

FEDERAL CONSISTENCY DETERMINATION REQUEST

Project:
EZRA FREDERICKS BALLPARK
CONCESSION BUILDING & FIELD SITEWORK
PARCEL #22 NADIR, REDHOOK QTR., ST. THOMAS VI

Prepared For:
Department of Sports, Parks & Recreation
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Government of the Virgin Islands
Office of Disaster Recovery



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I. INTRODUCTION

Hurricane Irma/Maria caused damage to the Ezra Fredericks' ball field, bleacher area, and perimeter fence. The services required under this contract will include providing personnel and equipment for property as-built surveys, measured drawings, design services and cost estimate. The scope will also include coordinating with the Department of Sports, Park & Recreation in securing all and any necessary buildings permits. The approved Construction Documents will be provided to potential bidders to provide a cost for such work to be done.

The scope of work is to include the new concession building to include male and female restrooms, parking which include ADA compliance and an above ground cistern. This facility was designed under the following applicable codes:

1. International Building Code (IBC) – 2024
2. International Mechanical Code (IMC) – 2024
3. International Energy Conservation Code (IECC) – 2024
4. NFPA 101 Life Safety – 2024
5. NFPA 70 – 2024 Edition
6. National Electrical Code (NEC) – 2023
7. Uniform Plumbing Code (UPC) – 2024
8. ADA Standards for Accessible Design – 2010

Construction Guidelines:

1. VI Zoning, Building and Housing Laws
2. WAPA Requirements

II. PROPOSED PROJECT DESCRIPTION

The proposed project consists of the rehabilitation and improvement of the Ezra Fredericks Ballpark located at Parcel 22 Estate Nadir, Red Hook Quarter, St. Thomas, U.S. Virgin Islands. The project is being undertaken by the Virgin Islands Department of Sports, Parks and Recreation as part of a disaster-recovery effort to restore recreational infrastructure damaged by Hurricanes Irma and Maria.

Project activities include construction of a new concession building designed to support ballfield operations and public use, including restroom facilities, associated utilities, accessibility upgrades, and supporting site improvements. In addition, the project includes repair, replacement, and upgrading of existing recreational infrastructure within the developed ballpark, such as fencing, and related site features necessary to restore safe functionality.

Supporting work includes minor grading, drainage, and utility coordination required to accommodate the improvements and maintain proper site function. All work will occur within the

footprint of the existing recreational facility and will not expand development beyond its current use. The intent of the project is to restore community recreational services, improve resilience of public infrastructure, and return the facility to full operational condition.

III. PROJECT LOCATION

The project area comprises approximately 2.68 acres of land located at Parcel 22, Estate Nadir, Red Hook Quarter, St. Thomas, U.S. Virgin Islands 00802. The property is owned by the Government of the United States Virgin Islands and is currently utilized as a public recreational facility known as the Ezra Fredericks Ballpark.

Parcel boundaries and site characteristics were identified using available Geographic Information System (GIS) mapping resources. Acreage is approximate and provided for planning purposes; a boundary survey was performed as part of this environmental review.

The site is situated within the developed Red Hook area on the eastern end of St. Thomas and is surrounded by a mix of recreational, residential, and commercial uses. Access to the property is provided via existing public roadways serving the Red Hook community.

Project coordinates are approximately: (18.3205, -64.8714)

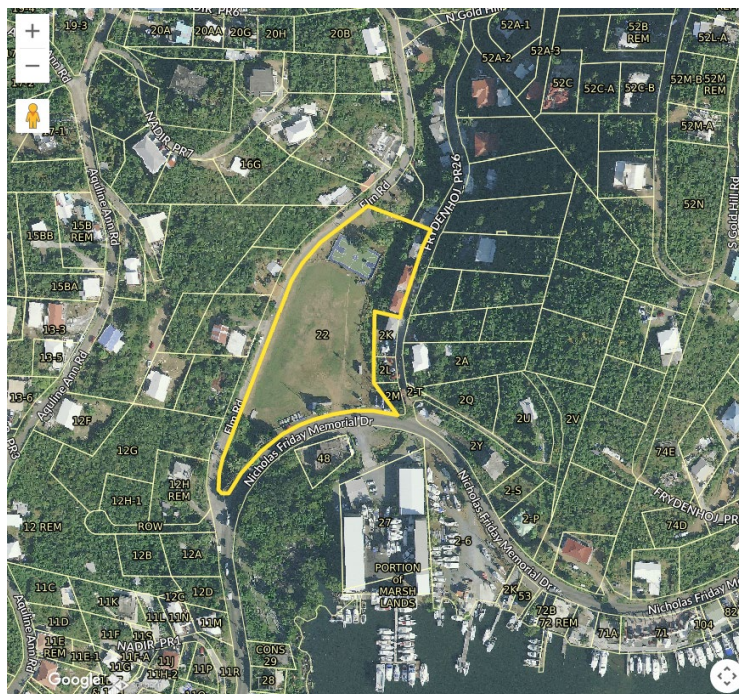


Figure 1: USVI GIS online MapGeo (Property ID 107604034500)

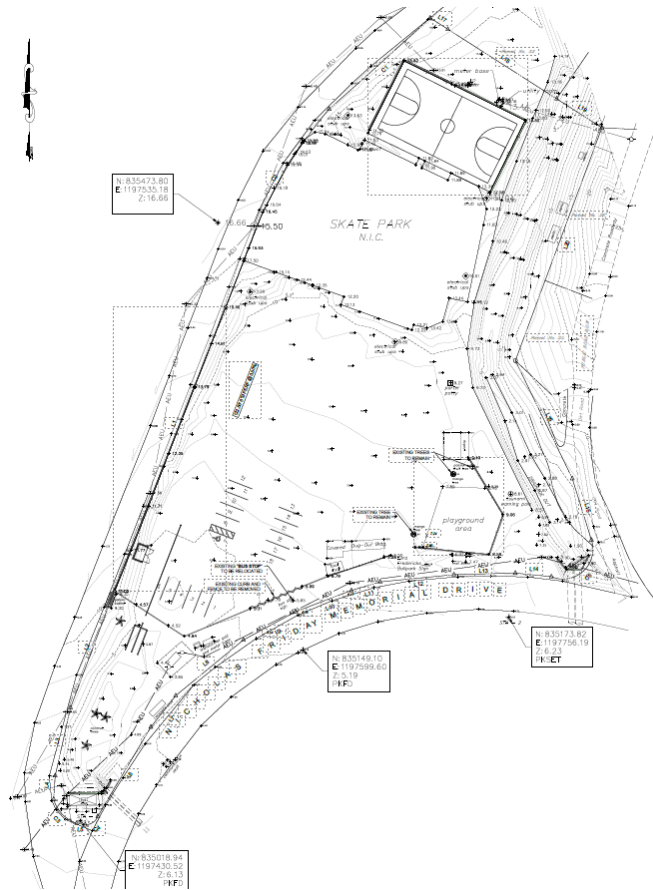


Figure 2: Site Location via Enlarged Survey

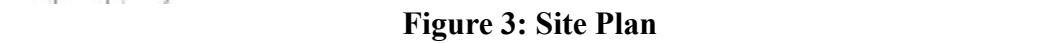
Latitude: 18.3205 Longitude: -64.8714 (Project GPS Coordinates)

IV. SITE DESCRIPTION

The project site consists of an existing public recreational complex known as the Ezra Fredericks Ballpark, located on Parcel 22, Estate Nadir, Red Hook Quarter, St. Thomas, U.S. Virgin Islands. The property is partially developed and includes an existing ballfield, basketball court, new skate park features, new playground area, and a previously renovated dugout structure that will remain in place.

Much of the site is characterized by open playfield areas consisting of maintained grass surfaces and compacted soils used for unorganized athletic activities. Ancillary site elements include fencing, limited paved access areas, and minor concrete improvements associated with the recreational facilities. Portions of the property remain open and landscaped with vegetation typical of developed areas in the Red Hook vicinity.

The property has been developed through prior construction and longstanding recreational use and consists primarily of maintained athletic fields and associated site improvements. Proposed work



PHOTOS:



Photo 1: North looking to the South



Photo 2: Looking at the Ballpark and the renovated dug-out



Photo 3: Looking towards the North



Photo 4: Looking at the entrance

V. ENVIRONMENTAL IMPACTS

A. *TOPOGRAPHY AND DRAINAGE PATTERNS:*

The project site is situated on a relatively level, previously graded area developed for recreational use and bounded by steeper terrain to the west and northwest. Surrounding hillsides rise sharply above the site, with elevations decreasing across the property toward the east and southeast. Surface runoff from adjacent upland areas flows downslope as sheet flow toward the maintained ballfield and continues toward a natural gut located along the eastern boundary of the parcel. This drainage feature conveys stormwater away from the site and ultimately connects to downstream roadside drainage infrastructure. The existing ballfield and associated recreational facilities are constructed on a stabilized terrace that has historically accommodated these drainage patterns.

B. *SOILS:*

According to the U.S. Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey, soils underlying the developed portion of the project site are primarily classified as Solitude gravelly fine sandy loam (0 to 2 percent slopes) and Ustorthents, which consist of previously disturbed or reworked soils associated with long-term site development and grading. The Solitude series is characterized as a well-drained soil formed in alluvial and coastal materials and is suitable for maintained open-space and recreational uses. Ustorthents represent areas that have been altered by prior construction activities and are typical of sites that have undergone grading, filling, or repeated surface modification, such as athletic fields and associated facilities. NRCS hydric soil ratings indicate that soils within the project footprint are not classified as hydric soils.

Map Unit Legend			
Virgin Islands of the United States (VI690)			
Virgin Islands of the United States (VI690)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
SoA	Solitude gravelly fine sandy loam, 0 to 2 percent slopes, frequently flooded	1.9	29.6%
SrD	Southgate-Rock outcrop complex, 12 to 20 percent slopes	1.7	26.2%
SrF	Southgate-Rock outcrop complex, 40 to 60 percent slopes	0.8	12.5%
Us	Ustorthents	2.1	31.7%
Totals for Area of Interest		6.5	100.0%

Figure 4: Soil Types Within Project Area



Figure 5: Enlarged USDA Soil Survey Map

West Portion of the property (SoA) & East Portion of the property (Us)

C. FLOOD ZONES:

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel 7800000029G, effective April 16, 2007, the project site is located within Flood Zone A, identified as a Special Flood Hazard Area subject to inundation during the 1-percent-annual-chance (100-year) flood event. Zone A areas are mapped using approximate methodologies, and detailed hydraulic analyses establishing Base Flood Elevations (BFEs) have not been completed for this location.

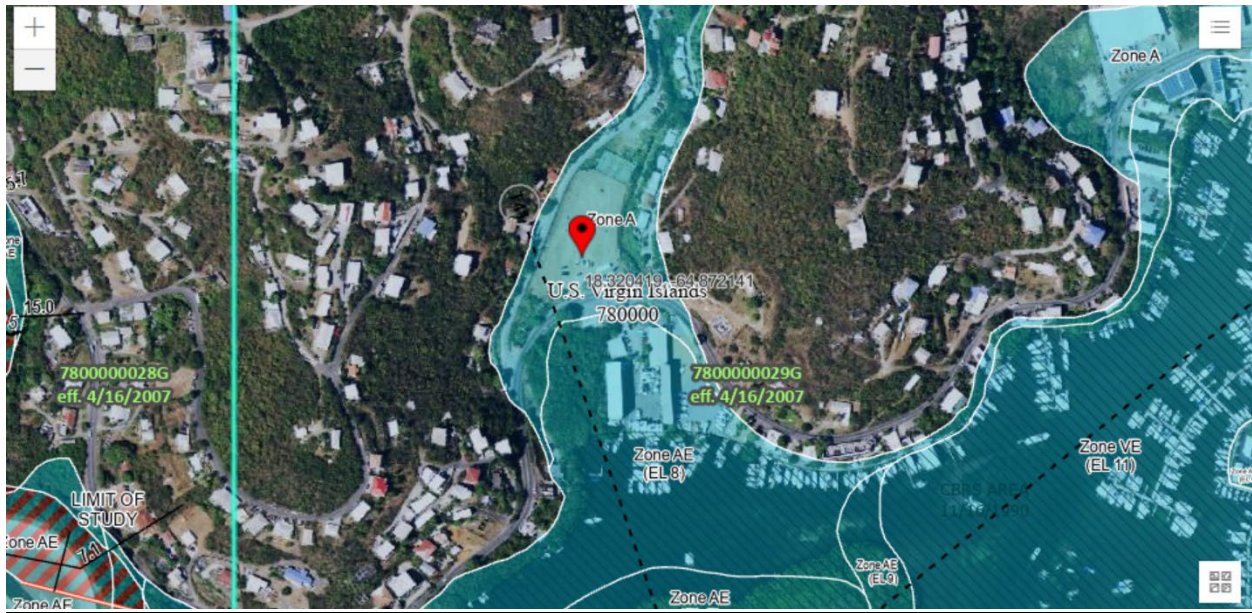


Figure 6: FEMA Flood Advisory Map

D. COASTAL FLOODPLAIN, OCEANOGRAPHY & MARINE RESOURCES:

The project site is located inland within the Red Hook area on the eastern end of St. Thomas and is not situated along the shoreline or within a marine environment. The Ezra Fredericks Ballpark is separated from coastal waters by existing development, roadway infrastructure, and intervening upland areas. Although being 450 feet away from the ocean, flooding at the site would be associated with localized rainfall runoff and inland drainage patterns rather than coastal storm surge or wave action. FEMA mapping indicates that higher-risk coastal hazard zones are located closer to the shoreline and do not extend into the project area. As such, the proposed work will not affect coastal processes such as tides, shoreline dynamics, marine habitats, or nearshore water quality.

E. COASTAL BARRIERS:

The project site was reviewed using the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) system, which incorporates mapping of the Coastal Barrier Resources System (CBRS). The review indicates that the project area is not located within a designated CBRS unit or Otherwise Protected Area as defined under the Coastal Barrier Resources Act (CBRA).

F. FRESH WATER RESOURCES:

There are no freshwater resources on or in the vicinity of this property.

G. TERRESTRIAL RESOURCES:

The project site consists of a previously developed recreational facility characterized by maintained athletic fields, paved and compacted play areas, and associated site improvements. Vegetation within the property is limited to maintained grasses, landscaped areas, and scattered ornamental or secondary growth typical of urban and suburban environments.

H. WETLANDS:

A review of the U.S. Fish and Wildlife Service National Wetlands Inventory (NWI) mapping indicates that no jurisdictional wetlands are located within the project footprint. Mapped wetland features in the vicinity occur downstream of the site and are associated with coastal drainage systems and shoreline environments outside the limits of proposed work. The Ezra Fredericks Ballpark is situated on previously graded uplands that have been historically developed and maintained for recreational use. Surface water at the site is limited to stormwater runoff conveyed through existing drainage pathways during rainfall events and does not represent wetland hydrology. No direct or indirect impacts to wetlands are anticipated.

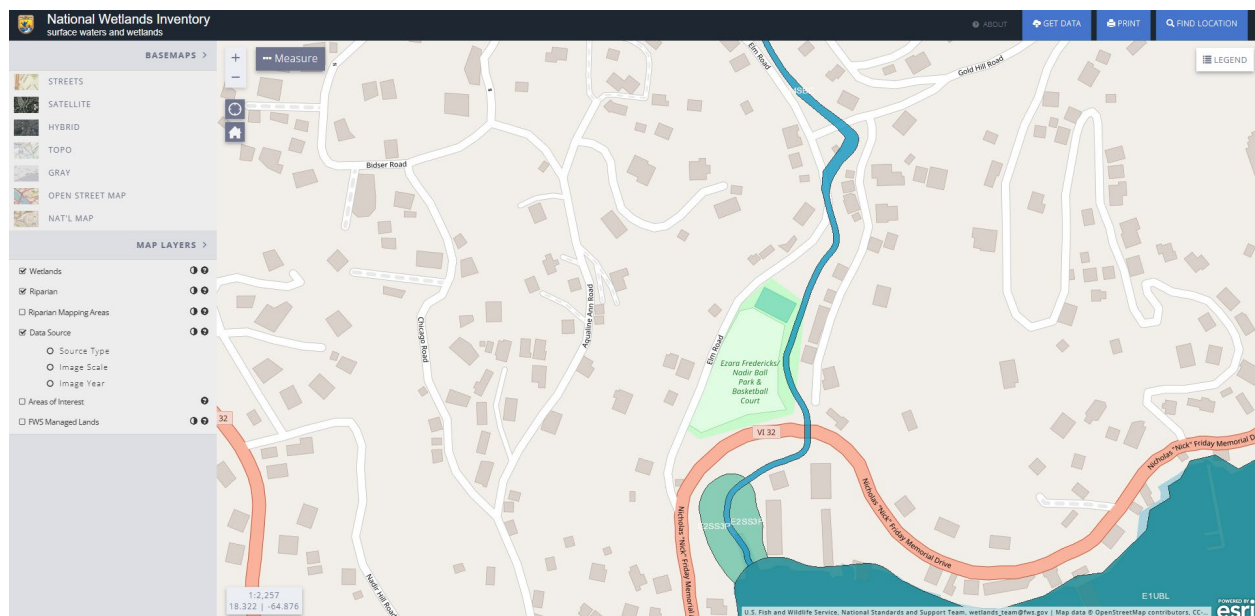


Figure 7: National Wetlands Inventory Maps

I. RARE AND ENDANGERED SPECIES:

A review of the U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) system identified the federally listed endangered Virgin Islands Tree Boa (*Chilabothrus granti*) as a species with potential to occur within the broader project region. IPaC indicated that no designated critical habitat for this species is present within the project area. The Ezra Fredericks Ballpark is a previously developed recreational facility consisting of maintained athletic fields, paved areas, and associated site improvements. The property does not contain intact native forest, undisturbed vegetation, or habitat features typically associated with the Virgin Islands Tree Boa, which is known to utilize forested and less-disturbed environments. Proposed project activities are limited to repair, replacement, and improvement of existing infrastructure within the developed footprint and will not involve clearing of natural habitat or expansion into undeveloped areas. If contact with this endangered species occurs, the USFWS General Project Design Guidelines requires the following conservation measures to be followed:

1. Contact Government of the Virgin Islands, Department of Planning and Natural Resources at (340) 775-6762 for Consultation.

Virgin Islands Tree Boa

Chilabothrus granti



STATUS	Endangered; A species in danger of extinction throughout all or a significant portion of its range.
DESCRIPTION	The adult body color is light plumbeous brown with darker blotches partially edged with black. The ventral surface is greyish-brown speckled with darker spots. This snake grows to slightly less than a meter snout-vent length.
CRITICAL HABITAT	No critical habitat has been designated for this species.

Figure 8: Image of Virgin Islands Tree Boa (*Chilabothrus granti*)

J. AIR QUALITY:

All the U.S. Virgin Islands is designated Class II by the Environmental Protection Agency, in compliance with the National Ambient Air Quality Standards. In Class II air quality regions, the

following air pollutants are regulated: open burning, visible air contaminants, particulate matter emissions, volatile petroleum products, sulfur compounds, and internal combustion engine exhaust (Virgin Islands Code Rules and Regulations).

Project activities will involve minor construction-related emissions associated with equipment operation, material transport, and short-term site work. These emissions will be temporary and limited to the duration of construction. No long-term stationary sources of air emissions are proposed as part of the project.

VI. IMPACT ON MAN'S ENVIRONMENT

A. VISUAL IMPACTS:

The proposed project will occur within the boundaries of the existing Ezra Fredericks Ballpark, a long-established recreational facility in the Red Hook area. Improvements will consist of rehabilitation of damaged infrastructure and construction of a new concession and restroom building designed to support ongoing park use. The scale, layout, and function of the facility will remain consistent with its historic use as a community athletic venue. Because the work replaces and upgrades existing features rather than introducing new land uses or large-scale development, visual changes will be minimal and compatible with the surrounding neighborhood. The new structure and site improvements will be similar in character to existing park facilities and are intended to enhance usability while maintaining the established appearance of the recreational complex.

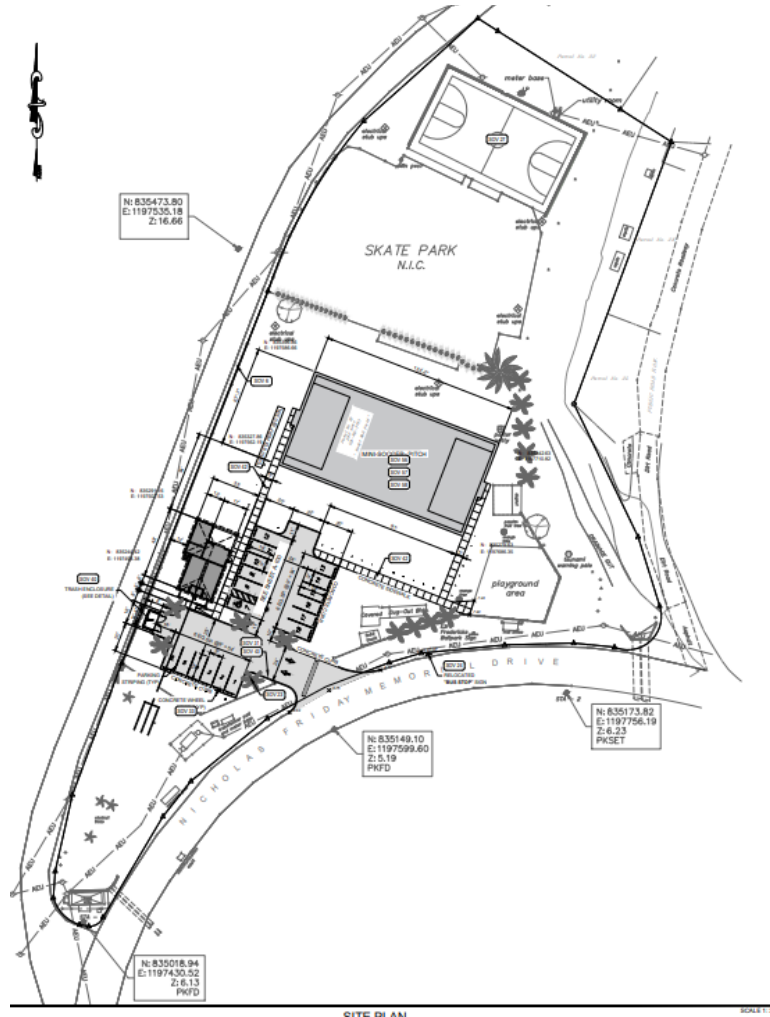


Figure 9: Proposed Site Plan

B. LAND AND WATER USE PLANS:

The project site is currently developed and zoned for recreational use and has historically functioned as a public ballpark. The proposed action will not alter the existing land use designation or introduce incompatible activities. Instead, the project represents the continuation and restoration of an established community use.

C. HISTORICAL AND ARCHAEOLOGICAL RESOURCES:

The project site is on previously disturbed land. As such, there are no known historical and archeological resources in the project footprint. Standard procedures will be used if any items of Archaeological relevance are observed during the excavation or construction activities on the site.

D. WASTE DISPOSAL AND ACCIDENTAL SPILLS:

Project construction will generate typical solid waste associated with repair and rehabilitation activities, including removed fencing, deteriorated building materials, minor demolition debris, and general construction refuse. All waste materials will be collected, contained, and transported for disposal at facilities approved by the Virgin Islands Waste Management Authority (VIWMA) in accordance with applicable territorial and federal regulations.

VII. EROSION AND SEDIMENTATION CONTROL PLANS

Sedimentation and erosion controls will be implemented to ensure rainfall will not have an impact on the adjacent properties and streets during construction.

VIII. GRADING AND STORMWATER MANAGEMENT

Stormwater runoff will continue to follow existing drainage patterns, which convey rainfall as surface flow toward established drainage pathways adjacent to the site. The project will not significantly modify site topography or increase impervious surface area beyond what is necessary to support the improvements. As such, no substantial changes to watershed characteristics or downstream drainage conditions are anticipated. During construction, standard erosion and sediment control measures will be implemented to minimize temporary impacts from soil disturbance.

IX. UTILITIES

A. ELECTRIC POWER

Electrical service to the project site is provided by the Virgin Islands Water and Power Authority (WAPA). The proposed work will maintain and utilize the existing electrical service, with minor upgrades or modifications as necessary to support the new concession building, lighting, and associated site improvements. All electrical work will be designed and installed in coordination with WAPA requirements and in accordance with applicable electrical codes and standards. Project activities are not expected to substantially increase overall electrical demand beyond typical usage associated with a community recreational facility.

B. WATER

Water service for the proposed concession facility will be provided through an on-site above-ground cistern system designed to collect and store rainwater runoff from roof surfaces. The system will support restroom and concession operations in accordance with applicable plumbing and public health standards. The project does not involve groundwater extraction, well installation, or

modification of natural water bodies. All water-related components will be installed within the limits of the existing developed site, and no impacts to natural water resources are anticipated.

C. WASTE WATER – SEWAGE

Wastewater generated by the proposed concession and restroom facilities will be managed by an on-site septic system designed in accordance with applicable Virgin Islands health and plumbing regulations. The system includes a septic tank and subsurface disposal field for treatment and infiltration of sanitary flows within the project area. All wastewater infrastructure will be installed within the limits of the developed site and will serve typical domestic flows associated with park operations.

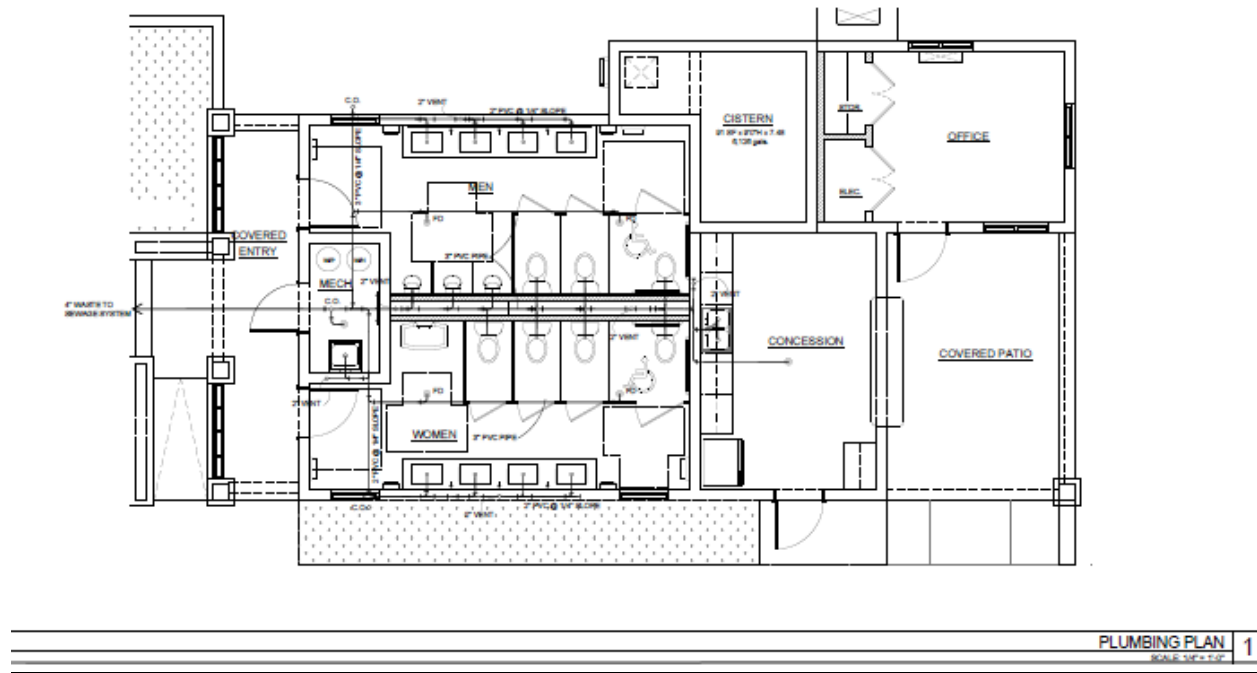


Figure 10: Plumbing Plan

X. FEDERAL CONSISTENCY DETERMINATION

Conclusion

The proposed rehabilitation and improvement of the Ezra Fredericks Ballpark, located at Parcel 22 Estate Nadir, Red Hook Quarter, St. Thomas, U.S. Virgin Islands, has been evaluated for consistency with the enforceable policies of the Virgin Islands Coastal Zone Management Program pursuant to Section 307 of the Coastal Zone Management Act (CZMA).

The project consists of repair and replacement of damaged recreational infrastructure and construction of a concession facility and associated site improvements within the boundaries of an existing, previously developed public recreational complex. All work will occur within the established footprint of the ballpark and will not expand development into undeveloped coastal areas or introduce new land uses. The action represents restoration and enhancement of an existing community facility rather than new construction in a natural or sensitive environment.

Environmental review indicates that the project will not adversely affect coastal resources, including wetlands, marine environments, coastal barriers, or significant terrestrial habitat. Improvements are limited to areas that have been historically disturbed and maintained for recreational purposes, and the project will not alter regional drainage patterns, shoreline processes, or public access to coastal areas.

Construction-related impacts will be temporary and controlled through the implementation of standard best management practices. Upon completion, the project will restore recreational services, improve facility resilience, and maintain compatibility with surrounding land uses.

Based on the nature of the proposed activities and their location within an existing developed site, the project is determined to be consistent with the Virgin Islands Coastal Zone Management Program and will not result in significant adverse impacts to coastal zone resources.

The Coastal Zone Management Act of 1972 requires that federal actions, within and outside the coastal zone, which have foreseeable effects on any coastal use (land or water), or natural resources of the Coastal Zone be consistent with the enforceable policies of a state's federally approved Coastal Management Program. The proposed Ezra Fredericks Ballpark Concession Building and Field Sitework project, located at Parcel No. 22 Estate Nadir, Red Hook Quarter, St. Thomas, U.S. Virgin Islands, will occur entirely within an existing developed recreational facility and previously disturbed areas. The project consists of construction of a new concession and restroom building, replacement and repair of damaged site elements, and associated grading and utility improvements within the established footprint of the ballpark. The project will not impact natural coastal resources and will improve the safety, functionality, and resilience of this community recreational facility. As proposed, it will be undertaken in a manner consistent with the enforceable policies of the U.S. Virgin Islands Coastal Zone Management Program.

The project meets each of the basic goals of the USVI for its coastal zone as set forth in the Virgin Islands Code Title 12, Conservation Chapter 21, Virgin Islands Coastal Zone Management [V.I. Code Tit. 12, Sec. 903(b)]. Additional details are as follows:

USVI Code Title Twelve Conservation, Chapter 21 Sec. 903 (b)

- 1. Protect, maintain, preserve and, where feasible, enhance and restore, the overall quality of the environment in the coastal zone, the natural and man-made resources therein, and the scenic and historical resources of the coastal zone for the benefit of the residents of and visitors of the United States Virgin Islands.**

The project site consists of an existing public recreational facility containing a baseball field, basketball court, and associated infrastructure. Proposed work is limited to construction of a concession and restroom building, replacement of damaged fencing and recreational features, and related site improvements within the developed footprint. No shoreline areas, wetlands, marine resources, or undisturbed natural habitats are located within the project limits. The improvements will enhance public safety, restore damaged facilities, and improve the overall condition and visual character of the ballpark without disturbing natural coastal resources.

- 2. Promote economic development and growth in the coastal zone and consider the need for development of greater than territorial concern by managing: (1) the impacts of human activity and (2) the use and development of renewable and nonrenewable resources to maintain and enhance the long-term productivity of the coastal environment.**

The project supports continued recreational use of an established community facility within the coastal zone. By restoring and upgrading existing infrastructure rather than expanding into undeveloped land, the project promotes efficient land use and long-term sustainability. The improvements will utilize existing access routes and infrastructure while minimizing environmental disturbance and preserving the long-term productivity of the surrounding coastal environment.

- 3. Assure priority for coastal-dependent development over other developments in the coastal zone by reserving areas suitable for commercial uses including hotels and related facilities, industrial uses including port and marine facilities, and recreation uses.**

The proposed project does not interfere with coastal-dependent uses. The ballpark is located inland from shoreline areas and does not involve marine facilities, shoreline modification, dredging, or waterfront construction. The project will not displace or restrict commercial, marine, or recreational activities that require direct coastal access.

- 4. Assure the orderly, balanced utilization and conservation of the resources of the coastal zone, considering the social and economic needs of the residents of the United States Virgin Islands.**

The rehabilitation and enhancement of the existing recreational facility supports balanced utilization of coastal zone resources by improving community infrastructure within an already developed site. The project avoids encroachment into undeveloped lands and preserves surrounding natural resources while meeting the social and recreational needs of residents.

5. Preserve, protect, and maintain the trust lands and other submerged and filled lands of the United States Virgin Islands to promote the general welfare of the people of the United States Virgin Islands.

The project will not affect trust lands, submerged lands, or filled lands of the United States Virgin Islands. All work will occur on upland property within the boundaries of the existing ballpark parcel.

6. Preserve what has been a tradition and protect what has become a right of the public by ensuring that the public, individually and collectively, has and shall continue to have the right to use and enjoy the shorelines and to maximize public access to and along the shorelines consistent with constitutionally protected rights of private property owners.

The proposed work will not impact public shoreline access or use. The project site does not include shoreline frontage and is separated from coastal waters by existing roadways and development. Public access to the shoreline will remain unchanged.

7. Promote and provide affordable and diverse public recreational opportunities in the coastal zone for all residents of the United States Virgin Islands through acquisition. Development and restoration of areas consistent with sound resource conservation principles.

The project directly promotes public recreational opportunities within the coastal zone by restoring and improving a community athletic facility. The upgrades will provide safer and more functional amenities for residents while remaining consistent with sound resource conservation principles.

8. Conserve ecologically significant resource areas for their contribution to marine productivity and value as wildlife habitats, and preserve the function and integrity of reefs, marine meadows, salt ponds, mangroves, and other significant natural areas.

The project site is fully developed and contains no ecologically significant habitats such as wetlands, mangroves, reefs, salt ponds, or marine meadows. No natural coastal features will be disturbed. Best management practices will be implemented during construction to prevent erosion or sediment transport off-site.

9. Maintain or increase coastal water quality through control of erosion, sedimentation, runoff, siltation, and sewage discharge.

Appropriate erosion and sediment control measures will be implemented during construction to prevent off-site runoff. The project includes coordinated grading and drainage improvements to

manage stormwater within the developed parcel. Wastewater generated by the concession and restroom facility will be managed through an on-site septic system designed in accordance with applicable regulations. These measures will ensure that coastal water quality is maintained.

END COASTAL CONSISTENCY DETERMINATION REQUEST

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