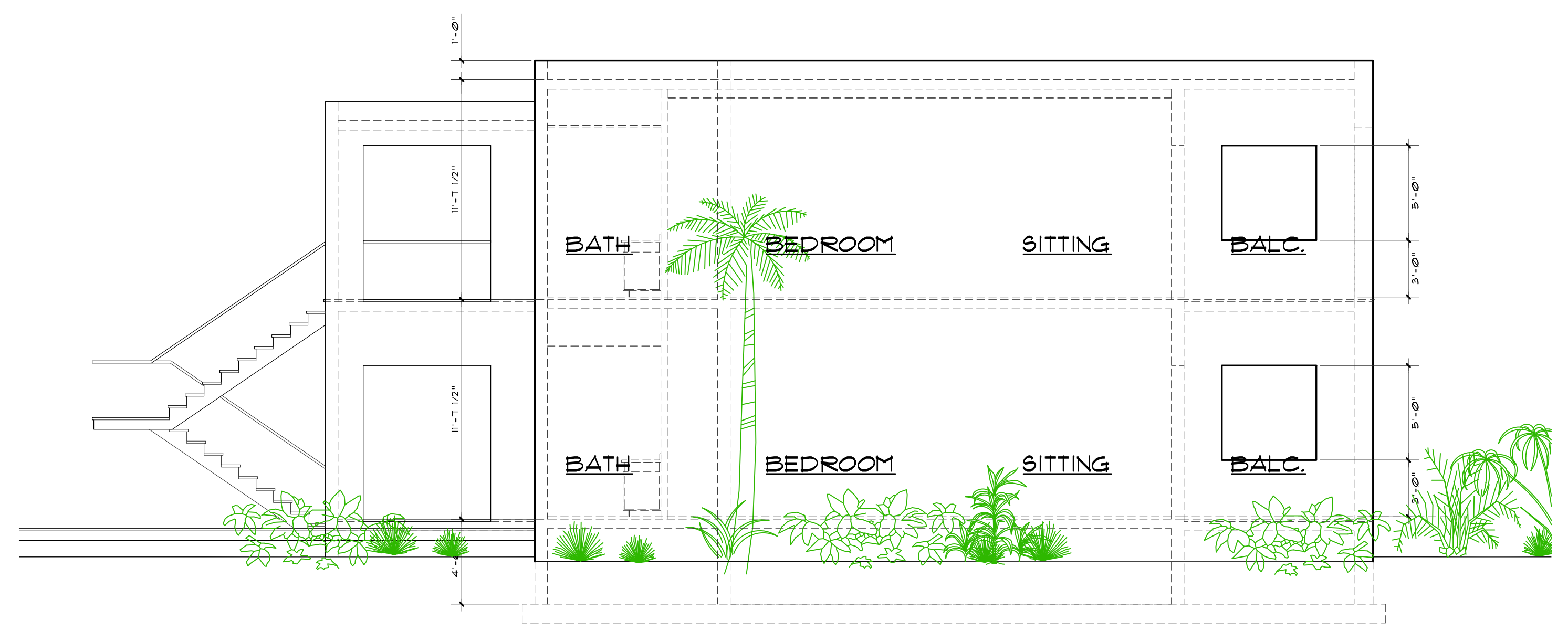
5 TYPICAL SECTION - BEACH

A2.5
SCALE: 3/16" = 1'-0"



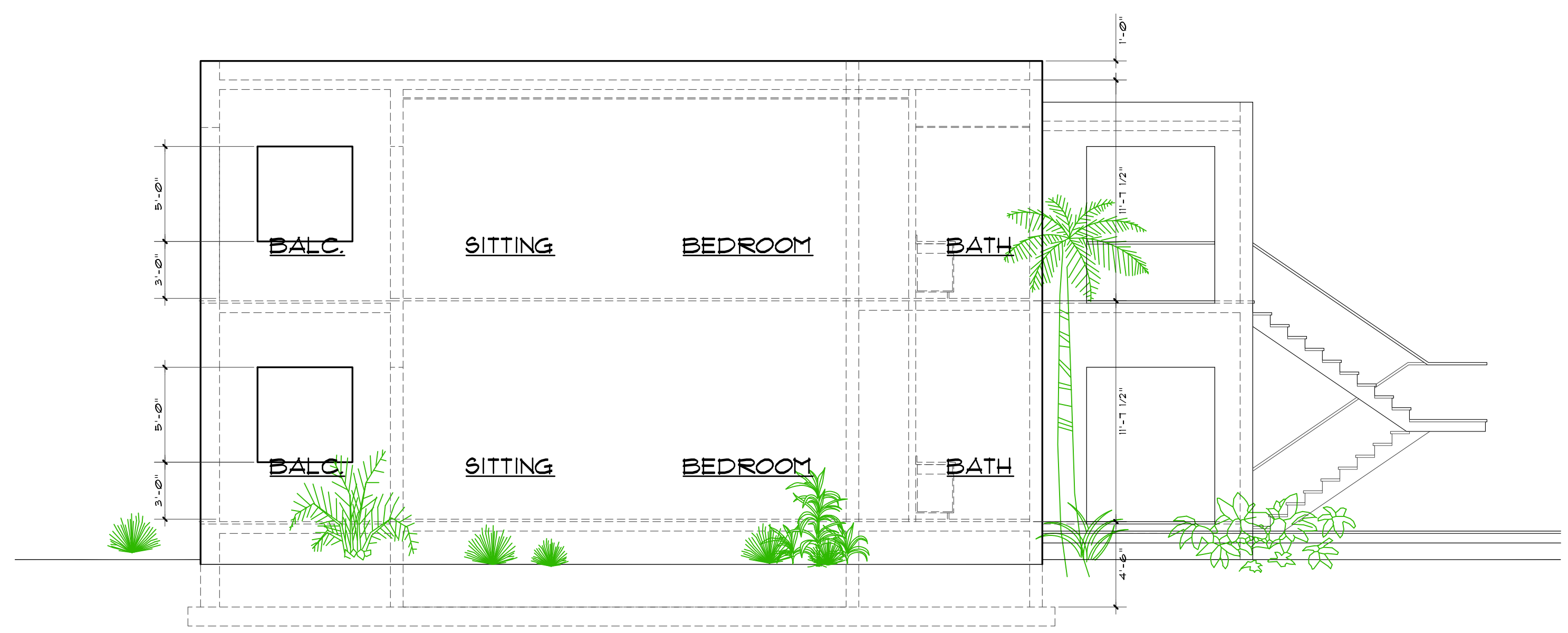
4 EXTERIOR ELEVATION - BEACH

A2.5
SCALE: 3/16" = 1'-0"



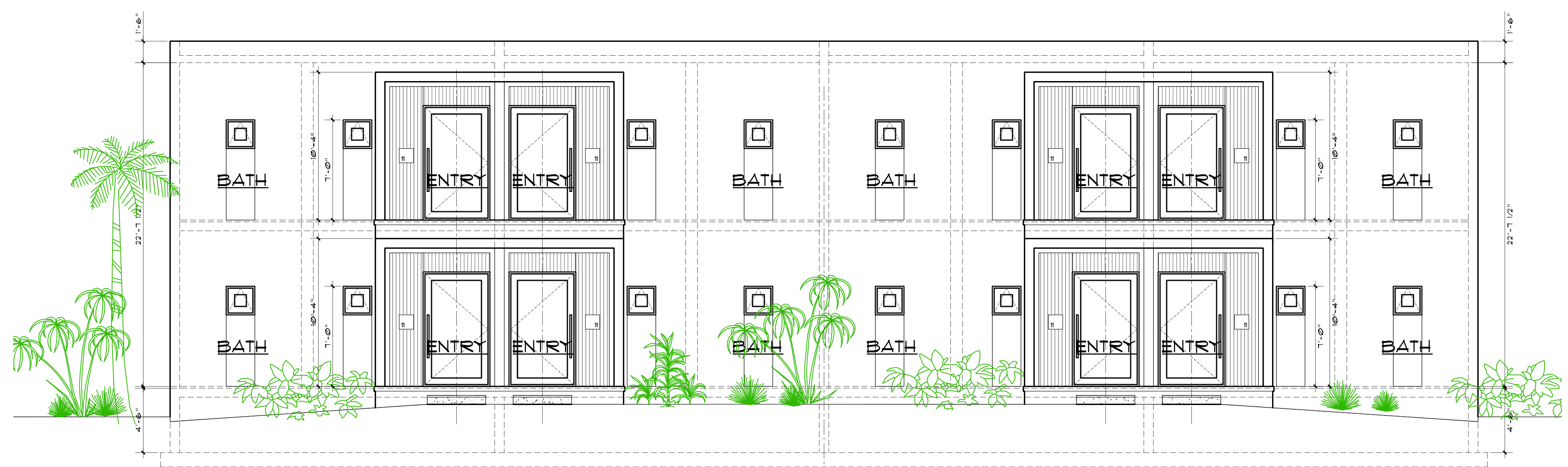
3 EXTERIOR ELEVATION - BEACH

A2.5
SCALE: 3/16" = 1'-0"



2 EXTERIOR ELEVATION - BEACH

A2.5
SCALE: 3/16" = 1'-0"



1 EXTERIOR ELEVATION - BEACH

A2.5
SCALE: 3/16" = 1'-0"

Botany Bay Hotel - Rooms

Parcel 7 Estate Botany Bay, St Thomas, United States Virgin Islands

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P.O. box 1772 mongoose junction st. john usvi 00831 (340) 693-7665

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DRAWING TITLE
BEACH EXTERIOR ELEVATIONS

SHEET #
A2.5